

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

NOTICE OF PLAN COMMISSION MEETING

DATE: Thursday, June 21, 2018
TIME: 5:30 P.M
PLACE: Washburn City Hall

AGENDA:

- Call to Order
- Roll Call
- Approval of Minutes – May 17, 2018
- Discussion & Recommendation on Request to Vacate the Entire Alley in Block 23 of the Hillside Addition to the City of Washburn along with the area adjacent to the Vacated North Fourth Avenue East – Jim Bodin Petitioner
- Discussion and Action on Architectural Review of Façade Renovations to 122 W. Bayfield Street – Spears, Carlson, & Coleman S.C., Petitioner
- Discussion and Action on Architectural Review and Façade Loan Application for 114 W. Bayfield Street (Brownstone Pharmacy) – Nate Swiston, Petitioner
- Discussion and Action on Revised Site and Architectural Review Plans for Washburn Family Dollar, 406 W. Bayfield Street – Sorensen Development, Inc., Petitioner
- Review of Formula Business Ordinance/Architectural Standards as Directed by Common Council
- Presentation of 2019 Budget Timeline
- Adjourn

May 17, 2018

CITY OF WASHBURN PLAN COMMISSION MEETING

5:30pm Washburn City Hall

COMMISSION MEMBERS: Dave Anderson, Richard Avol, John Baregi, Leo Ketchum-Fish, Adeline Swiston, Jon Wheeler

ABSENT: Jeremy Oswald

MUNICIPAL PERSONNEL: Scott Kløver-City Administrator, Tammy DeMars-City Treasurer/Deputy Clerk, City Attorney David Siegler, City Attorney Max Lindsey

Meeting called to order at 5:30PM by Avol attendance as recorded above.

Approval of Minutes – April 12, 2018 – Moved by Swiston to approve minutes as presented, second by Anderson. Motion carried unanimously.

Election of Vice Chairperson – Swiston moved and Ketchum-Fish seconded to nominate Anderson. No other nominations made. Vote on Anderson as Vice-Chair carried 6-0.

Public Hearing(s) – Avol moves to open the floor for the public hearing, second by Swiston. Motion carried unanimously.

Discussion and Recommendation on Request to Amend the City's Zoning Code and to Create a Definition for a "Community Childbearing Center" and to Determine Which Districts, Including Commercial and Residential Districts, Where Such a Use May be Permitted or Allowed as a Conditional Use – Erin Tenny, Petitioner – Ms. Tenny was present and gave a brief description of what she is looking for. Ketchum-Fish moves to add "Community Childbearing Center" to land-use matrix under Section 4 Special care facilities; use the definition outlined in S. Kløver's memo "A place, not located in a health care center (i.e. a hospital), where births are planned to occur away from the mother's usual residence", use the same Secondary Review and Zoning Districts as the current 4.05 Group day care center, Proposed Development Standard should include licensing by state if required, minimum off street parking should be 1 space for each employee and 1 space for each birthing room, second by Anderson. Motion carried 6 to 0.

Discussion and Recommendation on Conditional Use Request for Tourist Rooming House to Operate a Tourist Rooming House out of the Property Located at 9 West 4th Street. Kim Rawson, Petitioner, property is zoned R-6, Mixed Residential – Rawson present; explains she would like to use for short term rental when she is working out of town, she has Mark and Teresa Nutt taking care of the property in her absence. Discussion. Moved by Ketchum-Fish to recommend approval of Conditional Use Permit for Kim Rawson to operate a Tourist Rooming House at 9 West 4th Street, with Mark and Teresa Nutt listed as agents, require two off street parking, valid health permit and all other conditions listed in the draft permit, second by Wheeler. Motion carried 6 to 0.

Moved by Baregi to close the floor, second by Swiston. Motion carried 6 to 0.

Discussion and Recommendation on Request for Vacation of a Portion of 9th Street East Adjacent to Lots 9 through 16 of Block 23 and Lots 2 through 9 of Block 21 in the Hillside Addition to the City of Washburn along with the area adjacent to the Vacated North 4th Avenue East – Heather Atherton, Petitioner – Petitioner present, she would like the property vacated to make it more appealing to sell as it would make a complete lot. Discussion. Moved by Swiston to recommend approval to Vacate the entire length of 9th Street East in the Hillside Addition to the City of Washburn, second by Wheeler. Motion carried 6 to 0.

Discussion and Action on Site Plan for Washburn Family Dollar, 406 W. Bayfield Street – Mountain Engineering representative Myron Berry present to answer any questions. Ketchum-Fish moves to decline site plan for the Washburn Family Dollar, second by Anderson. Ketchum-Fish then handed out two-page summary referencing 8-183-1, 8-183-3, 8-183-7, 8-183-4, 8-183-9 and lighting. Kløver reports, 8-183-1 has been noted and they are willing to comply with that. Ketchum-Fish unwilling to discuss further. Avol clarifies with City Attorney that a yes vote means no further discussion, but they could re-submit another plan and a no vote means we could continue on with discussion. Motion carried 4 yes and 2 no. Leo-Ketchum, Anderson, Swiston and Wheeler yes and Avol, Baregi No.

Discussion and Action on Architectural Review/Exterior Siding for Conditional Use Request to Construct and Operate a Contractor Yard and to Operate at Fitness Center. The property is located in block bounded by Omaha Street and East Memorial Park Drive and Central Avenue and 1st Avenue East. Lot 1 of CSM 2029. Fishnote Properties, Petitioner – Ketchum-Fish removes himself from the table for the next two items. No site plan received but agrees to follow the basic plan submitted by Pipgras. It was questioned if he is required to as this to all sides of the property visible from public streets, but it was determined by the Attorneys present that since it's in an industrial zone it would only be require for the front and wrapped around 25% of the side of the building. Moved by Wheeler to approve the front & side exterior siding and door, 2nd by Anderson. Motion carried unanimously.

Discussion and Action on Architectural Review/Exterior Siding for Conditional Use Request to Construct and Operate a Contractor Yard and to Operate a Personal Storage Facility for Personal Units and for Vehicles and Watercraft. The property is located on 1st Avenue East, South of Memorial Park Drive. Lot 2 of CSM 2030. Jeff Pipgras, Petitioner – Ketchum-Fish present to represent Pipgras. Baregi moves to approve the front and side Exterior Siding and door, second by Swiston. Motion carried unanimously.

Adjourn - Moved by Swiston to adjourn @ 6:50pm, second by Anderson. Motion carried unanimously.

Respectfully Submitted,
Tammy L. DeMars
Treasurer/Deputy Clerk

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715-373-6160
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To: Honorable Mayor and City Council Members
From: ^{SK} Scott J. Kluver, Administrator
Re: Bodin Vacating Request Alley in Block 23 of Hillside Addition
Date: May 30, 2018

Enclosed you will find a request to vacate the entire alley in Block 23 of the Hillside Addition to the City of Washburn. The petitioner is interested in completing this vacation and is willing to cooperate on the Atherton vacation request as well. At the time of this memo, I am uncertain if Ms. Atherton is willing to obtain her portion of the alley in this new request. The unopened alley is indicated by the yellow arrows on the enclosed map.

At this time, a copy of the recorded petition of the intent to vacate is outstanding; however, I am aware that it is in process. I am not aware of any utility rights-of-way in this area.

Mr. Bodin owns the property on the north side of the alley, as well as two lots on the south side. Ms. Atherton owns the remaining property on the south side. Like the 9th Street East request, I have no objection to the consideration of this street being vacated. It is basically an unopened dead-end right of way that can not connect to another street or alley. In fact, I would like to be done with the issues and maze of un-opened rights of way in this neighborhood once and for all.

If the Council is receptive to this vacating request, the matter should be referred to the Plan Commission and authorization to publish the public hearing notice should be given. Further consideration should be given to whether or not there is any logical reason to maintain any potential utility rights of way for the alley. At this point, I see none.

Please let me know if you have any questions on this request.

PETITION FOR VACATION OF ALLEY(S) OR STREET(S)
CITY OF WASHBURN, WISCONSIN

To: Mayor, Common Council and City Plan Commission of the City of Washburn, WI 54891

I (We), the undersigned, do hereby petition the City of Washburn to vacate (give street name or general location of street/alley):

James C Bodin

IN SUPPORT THEREOF, the following facts are hereby presented:

1. **THERE IS ATTACHED** a sketch or copy of the plat of the area which depicts the requested vacation. (Map showing the vacation must agree with legal description of property listed in #2 below).

2. The property abutting the proposed vacation is legally described as:

The alley in Block 23 of Original Hillside Addition to Washburn

3. Abutting property owner(s) and mailing addresses (see #2 Procedures for Vacation):

1. Heather Atherton, P.O. Box 924, Bayfield WI 54814

2. _____

3. _____

4. _____

5. _____

4. For all vacations other than unpaved alleys: Property owner(s) and mailing addresses for at least 1/3 of the 2650 feet from each end of the section of road to be vacated (see #2 Procedures for Vacation):

1. _____

2. _____

3. _____

4. _____

6. _____

5. The undersigned petitioner(s) hereby agree to accept said property described above and shown on the attached sketch or plat, subject to conditions set forth by the City Council and City zoning regulations and including, but not limited to, the right of the City of Washburn and/or utility companies to retain any easement, drainageway, or floodplain land for the purpose of maintaining, conducting or constructing any required existing or future services or facilities on said easement which would serve or protect the public.

6. That the facts presented herein and attached hereto are true and correct to the best of my (our) knowledge.

Submitted this 22 day of May, 2018.

CIRCULATOR OF THIS PETITION:

James C Bodin
(Signature)

Please Print Below:

James C Bodin
Name of Petitioner

370 Castle Dr.
Address

Washburn WI
Telephone 715 292 0020

STATUS (Check Below):

Property Owner _____ Option Holder _____ Owner's Authorized Agent
_____ Contract Purchaser

CO-PETITIONER (If Any):

Signature

Please Print Below:

Name

Address

Telephone

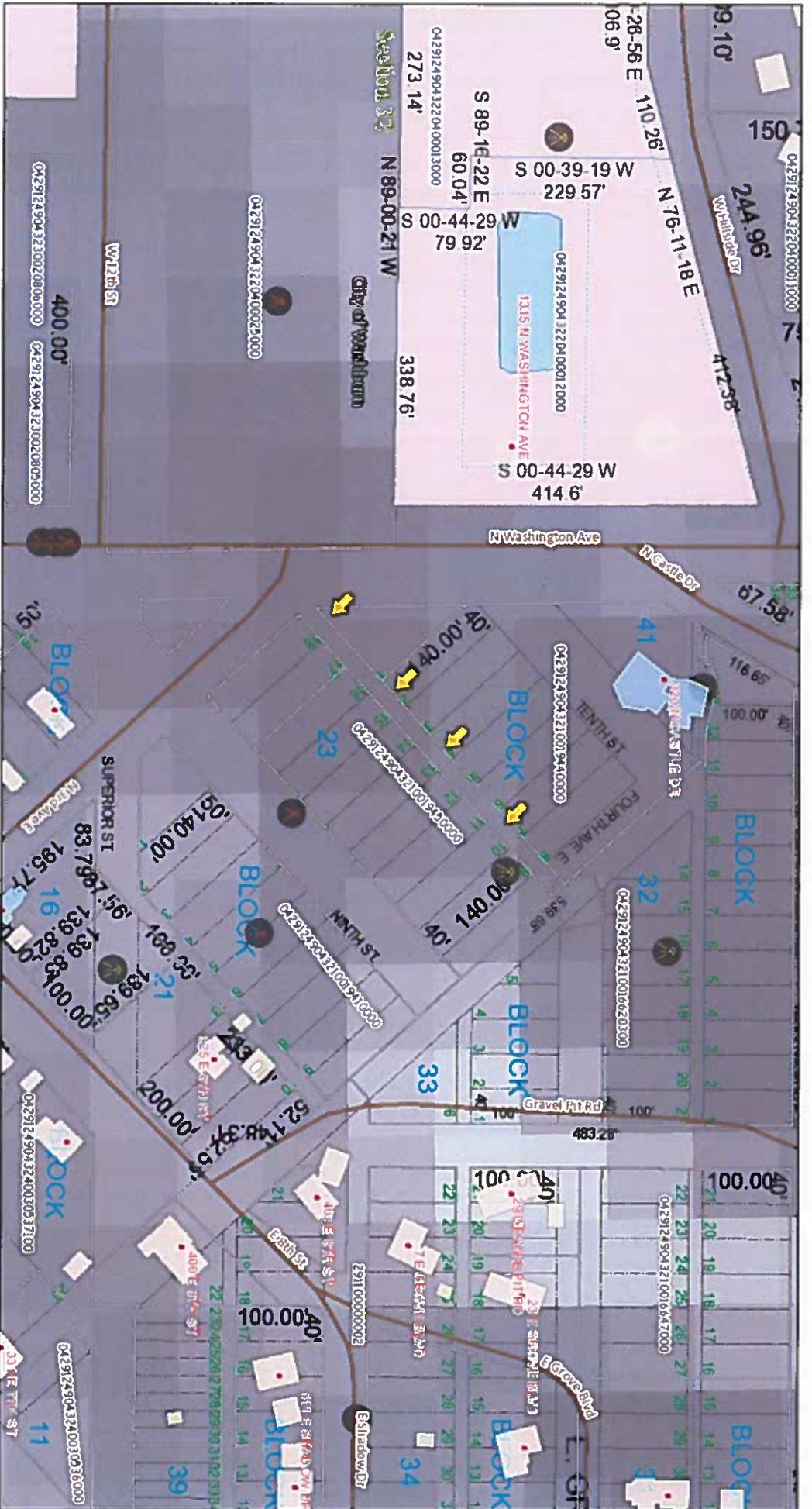
.....
FEES:

\$250 minimum for an alley; \$400 minimum for a street - due on filing; non-refundable.

SUBMIT MINIMUM FEE WITH PETITION. (Details regarding fees and the balance due, if any, are found in "Procedures for Vacation" which is given to the applicant with the petition).

SUBMIT ALL ATTACHMENTS. FAILURE TO DO SO MAY RESULT IN THE PETITION BEING DELAYED OR RETURNED. COMPLETED PETITIONS SHOULD BE RETURNED TO THE CITY CLERK, CITY HALL, 119 WASHINGTON AVENUE, WASHBURN, WI 54891. TELEPHONE #715-373-6160 Ext. 4 WITH QUESTIONS.

Bayfield County Web AppBuilder



- 5/30/2018, 8:29:08 AM
- Override 1
 - County Other
 - County Forest
 - Douglas Co Parcels
 - Municipal
 - Managed Forest Land Entered After 2004 - Open
 - Managed Forest Land Entered Before 2005 - Open
 - Managed Forest Land - MFL Open After 2004 and MFL Closed After 2004
 - Public Land
 - Federal
 - State
 - County Other
 - County Forest
 - Municipal
 - Managed Forest Land Entered After 2004 - Open
 - Managed Forest Land Entered Before 2005 - Open
 - Managed Forest Land - MFL Open After 2004 and MFL Closed After 2004
 - Combined Managed Forest Land - MFL Open After 2004 and MFL Closed After 2004

- Combined Managed Forest Land - MFL Open Before 2005 and MFL Closed Before 2005
 - Marginal Lines
 - Private Forest Crop Entered After 1971 - Open
 - Private Forest Crop Entered Before 1972 - Open
 - Rivers
 - Lakes
 - Tie Lines
- Bayfield County Land Records
- 1:1,313
- 0 0.01 0.03 0.05 0.08 mi
- 0 0.03 0.1 km

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To: Plan Commission Members
From: Scott J. Kluver, Administrator
Re: Architectural Review Façade Improvements to Spears Carlson & Coleman Building
Date: June 11, 2018

Please find the enclosed architectural review application by Attorney John Carlson to remove the shake shingle façade on their law office building and new windows on the lower level. In my opinion, these façade cover-ups were the least-groovy thing to come out of the 60s-70s era. Many downtown revitalization efforts have been geared at removing these abominations of style.

The property is located in the Downtown Design District, and it is not considered to be a minor project. Please refer to the regular architectural standards and the Downtown standards which have been included. For an existing structure, I did not see any issue that would hinder compliance with the standards. The building would be restored more to its 50's era appearance in the attached photograph on the upper level (Lake Superior District Power Company). The lower level would be more of a glass front. I would recommend approval. Please review the criteria for approval or denial, which was also included, as that should be made with any motion for approval or denial.

Please let me know if you have any questions on the architectural review standards.

SPEARS CARLSON & COLEMAN S.C.

JOHN R. CARLSON*
LINDA I. COLEMAN

JACK A. CARLSON
of Counsel

ROBERT M. SPEARS
(1913-2000)

ATTORNEYS AT LAW
122 WEST BAYFIELD STREET
PO BOX 547

WASHBURN, WISCONSIN 54891

TELEPHONE: 715-373-2628

FAX NO.: 715-373-5716

HAYWARD OFFICE
15886 HWY 63
HAYWARD, WI
TELEPHONE:
715-934-3236

*ALSO LICENSED IN MINNESOTA

June 8, 2018

City of Washburn
P.O. Box 638
Washburn, WI 54891

Re: Facade Reconstruction on 122 W. Bayfield

Greetings:

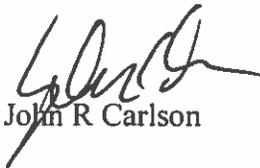
We are looking to reconstruct the facade on our building located at 122 W. Bayfield Street.

In general, we wish to remove the wooden portion with the shake shingles. Based upon the blueprints and what we have found, the original brick face is underneath the wooden portion and does not need additional repairs. Also, under the wooden cover, there appears to be two openings which we would like to eventually install windows to provide additional lighting. It appears these openings were covered years ago, and we may leave them covered until we do remodeling on the interior of the building.

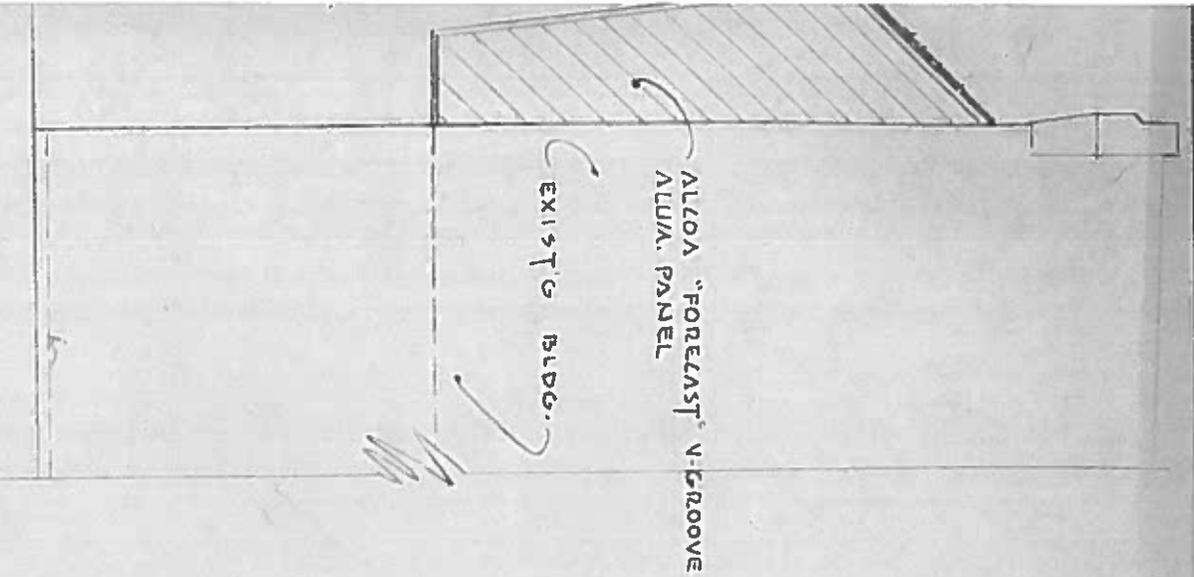
On the lower half, we would cover the white covered brick with Khaki colored LP SmartSide. The Smart side would go from the ground up to where the brick begins. The Khaki color will be the most neutral and match the existing brick. Also, on the lower half, we would like to add some windows. The windows would not be able to be opened because of the location of the sidewalk.

If you should have any questions, please advise.

Cordially,

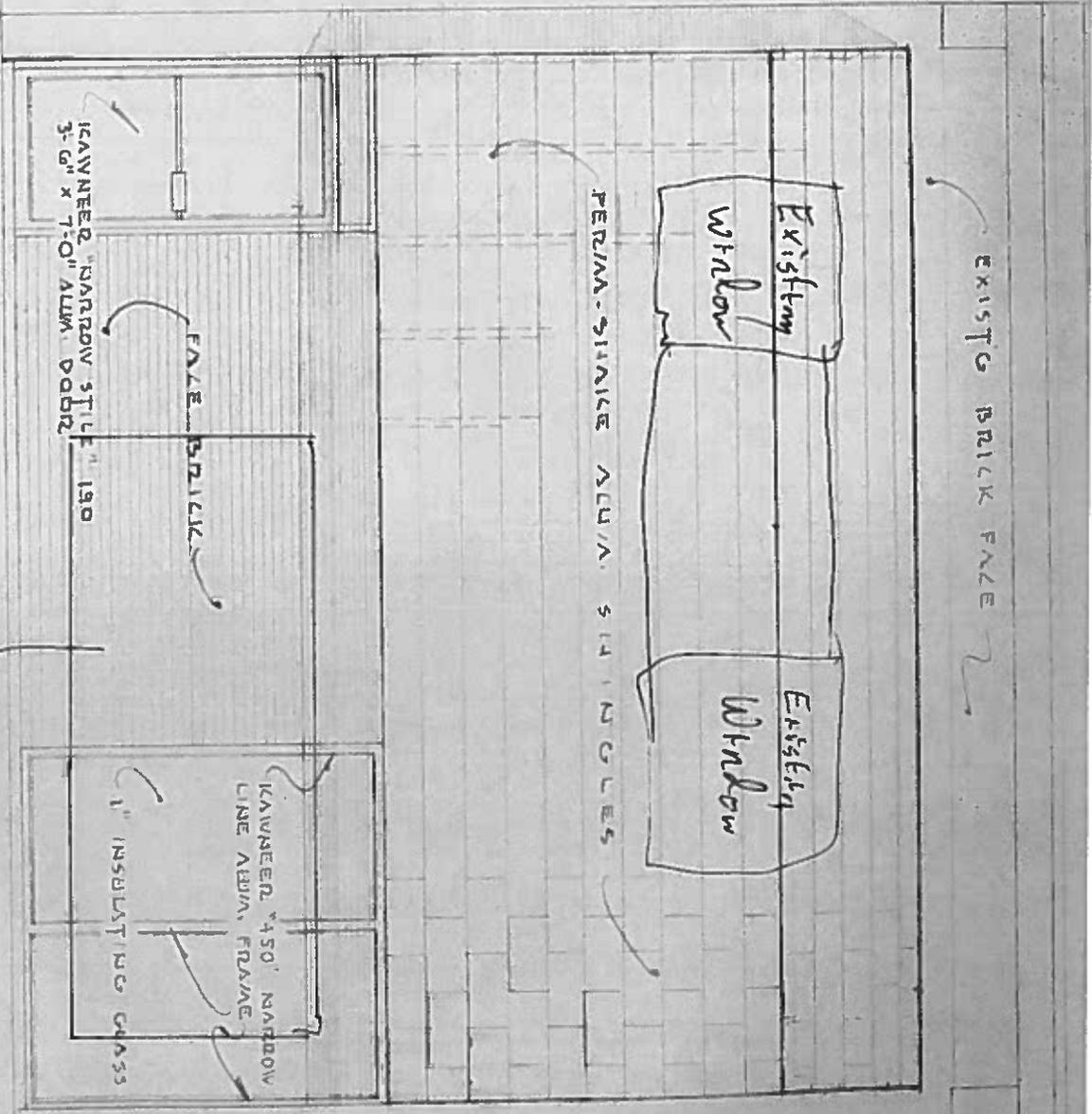


John R. Carlson



RIGHT SIDE ELEVATION

JOINING BUILDING

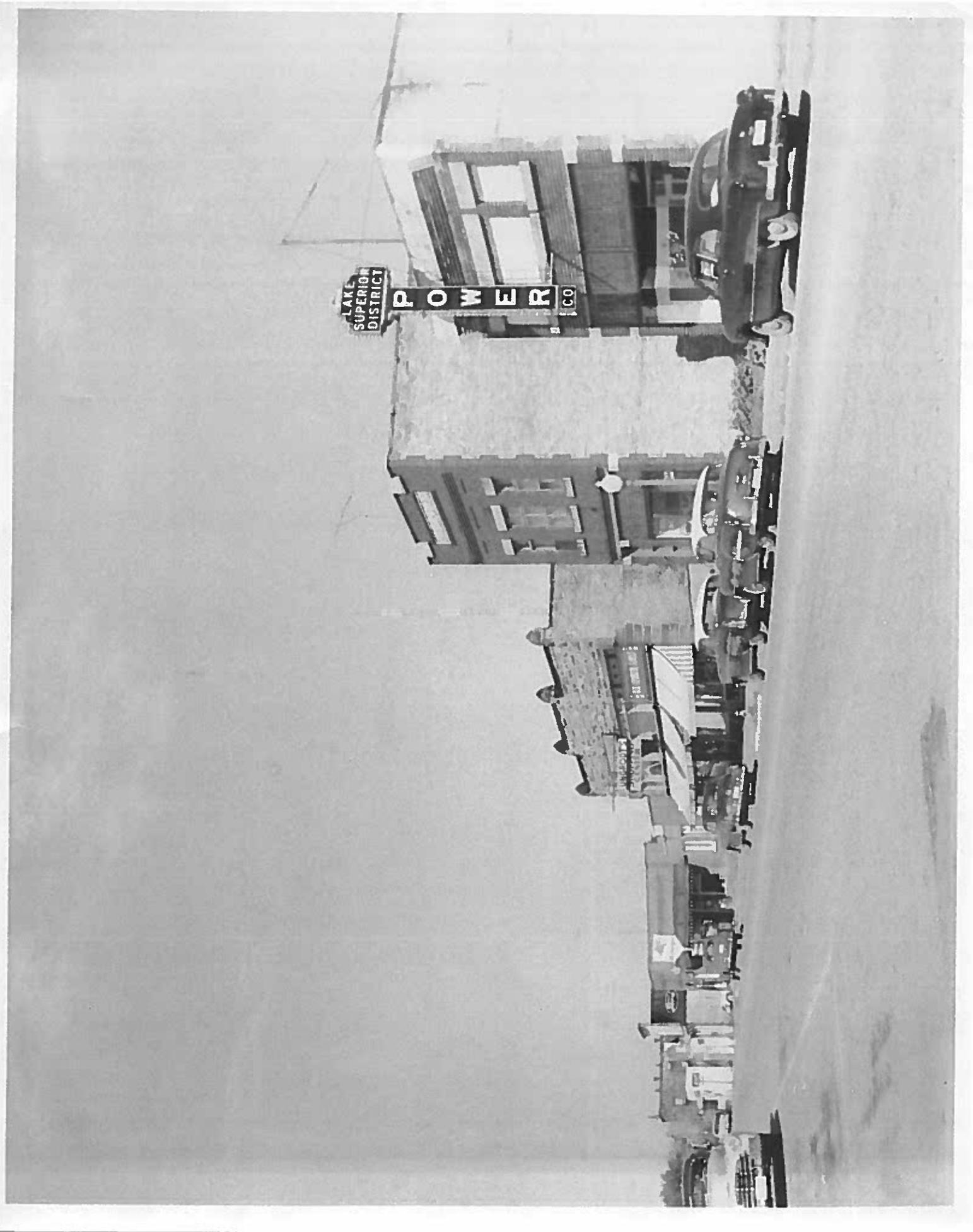


FRONT ELEVATION

Approx. location of windows

EXISTING 12" MASONRY WALL





**TITLE 13
CHAPTER 1 - ZONING CODE**

**ARTICLE 14
DOWNTOWN DESIGN OVERLAY DISTRICT**

Sections

14-1	Legislative findings	14-7	Building design
14-2	Purpose	14-8	Off-street parking and access
14-3	District boundaries	14-9	Landscaping
14-4	General compliance	14-10	Service areas and similar
14-5	Project review procedures	14-11	Signs
14-6	Building setbacks	14-12	Utilities

14-1 Legislative findings

The Common Council makes the following legislative findings:

- (1) Washburn's downtown area contains a variety of building types, many of which represent an architectural style characterized by attached storefronts.
- (2) Given the close proximity of buildings in the downtown, special rules and regulations are needed to protect and perpetuate the existing character of the area.
- (3) The standards in this article are not intended to discourage development but to encourage development that is functional, attractive, and context sensitive.

14-2 Purpose

This article is established to promote the public health, safety, and welfare and is intended to protect and perpetuate the general architectural style within the overlay district.

14-3 District boundaries

The location of the downtown design overlay district is depicted on the zoning map described in s. 8-25.

14-4 General compliance

Given the pattern of existing development in this overlay district and the size and configuration of the existing parcels, it may not be feasible for all new development or redevelopment in the district to be consistent with all of the design standards specified in this article. Therefore, prior to any major work (herein described) the appropriate reviewing authority shall ensure that the proposed work is consistent with the intent of the design standards when considered as a whole.

14-5 Project review procedures

(a) **Minor work without prior approval.** The following work may proceed without prior approval, provided a building permit is issued if required:

- (1) residing with appropriate materials;
- (2) repair or replacement of windows, trim, and doors if new materials match existing;
- (3) installation or removal of door and window openings not visible from Bayfield Street;
- (4) chimney reconstruction if completed with similar materials;
- (5) exterior cleaning, refinishing, and tuck-pointing; and
- (6) any other similar work as determined by the zoning administrator.

Prior to the commencement of any work, a property owner may ask the zoning administrator to review the proposed work to determine if it is classified as minor work and/or otherwise complies with the standards in this article.

(b) **Major work.** Any work not classified as minor work in this section shall be reviewed using the procedures specified below.

- (1) buildings - architectural review
- (2) site work - site plan
- (3) signs - sign permit

Examples of major work includes relocation of an existing building, construction of a new building, addition to an existing building, alteration of a building elevation, alterations to windows, siding, entries, and trim, erection of new signs or modification of existing signs, changes to the site including parking, pedestrian circulation, and the like.

14-6 Building setbacks

The setback of buildings from street-yard and side-yard lot lines shall be compatible with existing buildings in the immediate area.

14-7 Building design

In addition to meeting the standards in Division 9 of Article 8, buildings shall comply with each of the following:

- (1) **Building height.** The height of a building shall not be more than one story taller or shorter than the height of the adjoining building. In no event, shall the height of a building exceed the maximum building height established for the base zoning district.
- (2) **Building mass.** The mass of a building (i.e., relationship between façade height and width) shall be compatible with existing buildings in the immediate area.
- (3) **Special requirements for large buildings.** A building façade fronting on a public street with a frontage of 150 feet or more shall be designed to look like two or more individual building fronts. This may be achieved by using different building materials, facade articulations, or other design approach that gives the appearance of separate, but attached buildings.
- (4) **Horizontal rhythms.** The horizontal pattern of exterior building elements formed by patterns of building openings for windows and doors, and related elements such as piers and columns shall be spaced at regular intervals across all visible façades of the building.
- (5) **Vertical rhythms.** The floor heights on main façades shall complement those of adjoining buildings. The rhythm of the ground floor shall harmonize with the rhythm of upper floors. The vertical pattern of exterior building elements formed by patterns of building openings for windows and doors, and related elements such as sills, headers, transoms, cornices, and sign bands shall be compatible in design and elevation with adjoining buildings in immediate area.
- (6) **Roof forms.** Flat or gently sloping roofs which are not visible from the street grade shall generally be used. Mansards or other exotic roof shapes are not characteristic of the district's character and are prohibited.
- (7) **Awnings.** The size, color, placement, and design of an awning should be complement the architectural character of the building on which it is located. Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation shall be used. Awnings covered with shingles, metal roofing, or the like are prohibited. Backlit awnings are prohibited.
- (8) **Building materials.** Selected building materials shall be compatible with those of existing buildings in the immediate area which generally consist of natural materials such as stone, brick, and wood. Concrete masonry units, corrugated metal, half-log siding, and vinyl siding are prohibited.

14-8 Off-street parking and access

(a) **Placement.** Off-street parking should be located to the rear of the principal building, or on the side as a less preferable alternative.

(b) **Paving.** New parking lots that are located to the side of a building shall be hard surfaced (e.g., interlocking pavers, asphalt, or concrete).

(c) **New curb-cuts.** New curb-cuts shall occur on the side streets rather than on Bayfield Street.

(d) **Screening.** Parking lots that are located on the side of a building should incorporate a screen to block the view of parked cars as generally depicted in Exhibit 14-1.

14-9 Landscaping

Landscaping as described in Article 16 is not required. If provided, landscaping should complement street trees and other streetscape elements in the public right-of-way.

14-10 Service areas and similar

Service areas, refuse collection areas, storage areas, and loading areas shall be located away from or screened from public view, especially from Bayfield Street.

14-11 Signs

(a) **Generally.** Signs should enhance the visual appeal of the district and its ability to attract the traveling public.

(b) **Wall signs.** Wall signs should be designed to fit within the architectural space intended for signage.

(c) **Compatibility.** Signs should be compatible with signs on adjoining buildings with respect to location, shape, style, graphics, size, material, illumination, and color, while allowing individual expression and identification.

14-12 Utilities

Utility lines, such as telephone, electric, and cable, shall be installed underground, where feasible. Ground-mounted utility components, such as switch boxes and transformers, shall be screened by landscaping or a decorative wall and/or be located away from public view, especially from Bayfield Street.

Exhibit 14-1. An example of a parking lot screen



8-164 Specific design requirements

In addition to the principles enumerated in this division, projects shall be designed to comply with all other development standards in this chapter that may apply.

8-165 to 8-180 Reserved

**DIVISION 9
GENERAL ARCHITECTURAL STANDARDS**

Sections

<p>8-181 Legislative findings</p> <p>8-182 Applicability</p>	<p>8-183 Architectural standards</p> <p>8-184 Additional standards in the Downtown Design Overlay district</p>
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8-181 Legislative findings

The Common Council makes the following legislative findings regarding the architectural requirements in this article:

- (1) The outward design appearance of a building can have a substantial and long-lasting effect on surrounding properties and the overall character of a community.
- (2) Buildings and especially those within a largely developed area should fit into the context in which they occur.
- (3) Architectural design standards should allow for a variety architectural styles and be flexible to the greatest extent possible.
- (4) The standards in this section are intended to provide meaningful guidance to applicants, design professionals, and public officials.
- (5) This section is not intended to limit or infringe upon reasonable accommodations to afford a person with disabilities equal opportunity to use and enjoy a building.
- (6) The standards in this section are intended to promote the public health, safety, and welfare and are reasonably related to the public purpose of achieving an attractive, functional, and prosperous community.

8-182 Applicability

Those land uses designated as requiring architectural review in the land-use matrix (Exhibit 8-1) must comply with the requirements in this division.

8-183 Architectural standards

Buildings subject to review under this division shall comply with the following architectural standards:

- (1) The scale of the building shall be compatible with the overall massing and the individual parts of adjacent buildings, especially existing and anticipated residential buildings in a residential zoning district or a planned development district that allows residential uses.
- (2) Windows, doors, and other openings must form a unified composition in proportion to the building elevation.
- (3) On any new building constructed for business or manufacturing use, all building exteriors facing a street or approved way shall have 50 percent of the street face constructed with brick, decorative masonry, glass panel, or other appropriate similar finished façade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 25 feet along the sides of the structure or at least 25 percent of the that side wall distance, whichever is greater.
- (4) Principal buildings with a front elevation of more than 750 square feet in area shall be divided into distinct planes of 500 square feet or less. The following design features can be used to meet this provision (1) canopies or awnings; (2) arcades; (3) porches; (4) vertical wall offsets having a minimum

- depth of 8 inches and a minimum width of 10 feet; (5) horizontal offsets having a minimum depth of 2 feet; (6) pilasters having a minimum depth of 8 inches, a minimum width of 12 inches, and a minimum height of 80 percent of the wall height; (7) recessed areas for entryways and the like having a minimum depth of 8 inches; and (8) other suitable multidimensional design features.
- (5) Oversized fenestration elements which tend to create a monumental scale shall not be used unless specifically required by the type of building or relationship to its surroundings.
 - (6) Building entrances must be clearly recognizable from parking lots and pedestrian circulation routes.
 - (7) The appearance of a side or rear of a commercial or institutional building shall be the same as or similar to the front of such building when it is readily visible from a public street or an abutting property in a commercial or residential zoning district or a planned development district that allows commercial and/or residential uses.
 - (8) Rooftop mechanical equipment shall be positioned so it is not readily visible from a public street or an abutting property in a residential zoning district or in a planned development district that allows residential uses. Rooftop mechanical equipment may be placed in an enclosure or screened from view provided such enclosure or screening is used as an element of the building's architecture.
 - (9) Fencing shall complement the appearance of buildings onsite.
 - (10) The exterior building materials of an accessory building shall be the same as or similar to those used on the principal building.
 - (11) Overhead doors shall not face a public street. The Plan Commission may permit overhead doors to face a public street, but only when it has made a finding that there is no feasible alternative location for such doors. Consistent with the requirements in Article 7, the Plan Commission may approve a special exception to allow an overhead door to face a public street when there is no feasible alternative.
 - (12) HVAC (heating, ventilating, air conditioning) equipment shall be screened from view. No HVAC shall create a noise level of more than 50 decibels as measured on a dB(A) scale at the nearest existing adjacent residence.
 - (13) When trash, garbage and recyclable materials are stored out-of-doors, such materials shall be concealed or suitably screened from public view. A brick or stone wall, wood fence, chain-link fence with slats, and/or landscaping shall be used to totally obstruct vision into the storage areas. Any wall, fence and gate, and/or vegetative screening shall be installed or erected to a height at least 1'- 6" above the highest point of the dumpster as generally depicted below.

8-184 Additional standards in the downtown design overlay district

Buildings located in the downtown design overlay district must comply with the requirements in Article 14.

8-185 to 8-200 Reserved

**DIVISION 10
RESERVED**

8-201 to 8-230 Reserved

- (5) a statement that the decision may be appealed as provided for in this division,
- (6) other information the Plan Commission or zoning administrator deems appropriate,
- (7) the signature of the zoning administrator on behalf of the Plan Commission, and
- (8) the date of the decision.

7-120 Effect of approval

An approved plan of operation is personal to the applicant. Any change in ownership shall require a new approval.

7-121 Expiration of an approval

An approval of a plan of operation shall automatically expire 12 months after the date of issuance unless substantial work has commenced under the permit and continues in good faith to completion. Upon petition and with cause, the zoning administrator may grant a one-time extension not to exceed 12 months provided (i) the permit holder requests the extension prior to the expiration of the permit, (ii) the permit holder clearly demonstrates that circumstances beyond his or her control prevented the start of construction and the continuation of the same, and (iii) the project complies with this chapter in effect at the time the extension is granted.

7-122 Amendment of an approval

Following approval of a plan of operation, the Plan Commission shall review all proposed changes to the approval. If in the opinion of the Plan Commission, the proposed change constitutes a minor alteration, the Plan Commission may approve the requested change in writing at a regular or special meeting of the Plan Commission without following the review procedure in this division. If the proposed change constitutes a major alteration, the review procedure in effect at the time of submittal shall be followed.

7-123 to 7-130 Reserved

**DIVISION 7
ARCHITECTURAL REVIEW**

Sections

7-131	Generally	7-137	Application form and content
7-132	Applicability	7-138	Content of decision document
7-133	Initiation	7-139	Effect of approval
7-134	Review procedure	7-140	Expiration of an approval
7-135	Basis of decision	7-141	Amendment of an approval
7-136	Imposition of conditions		

7-131 Generally

Architectural review is intended to ensure that buildings fit in to the context in which they occur.

7-132 Applicability

Those land uses designated as requiring architectural review in the land-use matrix (Exhibit 8-1) must comply with the requirements in this division. The exterior of an existing building designated as requiring architectural review may be resided or re-roofed with the same or similar type of materials.

7-133 Initiation

The owner of the subject property may submit an application for architectural review.

7-134 Review procedure

(a) **Initial review.** The general steps outlined below shall be used in the review of an architectural plan application.

- (1) **Submittal of application materials.** The applicant shall submit a completed application and other required materials to the zoning administrator along with the application fee as may be established by the Common Council.
- (2) **Staff review.** Within 30 calendar days of submittal, the zoning administrator shall either place the matter on the agenda for the meeting at which the matter will be considered allowing for proper public notice or make a determination that the application is incomplete and notify the applicant of any deficiencies. If the application is incomplete, the applicant has 3 months to resubmit the application or forfeit the application fee. The zoning administrator shall take no further steps to process the application until the deficiencies are remedied. The incomplete application shall be retained as a public record.
- (3) **General notice.** Consistent with Division 2 of Article 6, the zoning administrator shall place the matter on the meeting agenda of the Plan Commission.
- (4) **Meeting.** Allowing for proper notice, the Plan Commission shall consider the application at a regular or special meeting.
- (5) **Decision.** The Plan Commission shall (i) approve the architectural plan, (ii) approve the architectural plan with conditions, or (iii) deny the architectural plan. The Plan Commission may render its decision at the same meeting the matter was initially considered or at a subsequent meeting, but no later than 40 calendar days after the public meeting unless the applicant agrees to an extension of a specified duration.
- (6) **Preparation of decision document.** Based on the action of the Plan Commission, the zoning administrator shall prepare a decision document consistent with this division.
- (7) **Applicant notification.** Within a reasonable time following the Plan Commission's decision, the zoning administrator shall mail the decision document to the applicant by regular mail.
- (8) **Public record copy.** A duplicate copy of the decision document shall be retained as a public record.

(b) **Common Council review on appeal.** If a final decision of the Plan Commission is appealed as provided for in this division, the general steps outlined below shall be used in the review of an architectural plan application.

- (1) **Submittal of application materials.** The zoning administrator shall forward the application and other required materials the applicant initially submitted along with the decision document approved by the Plan Commission to the Common Council
- (2) **General notice.** Consistent with Division 2 of Article 6, the zoning administrator shall place the matter on the meeting agenda of the Common Council.
- (3) **Meeting.** Allowing for proper notice, the Common Council shall consider the application at a regular or special meeting.
- (4) **Decision.** The Common Council shall (i) approve the architectural plan, (ii) approve the architectural plan with conditions, or (iii) deny the architectural plan. The Common Council may render its decision at the same meeting the matter was initially considered or at a subsequent meeting, but no later than 40 calendar days after the date of the initial meeting unless the applicant agrees to an extension of a specified duration.
- (5) **Preparation of decision document.** Based on the action of the Common Council, the zoning administrator shall within 15 calendar days of such decision prepare a decision document consistent with this division.
- (6) **Applicant notification.** Within a reasonable time following the Common Council's decision, the administrator shall mail the decision document to the applicant by regular mail.
- (7) **Public record copy.** A duplicate copy of the decision document shall be retained as a public record.

7-135 Basis of decision

The Plan Commission in making its decision shall determine whether the project complies with all applicable design principles and standards.

7-136 Imposition of conditions

(a) **Generally.** In approving an architectural plan, the Plan Commission and Common Council on appeal may impose one or more conditions deemed necessary to further the intent and purposes of this chapter.

(b) **Effect on contracts with another party.** The Plan Commission or the Common Council on appeal shall not condition or withhold approval based upon the property owner entering into a contract or discontinuing, modifying, extending, or renewing any contract, with a third party under which the third party is engaging in a lawful use of the property.¹⁰

7-137 Application form and content

The application submittal shall include an application form as may be used by the City and a set of architectural plans prepared at an appropriate scale.

7-138 Content of decision document

(a) **Approval.** If the architectural plan is approved, the decision document shall include the following:

- (1) a statement that the application is approved,
- (2) a description of the project,
- (3) reasons for the decision based on the criteria listed in this division,
- (4) conditions of approval, if any,
- (5) if one or more conditions of approval are imposed, a statement indicating that the property owner must sign the decision document and return it to the zoning administrator to acknowledge acceptance of the same,
- (6) a statement that the applicant may appeal the decision to a court of competent jurisdiction,
- (7) a statement that an aggrieved person, other than the applicant, may appeal the decision and that any work done by the applicant as authorized by the approval is done at the applicant's risk,
- (8) other information the Plan Commission or administrator deems appropriate,
- (9) the signature of the zoning administrator on behalf of the Plan Commission or Common Council on appeal, and
- (10) the date of the decision.

(b) **Denial.** If the architectural plan is denied, the decision document shall include the following:

- (1) a statement that the application is denied,
- (2) a description of the project,
- (3) reasons for the decision based on the criteria listed in this division,
- (4) a statement indicating that the denial does not limit the applicant's ability to resubmit a revised application for consideration,
- (5) a statement that the decision may be appealed as provided for in this division,
- (6) other information the Plan Commission or zoning administrator deems appropriate,
- (7) the signature of the zoning administrator on behalf of the Plan Commission or the Common Council on appeal, and
- (8) the date of the decision.

7-139 Effect of approval

An approval of an architectural plan shall run with the land and is binding on all subsequent property owners.

¹⁰ Commentary: See s. 62.23(7)(gm), Wis. Stats. The City, for example, could not require an applicant to terminate an existing contract with another party that is engaged in a lawful use of the property.

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Plan Commission Members
From: Scott J. Kluver, Administrator
Re: Façade Loan/Architectural Review Brownstone Pharmacy
Date: June 11, 2018

Please find the enclosed application by Mr. Nate Swiston for façade improvements to the Brownstone Pharmacy portion of the building at 114 W. Bayfield Street. The project would replace all of the front glass windows as well as change the front brick work and the awning/transom area. I have reviewed the application, and it meets the technical requirements of the program. Those requirements are also included. The request is for \$5,151.00.

As of May 31, 2018, the fund had \$78,768.85 in it for loans. Utility payments are up to date on the property, and the required payment on taxes has been made. If the Plan Commission provides approval of the project, a motion can be made to authorize the Administrator and the Attorney to prepare and execute the necessary loan documents for the approved amount for this project.

An architectural review is also needed for this project. As the property is located in the Downtown Design District, and it is not considered to be a minor project. Please refer to the regular architectural standards and the Downtown standards that were included in the previous item. For an existing structure, I did not see any issue that would hinder compliance with the standards. I believe it should be verified that the new doorway would still open into the building. Besides that, I would recommend approval. Please review the criteria for approval or denial, which was also included with the previous item, as that should be made with any motion for approval or denial.

Please let me know if you have any questions on the façade loan program or the architectural review standards.

**CITY OF WASHBURN
 FAÇADE RENOVATION PROGRAM
 LOAN APPLICATION (\$30 FEE FOR RECORDING IF APPROVED)**

Applicant Information	
Contact Name: Nate Swiston	Contact Address: 110 W. Bayfield St.
Business Name: Brownstone Pharmacy	Project Address: 114 W. Bayfield St.
Day Phone: 715-373-5401	Alt. Phone: 715-209-4787
FAX: 715-373-0992	E-Mail: Washburnhardware@gmail.com
Type of Organization: <input type="checkbox"/> Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Sole Proprietorship <input checked="" type="checkbox"/> LLC <input type="checkbox"/> Other:	Federal ID #: 26-1369170 - (Hardware) 82-1542083

Building Owner Information (if different than applicant)	
Owner Name:	Owner Address:
Day Phone:	Alt. Phone:
FAX:	E-Mail:
NOTE: If loan applicant is not the owner of the building, please attach a letter, signed and dated, from the property owner expressing approval of the project application.	

General Project Information	
Proposed Start Date: 7/16/18	Proposed Completion Date: 7/31/18
Contractor Name, Address & Contact Info: Schraufnager Glass & Calvin's Construction - (please see attached)	Budget Estimates: \$13,151.00 Total Project Estimate: \$13,151.00 Façade Loan Request: \$5151.00 Private Funds: \$ Private Loans: \$ Other Funding: \$8000.00 WHA Grant

Project Description

Describe the overall project and scope of work (attach additional pages if necessary):

Replace glass, aluminum frames & Woodwork
for front of Brownstone pharmacy -

please see attached

How does this project meet the goals and objectives as detailed in the Façade Renovation Program Guidelines (attach additional pages if necessary):

This project will rehabilitate a downtown
Commercial property to prevent & eliminate
deteriorating conditions. Will greatly improve
the appearance of a ^{Historic} main street building.

Property Tax ID: 33249

Property Legal Description: Original Townsite of Washburn
Lots 10-12 Block 49
(114 W. Bayfield Street)
Brownstone pharmacy
Previous Langford pharmacy

Please provide the required attachments listed below:

- Eight (8) copies of drawings / design plans (per Sec. IV.A.1.).
- Contractor proposal (s) (per Sec. IV.A.2.).
- Certificate of Insurance (per Sec. IV.A.9.).
- Photos of property

Certification: The information provided above is true and accurate to the best of my knowledge and I have read and understand the guidelines of the City of Washburn Development Authority Façade Renovation Loan Program and agree to abide by its conditions. I understand that I must, or the building owner must if I do not own the building, sign a mortgage to secure repayment of the loan, and that the mortgage will be recorded as a lien against the property. I acknowledge that the WDA has the right to terminate this agreement under the Façade Renovation Loan Program if I as the applicant am found to be in violation of any conditions set forth in the guidelines of the program.

Applicant Signature: _____

[Handwritten Signature]

Date: _____

5/24/18

Project Close-Out (REQUIRED SIGNATURES)

By signing below, you verify that all work on this project had been completed to the best of your knowledge and, in your opinion, is acceptable to you and completed in accordance with the requirements of the Façade Improvement Program guidelines and consistent with the nature of this application.

Contractor:	Date:
Applicant:	Date:
Building Owner (if applicable):	Date:
Building Inspector:	Date:
CDA Chairperson:	Date:

Office Use Only

Date Application Received:	Does applicant have outstanding delinquent taxes or municipal code violations?
Washburn Plan Commission Review Date:	<input type="checkbox"/> Approved w/o conditions <input type="checkbox"/> Approved w/conditions (see attached) <input type="checkbox"/> Denied (reasons below)
Authorized Grant Amount:	Reason for Denial if Applicable:
Plan Commission Reimbursement Claim Approval Date:	Date Check Issued:



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
05/25/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER American Insurance Services fka LBS Insurance Group 303 W Main St Ashland, WI 54806 Terrence E Burns	CONTACT NAME: Terrence E Burns	
	PHONE (A/C, No, Ext):	FAX (A/C, No):
E-MAIL ADDRESS:		
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A: Sheboygan Falls Insurance Co		
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		
INSURER F:		

INSURED Washburn Hardware LLC
 Nate Swiston
 110-114 W Bayfield St
 Washburn, WI 54891

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD IJWD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		BSY8956666	10/17/2017	10/17/2018	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N N/A If yes, describe under DESCRIPTION OF OPERATIONS below					PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Property Section		BSY8956666	10/17/2017	10/17/2018	BUILDING 530,600 DED 1,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER CITY OF WASHBURN PO BOX 638 WASHBURN, WI 54891	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Terrence E Burns
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City of Washburn

Downtown Building Facade Renovation Loan Program Policy Guidelines

- I. **PURPOSE:** The City's intent in establishing this loan fund is to encourage downtown business owners to undertake business facade improvements. Physical improvements to structures downtown will assist in spurring economic vitality downtown. By improving the exteriors of commercial buildings downtown, the City will enhance the appearance of the downtown and the community as a whole overall. The resulting effect will be the attraction of new businesses to downtown and to the community as well as the retention and expansion of existing businesses.
- II. **OBJECTIVES:** The Building Facade Renovation Loan Program has the following objectives.
- A. To renovate or rehabilitate commercial properties so as to prevent or eliminate deteriorating conditions.
 - B. To attract and retain businesses downtown.
 - C. To retain jobs and bring additional employment opportunities to the City.
 - D. To make use of funds the City has set aside for the enhancement of the City's downtown, which is deemed an asset of the City.
 - E. To spur activity which will provide return to the City by way of physical improvements accomplished which may not otherwise have occurred.
- III. **PROJECT & APPLICANT ELIGIBILITY:**
- A. **General and Designated Area:**
The Façade Renovation Loan Program only applies to the exterior facades, signs and architectural features for properties on Bayfield Street between Fur Farm Road and 1st Avenue East that are 50 percent or more commercial and only to those exterior facades, signs and architectural features of such buildings that are visible from Bayfield Street.
 - B. **Minimum Requirements:**
 - 1. Projects shall occur within the established designated area.
 - 2. Projects must commence within six (6) months of approval and shall be completed within one (1) year of the grant approval date. In rare cases, likely due to extenuating circumstances, the Plan Commission may allow completion extensions upon request of the applicant. The Plan Commission/City of Washburn reserves the right to eliminate project funding if not completed within the specified time period and is not obligated to granting time extensions.
 - 3. Projects shall comply with all applicable City building and zoning standards and requirements.
 - 4. Concurrent applications from the same applicant, unless for separate properties, shall not be allowed. An applicant may apply for another

project after any existing project by the same applicant is completed to the satisfaction of the Plan Commission.

C. Eligible Activities Included but not limited to:

1. Repair/replacement of the original building's materials and decorative details.
2. Cleaning of exterior building surfaces.
3. Tuck pointing and masonry repair.
4. Painting of exterior building surfaces.
5. Repair/replacement or addition of entrances, doors, display windows, transoms, or windows.
6. Removal, repair/replacement of existing signs and awnings.
7. New signage and awnings.
8. Landscaping improvements.
9. Permanent exterior lighting.
10. Qualified professional design services.
11. Other activities as designated by the Plan Commission/City of Washburn.

D. Non-Eligible Activities Included but not limited to:

1. Interior improvements.
2. Purchase of property.
3. Construction of a new building.
4. Fixtures and equipment.
5. Removal without replacement of architecturally significant features and design elements.
6. Sidewalk repairs.
7. Correction of code violations.
8. Any roof repair or replacements, except in cases where a new roof "style" is a critical component of the façade restoration or replacement project.
9. Compensation for time and labor spent by applicant or members of applicant's immediate family. (*Note that one needn't be the building owner to apply.*)
10. Other activities as designated by the Plan Commission/City of Washburn.

IV. PROGRAM TERMS & CONDITIONS:

A. General Requirements

1. Applicants must include detailed drawings and specifications with application. Eight (8) copies of drawings/design plans must be submitted. The Plan Commission may require drawings to be submitted by an architect. The plans must include:
 - a. Detailed site plan using adequate scale to be easily and clearly understood. Ideally, said plan shall be drawn to a minimum scale of 1"= 100'.

- b. Elevations of any façade proposed to be altered, ideally drawn to scale at least 1/8"=1'; each elevation drawing should include notations of proposed materials, color, finishes and details. The drawing should clearly show proposed signage (if any). Perspective renderings of the proposed project and / or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.
 - c. Current condition photos to provide adequate "before and after" shots.
 - d. Construction / reconstruction time schedule, noting start and completion date.
2. Applicants must submit at least one contractor proposal or estimate from supplier; however, it is suggested that the applicant pursue multiple proposals for their own protection and peace of mind. The Plan Commission retains the right to request additional proposals. The property owner is not required to utilize a contractor to have the work completed. The Plan Commission/City of Washburn does not assume any liability to the work of any contractor that is chosen by the property owner.
 3. Applicants, if tenants, must have the written permission and approval from the respective property owner.
 4. Applicants must take out the appropriate building or sign permits. Fee waivers shall not be allowed, unless approved by the Common Council. Loan funds cannot be used to pay for permit fees.
 5. Applicants who are delinquent with their property or personal tax, utility payments, or have outstanding municipal code violations are not eligible until said issues are resolved.
 6. Payment shall be made on a reimbursement basis upon completion of construction/installation.
 7. Minor changes to the project will require submittal and approval by the City Administrator. Significant project changes, as determined by City Administrator, will require approval of the Plan Commission.
 8. The Plan Commission/City of Washburn reserves the right to cancel any loan agreement if any of the conditions of the program guidelines and agreement are not met.
 9. Applicants shall provide a Certificate of Insurance with their application showing proof of property insurance for fire and all hazards. The City shall be designated a loss payee up to the amount of the loan.

B. Approval Authority

1. The Plan Commission will have the ultimate authority to approve or deny applications on a case-by-case basis and may impose certain design conditions on approved projects.

C. Expiration

The façade loan improvement program will expire if one of the following occurs:

1. When the funds have been spent, unless additional funding has been authorized by the City Council.
2. When the Plan Commission and/or City Council chooses to eliminate or amend the program.

V. **LOAN TERMS:** All loans granted under this program shall be subject to the following terms and conditions:

- A. The minimum loan granted under this program shall be \$2,000 and the maximum loan shall be \$10,000 per building.
 1. The Plan Commission reserves the right under this program to exceed the maximum loan amount of \$10,000 per building on a case by case basis when: the size of the building coupled with the proposed project would result in a significant impact on the downtown that would exceed the typical project under the program, and the project proposed goes beyond maintenance to improving the architectural value of the building to the downtown as determined by the Plan Commission.
- C. The loan shall be at 0% interest.
- D. The full balance of the loan shall be due immediately upon sale of the property or within seven (7) years of the approval date, whichever event happens first. The loan may not be assigned without the express written consent of both parties. The loan may be prepaid in whole or in part at any time.
- E. Loan approval shall expire six months following the date the Plan Commission approves the loan unless the project has commenced.
- F. Projects must be completed within one year of Plan Commission approval.
- G. Project participation may be limited based on the availability of program funds.
- H. Applicants will be required to sign a note and a mortgage as a condition for receiving loan funds. The mortgage will be recorded against the property at the Office of the Register of Deeds.

VI. **FACADE RENOVATION LOAN PROGRAM PROCEDURES:**

- A. Applicant meets with City staff for initial project discussion.
- B. Applicant submits grant application to Plan Commission, and required contractor proposal/quote to staff (according to Sec. IV.A.2. in these guidelines), containing all of the requirements specified in these guidelines. Applications must include detailed drawings and specifications. Eight (8) copies of drawings and specifications must be submitted. The Plan Commission may require drawings to be prepared by an architect.

- C. Plan Commission reviews plans and approves or denies loan request. If approved, the Plan Commission may place conditions on the proposed project.
- D. If denied, applicant may submit a revised application and repeat process.
- E. Applicant submits building and/or sign permit with final design plans as required by City code.
- F. Building Inspector reviews and approves any required permits.
- G. A "loan document" is drafted by City staff that identifies the terms of the agreement. All parties execute said letter. A note and mortgage are drafted which the applicant signs.
- H. Construction/Installation begins. Applicant has six (6) months from the execution date of the loan to begin implementation of approved improvements. Any plan changes would require approval according to Sec. IV.A.8 in these guidelines.
- I. Construction/Installation is completed within one (1) year of loan agreement signed.
- J. Applicant contacts Building Inspector to request project review to see if all code requirements have been met.
- K. Applicant provides itemized paid invoices for the project, and any outstanding bills which are also eligible for payment under the loan agreement, to City staff, along with the completed "Project Close-Out" section on the application form. While a construction lien waiver is not required, it is recommended that the applicant consider obtaining appropriate construction lien waiver(s) from the contractor(s) for the project.
- L. After Plan Commission approves reimbursement claim, the City Clerk forwards payment directly to the applicant.

Approved 102109

Revised 03/12/2014 (Extended western eligibility boundary).

Revised 08/17/2016 (Change Terms of Loan)

Revised 09/13/2017 (Delete WDA and Change to Plan Commission)

WHA 2018 Grant Application

Nate
Copy

Applications must be received by April 30, 2018

Mail applications to: Washburn Heritage Association
P.O. Box 814
Washburn, WI 54891

Description: WHA is offering grant money for the repair, refurbishing, or enhancement of the exterior of commercial buildings on Bayfield Street in Washburn. Applications will be evaluated for the impact of the project on the aesthetics of Washburn's main street.

Grant amount: WHA has designated a total of \$10,000 for this grant offering. WHA may choose to fund one project or distribute the money among several recipients.

Notification: May 10 by e-mail.

Distribution of funds: Funds will be made available in phases after work begins or after completion of the project.

Building owner: Nate + Susan Swiston

Applicant's name and relationship to building owner: Self

Applicant's e-mail address: Washburnhardwarewi@gmail.com

Applicant's phone number: 715-373-5401

Applicant's mailing address: P.O. Box 368, Washburn

Address of project: 114 West Bayfield Street.

Amount requested: \$10,000.00

Please provide ALL of the following information.

- please see attached

1. Describe your project.
2. Describe the impact your project will have on the aesthetics of Bayfield Street.
3. Provide a detailed budget for your project.
4. Provide a timeline for your project.
5. Who will perform the work on your building?
6. Do you have a scaled-back version of this project that we could fund instead of the full-scale project? What would be the plan and funds requested for the smaller project?

Include photos, drawings, or other information to help us understand your project.

**If you have questions, contact
Jill Lorenz at 715-373-5908 or
Sharon Stewart at 715-373-2556 or
Carla Bremer at 715-373-5212.**



110 West Bayfield Street

Washburn, WI 54891

April 19, 2018

RE: WHA 2018 Grant Application

Dear Members of the Washburn Heritage Association,

First of all, thank you for providing the businesses of Washburn an opportunity to apply for this grant offering. I am a firm believer that anything we can do to enhance and preserve the beauty of our downtown businesses is important to the entire community.

My wife Susan and I purchased Ungrodt Hardware along with the building that now houses Washburn Hardware and the Brownstone Pharmacy back in 2008. It's hard to believe we are starting our 11th year! Since 2008, we have done our best to begin preserving and improving the entire building. We have installed a new roof, restored the sides of the building, upgraded our electrical service and improved drainage to preserve our brownstone basement. We also started with updates to the front of the hardware side of the building including a new sign, a new lighted awning and 2 new windows. Up until recently, we have held off with improvements to the front of the pharmacy as we were unsure the direction it was headed with the Langford family. In addition, making major improvements to a store front can put a financial strain on a small business.

Now that we have secured a new owner of Brownstone Pharmacy and a long-term renter, Delora Pufall, we have agreed mutually it is time to preserve and enhance the front of the pharmacy. In a short time, Delora and her staff have proven a pharmacy will remain a stable part of our community and they have already made great improvements to the interior of the business. The front of the pharmacy is in desperate need of improvement and preservation. The single pane window glass is over 20 years old and freezes up due to moisture during the cold months. In addition, the wood structures supporting the display window are beginning to deteriorate the front of the building.

PROJECT DESCRIPTION: Our project request is to obtain enough funding to replace all the store-front window glass of the pharmacy as well as rebuild the wood structures supporting the glass frames and window display. This will also include re-finishing the structure bottoms with brick to better blend in with the rest of the building.

PROJECT IMPACT OF BAYFIELD STREET: This improvement will not only immediately enhance the attractiveness of the historic building but will help to preserve the building with better protection from the elements. Building improvements, especially to store fronts, I believe give both the community and our visitors a sense of our commitment to the city and shows the strength of our business sector. Positive improvements to existing businesses can hopefully stimulate new business development within the area to further improve our business offerings to the public.

DETAILED BUDGET: Please see attached estimates

- A. Schraufnagel Glass from Ashland will provide the materials and labor to remove and replace the existing glass from both sides of entrance door with new double pane insulated glass and brown aluminum trim to match the rest of building. **\$ 8651.00 (attached)**
- B. Calvins Construction from Washburn will provide the labor and materials to rebuild the framework supporting the store-front glass and window displays for both sides of the entrance door. **\$ 4500.00 (attached)**
- C. TOTAL ESTIMATES: **\$13,151.00**
- D. If we were able to secure the entire \$10,000 grant, the remaining \$3,151 would be contributed by Washburn Hardware & Brownstone Pharmacy.
- E. Washburn Hardware will provide additional labor, needed hardware and tools as required to help the project remain efficient and within budget. **DONATED**

PROJECT TIMELINE: Our project will begin potentially in June as soon as we can coordinate weather and contractor schedules. We estimate the entire project will take approximately 2 weeks once started.

SCALED-BACK PROJECT: The only way to scale our project back would be opting to replace only the glass and aluminum frames while leaving the supporting structure as is. Unfortunately, this would not be desirable as the weakening existing structures may compromise the life of the newly installed glass. Replacing only the glass may also not provide the desired enhanced look to the building. Of course, we would be thankful to be awarded any portion of this project and would make the best possible use of the investment.

Please see attached photos and drawings showing examples of our desired project.

We look forward to your consideration of this great Washburn main-street project. We would be very excited to help further enhance the downtown Washburn business community.

Sincerely,



Nate Swiston

WORK ORDER

SCHRAUFNAGEL GLASS

Date: _____

Job Name: WASHBURN PHARMACY

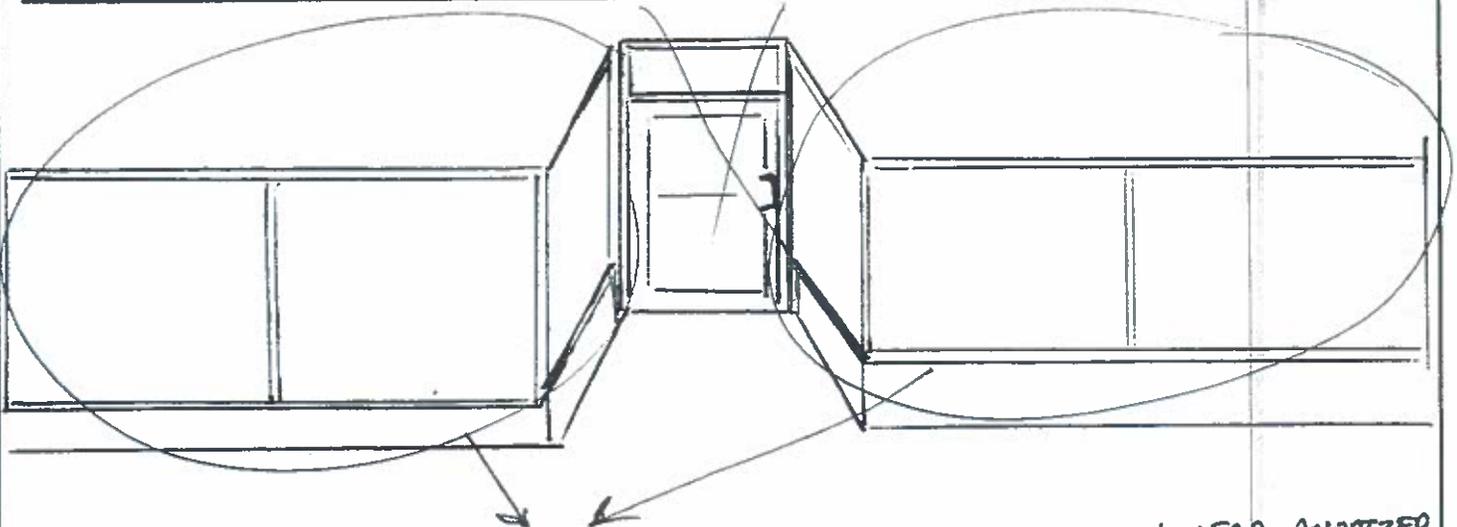
Customer: _____

(715) 682-9633
1318 West Lake Shore Drive
Ashland, Wisconsin 54806

Phone: _____

Order taken by: _____

JOB DESCRIPTION



~~EST. \$5,000 STOREFRONT~~

- DARK BRONZE / CLEAR ANODIZED
- THERMAL ALUMINUM FRAMES
- 1" INSULATED TEMPERED GLASS
- BREAK METAL FOR CORNERS

LABOR / TRAVEL / DISPOSAL

EST. \$2,400 ??

~~\$8200~~
451 TX
~~\$8651~~

Date Completed: _____

Date Invoiced: _____

Invoice Number:

Total Invoice:

Schraufnagel Glass
1318 West Lake Shore Drive
Ashland, WI 54806

(715) 682-9633 / Fax (715) 682-9463

Fed. ID# 391529177

Washburn Hardware
110 W Bayfield St
Washburn, WI 54891

Inv. #	Q A0001068	Date	04/03/18
Cust. #	7153735401	Price Cat	
P.O. #	NATE	Sold By	
Fed Tax #		Inst'l By	

(715) 373-5401

Fax: () -

Qty	Part	Thickness	Description	List	Price	Total
1	KAWNEER		Storefront replacement/1" insulated glass/Alum. fr	5800.00	5800.00	5800.00
1	LABOR		Labor Charge/travel/materials/disposal trim may end up costing slightly more depending on how we incorporate existing trim	2400.00	2400.00	2400.00

SPECIAL INSTRUCTIONS

Pharmacy store front

All material sold on this invoice is guaranteed to be as specified, and is not safety glazed material unless so marked. It is sold with the understanding that this material will not be glazed in a "hazardous location" as defined by the Consumer Product Safety Commission. All merchandise returned for credit, refund or exchange must be in resalable condition, authorized for return, accompanied by this receipt, and may be subject to restocking fee. No returns will be authorized for special orders or cut flat glass.

Subtotal	5800.00
Labor	2400.00
Tax	451.00
Total	8651.00
Balance	8651.00

Terms of payment are 30 days from invoice date. A service charge of 1.500% per month (18.000% annum) will be added to past due accounts.

RECEIVED BY:

The glass listed has been replaced / repaired with like kind and quality to my entire satisfaction, and I authorize my Insurance Company to pay the "Above named Repair / Glass Company" directly for the glass and installation charges, or repairs.

ESTIMATE

REBUILD WINDOW SUPPORTS FOR BROWNSTONE PHARMACY PRIOR TO NEW WINDOW INSTALLATION

Nate,

Here is what I came up with for the front of the pharmacy;

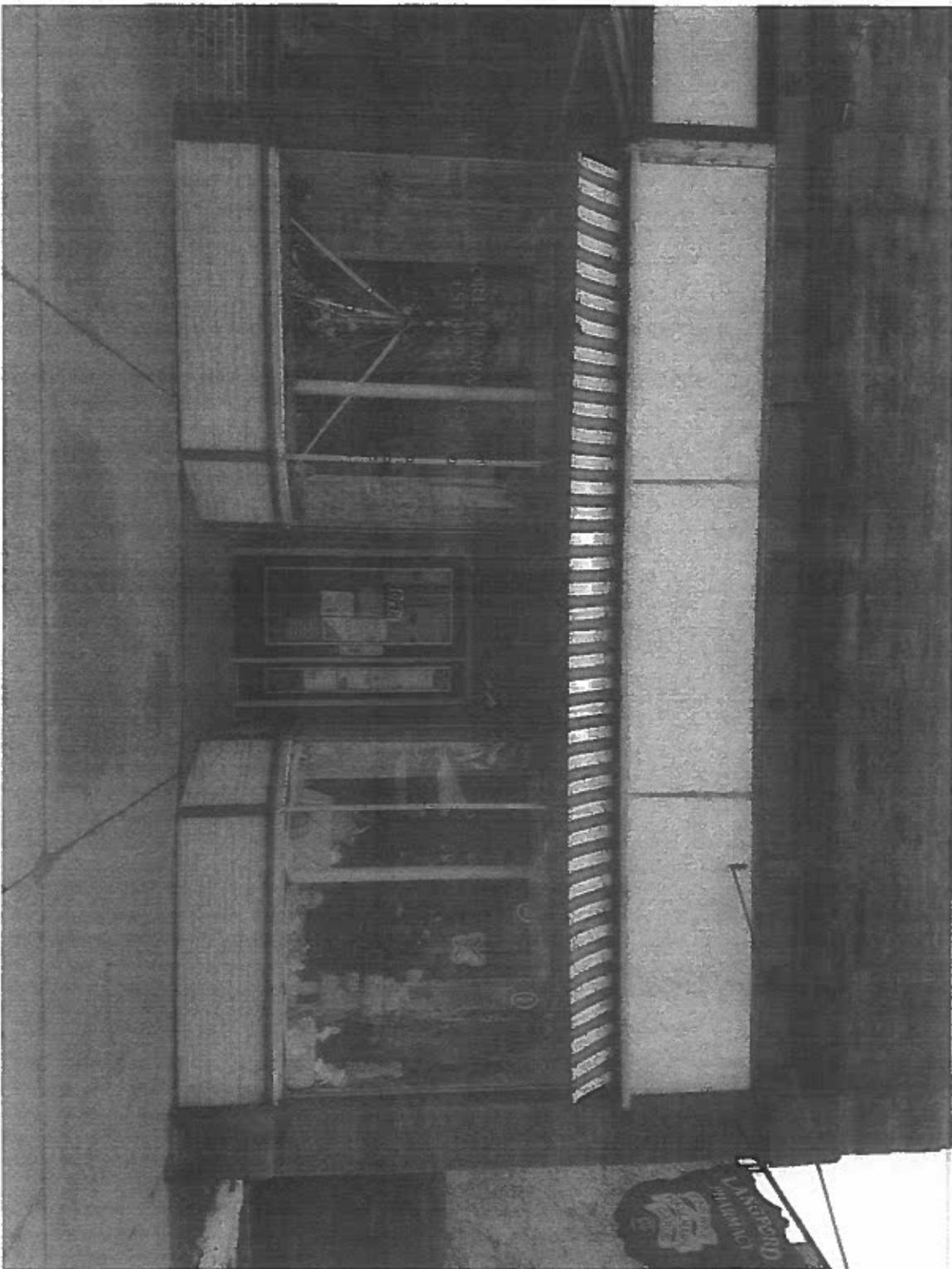
- remove existing faux brick and other backing layers down to original exterior sheathing.
- replace any rotten sheathing.
- apply felt paper to exterior sheathing
- lay new brick veneer bellow windows with required brick ties and weep holes.
- top course of brick will be a canted row lock if the new brick veneer face is outside the face of the new windows.

Estimated cost: \$4500.00

Respectfully,

Tim Schwenzfeier
Calvin's Construction, Inc.
76805 Hove Lane
Washburn, Wi
calvinsconstuctioninc@gmail.com
715 685 4636

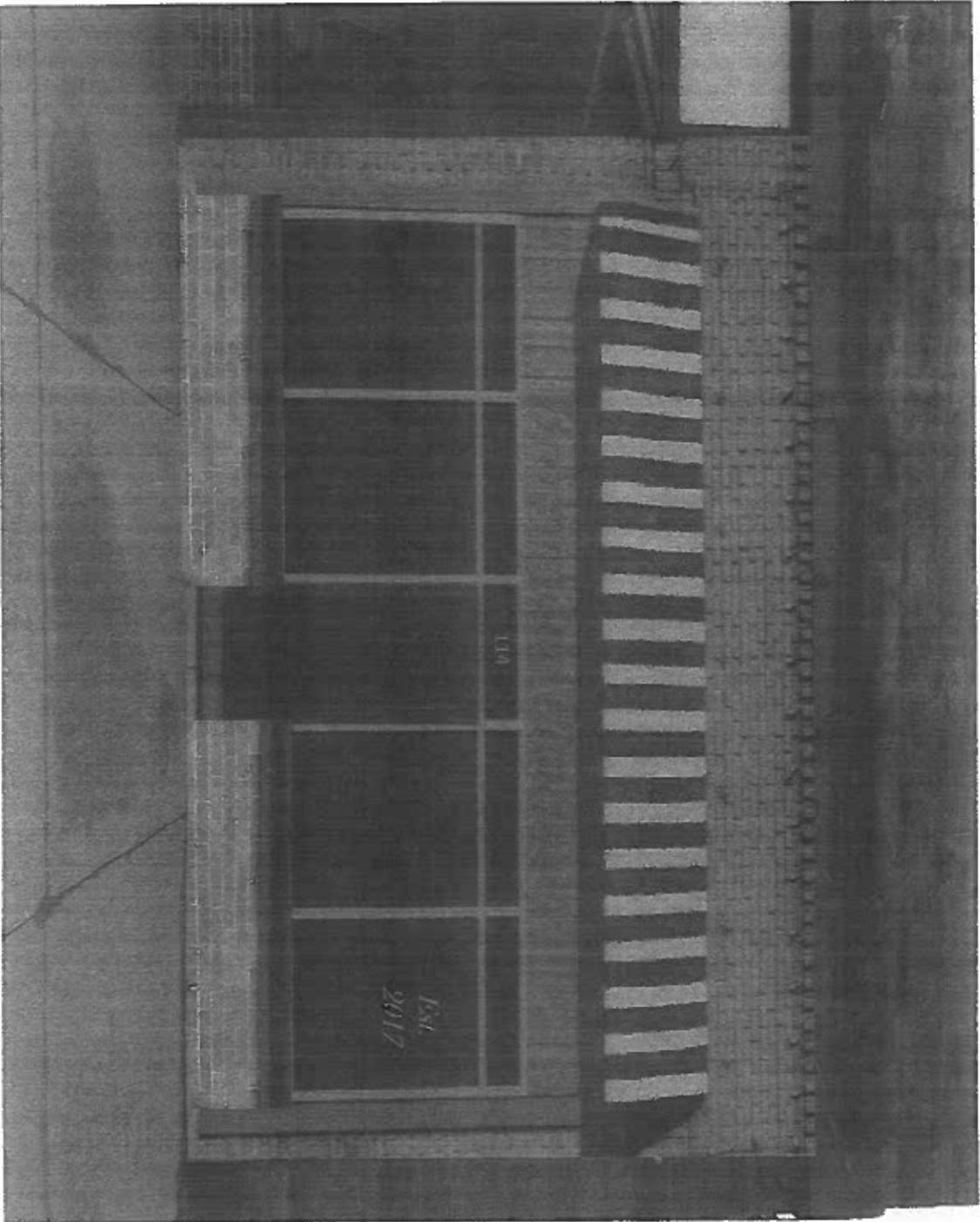
Current
photo



Proposed
new look
with new
windows;

Current
awning may
be
re-used or
replaced in
future
project;

Brick below
windows is
included in
current
project;
brick above
awning may
be added
with future
project



CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Plan Commission Members
From: Scott J. Kluver, Administrator
Re: Site Plan and Architectural Review for Revised Family Dollar Plans
Date: June 12, 2018

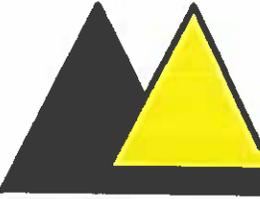
Enclosed you will find revised plans from Sorensen Development, Inc. for a proposed Family Dollar store to be located in the 400 Block of the south side of Bayfield Street. These plans address the reasons for which the site plan was denied last month. Those reasons are also attached for your reference. Please note that not all of the reasons that were stated at last month's meeting were determined to be valid after review by the City Attorney and myself. With the revised plans, I believe that the proposed plans have complied with all of the provisions of the code and that there are no valid reasons for denial. In the interests of avoiding too much paper, I have not included the entire review that was provided last month as no issue was made with most of what was provided. If you need a copy of last month's materials, please contact me so that can be prepared. This packet focuses on correcting the issues from last month's plan.

The only area which is subjective in this review is related to the relative size of the building compared to other neighboring buildings. You will see statistical analysis which show that the proposed building is not significantly larger than other buildings in the same district. It is not the largest building in that district, and if a more restrictive standard is going to be applied, we will need to carry that forward to future development proposals. That would be a mistake in my opinion, as it will not help to increase development in Washburn. The C-2 district is defined in our own code as "This district is intended to accommodate a wide range of large and small scale commercial development including both pedestrian and auto-oriented land uses, including intermixed higher density residential uses." I do not see anything with this proposed development that is contrary to the intended vision of this district in the zoning code or in the comprehensive plan.

I do want to address what I believe is a misconception with many related to the orientation of the building as it faces 4th Avenue. It is my understanding that the entrance is off of 4th Avenue because the Wisconsin Department of Transportation will not allow a new access onto STH 13 at this location. The developers would like to have their store face the vehicular entrance for the ease of their customers, and because the orientation of the building allows for the proper turn radius for the delivery trucks. It is the most efficient use of the property. There is nothing in the City's code that prohibits, or requires, that the building face Bayfield Street as it is a corner lot. Our code defines the front of the building as the side where entrance to

the property is located, so that is how the design standards are applied when it comes to the front face of the building.

I understand that there are many who have objections to the Family Dollar business model and perhaps for other personal reasons. It is the role of the Plan Commission to fairly and objectively apply the code of the City to regulate land use to all without having political factors influence these decisions. Approving site plans is an authority that has been delegated by the City Council, and it is an authority that needs to continue to be used responsibly. Failure to appropriately use that authority could cause the Council to take that authority away, which is something that would go against the years of work that has gone into the zoning code. I encourage the members to remember the reputation of the City when it comes to development projects. It is a reputation that certainly is not viewed favorably by many. As anyone who has done building projects knows, it takes a great amount of time and investment to prepare plans and all of the details that go along with it. It is important that we are also respectful to those that desire to invest in Washburn. There are so many other projects that are at stake with our reputation which are vital to the well-being of the City and the desire of the citizens to provide good services. While the proposed development may not be favored by some, it is not our role to play favorites or decide who gets to build in Washburn because of what they sell or how their business is structured. It is our role to make sure that everyone follows the code that has been approved fairly and properly. I submit to you that Sorensen Development, who along with their consultant Mountain Engineering, have been most cooperative in meeting the standards the City currently has in place.



MOUNTAIN ENGINEERING, INC.

N2960 North US Hwy 2
Iron Mountain, Michigan 49801
Phone (906) 779-5762
Fax (906) 779-5789

221 University Avenue Suite 103
Williston, North Dakota 58801
(701) 609-5760

Email mtneengineering@chartermi.net

June 6, 2018

Scott Kluver
City of Washburn
P.O. Box 638
Washburn, WI 54891

RE: Family Dollar Store
Washburn, Wisconsin

Dear Mr. Kluver:

On behalf of Sorensen Development, Inc., Mountain Engineering, Inc. would like to provide the City of Washburn with revised project drawings for the proposed Family Dollar Store to be located on the corner of South 4th Avenue and Bayfield Street. The drawings were revised to address the items listed in the June 5, 2018 email to our office regarding the Architectural Review Decision.

In direct response to the June 5, 2018 email, Mountain Engineering, Inc. offers the following:

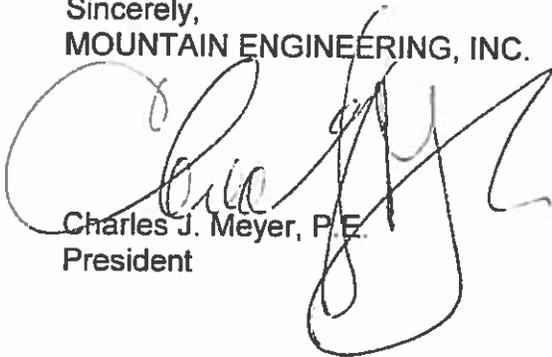
1. Attached to this letter is a summary of the statistical analysis conducted to evaluate the scale of the building. It should be noted that the statistical method is more of a procedure versus a math problem, so we have laid out the steps so that the data and methods could be checked.
2. It is our understanding that you believe that the architectural elements now comply with the ordinance.
3. The lighting plan has been revised to comply with the ordinance. Review of the lighting schedule will indicate that a total of 78,513 lumens is proposed, which is well below the ordinance limit.

June 6, 2018
Scott Kluver
City of Washburn
RE: Family Dollar Store
Washburn, Wisconsin

Page 2 of 2

We appreciate your review and past approvals and we believe that attached plans meet all the conditions required of your ordinance. We would very much like to receive approval at the June 21, 2018 Plan Commission Meeting. If there is any additional information or discussion that is required to achieve approval at the next meeting, please contact us immediately. Otherwise we look forward to your approval.

Sincerely,
MOUNTAIN ENGINEERING, INC.



Charles J. Meyer, P.E.
President



MOUNTAIN ENGINEERING, INC.

N2960 North US Hwy 2
Iron Mountain, Michigan 49801
Phone (906) 779-5762
Fax (906) 779-5789

221 University Avenue Suite 103
Williston, North Dakota 58801
(701) 609-5760
Email mtneengineering@chartermi.net

June 6, 2018

Family Dollar Store
Washburn, Wisconsin

BUILDING SCALE STATISTICAL ANALYSIS

1. Background

Article 8-183(1) of the Washburn Zoning Code indicates that the scale of a building shall be compatible with the overall massing and the individual parts of adjacent buildings.

This has been interpreted as footprint of the building shall not be significantly different in the footprint area than those other buildings in the area.

2. Analysis Method

The proposed Family Dollar Store is located in a C-2 zoning district. A total of 21 buildings were identified in the same zoning district, ranging in size from 821 square feet to 9687 square feet. The proposed Family Dollar Store will not be the largest building in this C-2 zoning district.

To evaluate whether the proposed Family Dollar Store is significantly different in size from the other buildings in the zoning district, the building data was analyzed using the t-distribution. This is a proven, proper, and unbiased statistical method used to evaluate data sets less than 30 points.

Using the mean (average) and standard deviation of the buildings, a "t" value can be calculated and compared to the t-distribution to determine significant differences in an unbiased and reproducible method.

The "t" value is calculated with the following formula:

$$t = (\text{data point} - \text{mean}) / (\text{standard dev.} / \text{square root of the number of data points})$$

BUILDING SCALE STATISTICAL ANALYSIS

Page 2 of 3

3. Statistical Analysis

The name, size, "t" value, mean, and standard deviation of the 21 buildings identified in the C-2 Zoning district is listed below.

Zoning District C-2 Summary All Buildings

<u>Building</u>	<u>Areas</u>		
401 Bayfield	2002 sqft	-1.630	
U.S. Post Office	4579 sqft	2.982	
409 Bayfield	2115 sqft	-1.428	
415 Bayfield	1233 sqft	-3.006	
431 Bayfield	1772 sqft	-2.041	
Washburn DPW	8282 sqft	9.609	
North Coast Coffee	1548 sqft	-2.442	
511 Bayfield	857 sqft	-3.679	
527 Bayfield	1080 sqft	-3.280	
South Shore Brewery Tap House	9687 sqft	12.124	
Marx Motors	1847 sqft	-1.907	
Bill's Collision Center	6888 sqft	7.114	
617 Bayfield	1550 sqft	-2.439	
Holiday Gas Station	5116 sqft	3.943	
623 Bayfield	1063 sqft	-3.310	
631 Bayfield	2171 sqft	-1.327	
Auto Spa Carwash	3872 sqft	1.717	
706 Bayfield	1194 sqft	-3.078	
703 Bayfield	821 sqft	-3.743	
707 Bayfield	1769 sqft	-2.047	
713 Bayfield	1721 sqft	-2.133	
Mean	2913 sqft		
Standard Deviation	2561 sqft		

Using a Level of Confidence of 99%, the t-distribution provides a number of plus or minus 2.845, for n-1 degrees of freedom. Calculated "t" values that are greater than 2.845 or less than -2.845 are considered significantly different. The values found to be significantly different are shaded in red. As can be seen, 11 of the 21 buildings are considered significantly different in scale from those in the same zoning district.

BUILDING SCALE STATISTICAL ANALYSIS

Page 3 of 3

Using all structures in the C-2 Zoning District, for the statistical analysis, does not appear correct as over 50% of the structures are out of compliance with regards to scale.

The analysis was conducted again using only commercial buildings in the zoning district. The results are summarized below.

Zoning District C-2 Summary Commercial Buildings

Buildings	Areas		
U.S. Post Office	4579 sqft		-0.631
Washburn DPW	8282 sqft		2.971
North Coast Coffee	1548 sqft		-3.578
South Shore Brewery Tap House	9687 sqft		4.337
Marx Motors	1847 sqft		-3.287
Bill's Collision Center	6888 sqft		1.615
Holiday Gas Station	5116 sqft		-0.108
Auto Spa Carwash	3872 sqft		-1.318
Average	5227 sqft		
Standard Deviation	2908 sqft		

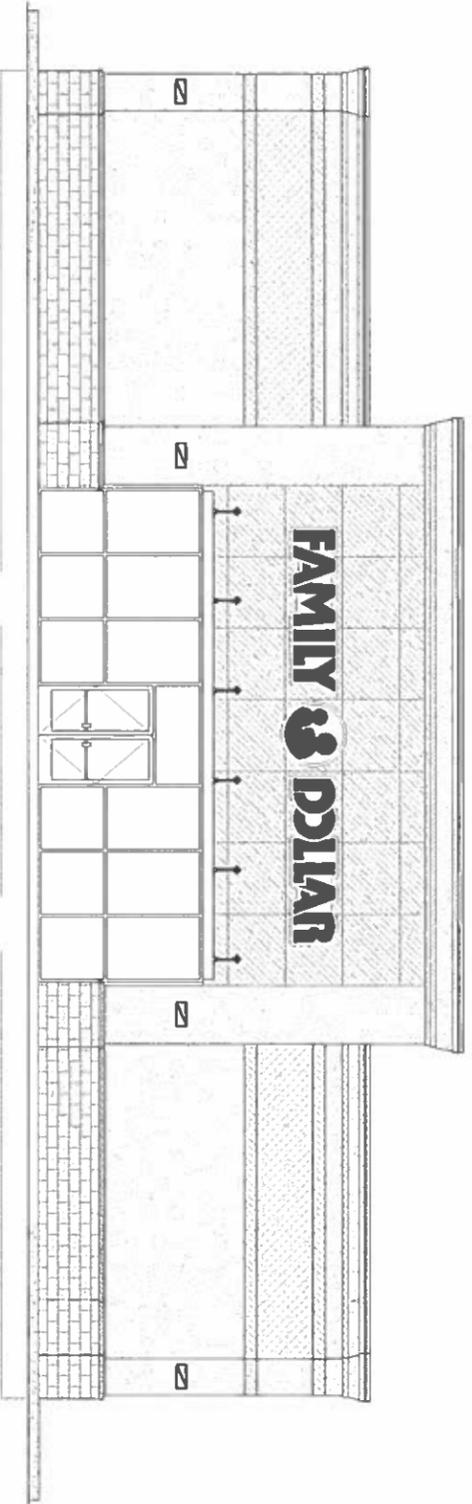
Using a Level of Confidence of 99%, the t-distribution provides a value of plus or minus 3.499, for n-1 degrees of freedom. Values that are greater than 3.499 are considered significantly larger. Values found to be significantly different are shaded in red above. As can be seen, one building has been identified as being significantly larger in scale from those in the same zoning district.

Using the analysis of all commercial structures appears to be a better comparison for buildings located in the C-2 Commercial Zoning District.

4. Evaluation of Family Dollar Store

The "t" value for the proposed Family Dollar Store was calculated using the mean and standard deviation of the commercial buildings in the C-2 Zoning District. Using an area of 8320 square feet, a "t" value was calculated at 3.008. This value is less than 3.499, so based on the t-distribution the Family Dollar Store is not significantly larger than all the other commercial building in the C-2 Commercial Zoning District.

WASHBURN WISCONSIN FAMILY DOLLAR STORE ZONING APPROVAL PLAN SET



PROJECT INFORMATION

APPLICABLE CODES:
 2009 INTERNATIONAL BUILDING CODE
 2009 INTERNATIONAL MECHANICAL CODE
 ICC ANS I 171 1-2009
 2011 NATIONAL ELECTRICAL CODE
 2009 INTERNATIONAL FUEL GAS CODE

BUILDING AREA (SQ. FT.):
 8320 SF

BUILDING HEIGHT:
 18'-3" MEAN HEIGHT

OCCUPANCY TYPE:
 GROUP M/MERCANTILE
 OCCUPANT LOAD: 243

TYPE OF CONSTRUCTION:
 IIB

FIRE REQUIREMENTS:
 NONE REQUIRED PER IBC 2009 TABLE 601. NOTE: VERIFY FIRE SEPARATION DISTANCES PER IBC 2009
 NOTE: SALE SUPPORT AREA SEPARATION NOTE: THE BASIS OF THE PROTOTYPE DESIGN IS A NON-SEPARATED MIXED-USE OCCUPANCY
 NOTE: THERE SHALL BE NO HIGH-PILED STORAGE AS DEFINED BY THE 2009 IBC. NOTE: VERIFY ALL FIRE SPRINKLER REQUIREMENT FOR THE SITE SPECIFIC PROJECT.

EXITING:
 NUMBER OF EXITS PROVIDED: 3 (1 FROM SALES SUPPORT, 2 FROM OTHER AREAS) PER A.D.A. REQUIREMENTS- EACH EXIT SHALL PROVIDE A 32" OR GREATER CLEAR OPENING.
 MAXIMUM TRAVEL DISTANCE ALLOWED = 200 FT
 MAXIMUM COMMON PATH OF TRAVEL = 75 FEET
 MINIMUM EGRESS WIDTH PER IBC 2009 SECTION 1005.1 = 0.2 INCHES PER OCCUPANT
 EXIT SIGNAGE TO COMPLY WITH 2009 IBC SECTION 1011

INTERIOR FINISHES:
 EXITSWAYS TO HAVE A CLASS 'A' FLAME SPREAD CLASSIFICATION (MIN)
 EXIT CORRIDORS TO HAVE A CLASS 'B' FLAME SPREAD CLASSIFICATION (MIN)
 OTHER ROOMS TO HAVE A CLASS 'C' FLAME SPREAD CLASSIFICATION (MIN)

**CLASS A = 0-25 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPED INDEX
 CLASS B = 26-75 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPED INDEX
 CLASS C = 76-200 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPED INDEX**

APPLICANT INFORMATION:
 SPORENSSEN DEVELOPMENT, INC.
 108 STRATFORD STREET
 GWINN, MICHIGAN 49841
 PHONE: 906-346-6809
 FAX: 906-346-7112
 EMAIL: Standaardt1@aol.com

BUILDING DESIGN LOADS	
GROUND SNOW LOAD	60 PSF
SNOW EXPOSURE FACTOR	1.0
SNOW THERMAL FACTOR	1.0
IMPORTANCE FACTOR	1.0
FLAT ROOF SNOW LOAD	42 PSF
DRIFT SURCHARGE	NA
WIDTH OF DRIFT	NA
ROOF LIVE LOAD	20 PSF
ROOF DEAD LOAD	3.89 PSF
SUPERIMPOSED	3.00 PSF
COLLATERAL	115 MPH
BASIC WIND SPEED	II
BUILDING RISK CATEGORY	C
BUILDING EXPOSURE	100 PSF
FLOOR LIVE LOAD	

80' x 104' FAMILY DOLLAR STORE
 406 WEST BAYFIELD STREET
 WASHBURN, WISCONSIN
 TITLE SHEET / DRAWING INDEX

MOUNTAIN ENGINEERING, INC.
 14266 W. Hwy 148, #2
 Iron Mountain, Michigan 49891
 Phone: (906) 776-8100
 Fax: (906) 776-8108
 Email: mountaineng@mountaineng.com

THE OWNER AGREES TO INDEMNIFY AND HOLD MOUNTAIN ENGINEERING, INC. HARMLESS FROM ANY DAMAGE, LIABILITY OR COST, INCLUDING ATTORNEY'S FEES AND COST OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN MOUNTAIN ENGINEERING, INC. OR FROM ANY REUSE OF THE DRAWINGS AND DATA WITHOUT THE PRIOR WRITTEN CONSENT OF MOUNTAIN ENGINEERING, INC.

ABBREVIATIONS:	
ABV	ABOVE FINISH FLOOR
ACC	AIR CONDITIONING
ARCH	ARCHITECTURAL
AT	AT
BLK	BLOCKING
BOT	BOTTOM
BLDG.	BUILDING
CLG	CEILING
CL	CENTERLINE
CIRC	CIRCUIT
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CTR	COUNTER
DTL	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INSUL FINISH SYSTEM
FT	FEET
FIN	FINISH
FL	FLOORING
FLR	FLOOR
FLUR	FLOOR DRAIN
FR	FLORESCENT
F.R.	FIRE RATED
F.E.	FIRE EXTINGUISHER
GWB	GYPSONUM WALL BOARD
HDM	HARDWARE
HDMV	HARDWOOD
HVAC	HEATING/VENTILATION/AIR CONDITIONING
HM	HOLLOW METAL
IN	INCH
INT	INTERIOR
INSUL	INSULATION
INT	INTERIOR
LL	LANDSCAPE
MANUF	MANUFACTURE
MFG	MANUFACTURE
MECH	MECHANICAL
MISC	MISCELLANEOUS
M.R.	MOISTURE RESISTANT
MULL	MULLION
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NUM	NUMBER
OFF	OFFICE
OC	ON CENTER (S)
OPNG	OPENING
OPH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
P	PAINTED
P.LAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
POL	POLISHED
PROJ	PROJECT
PLATE	PLATE
REF	REFERENCE
REMO	REMOVE (ID/ABLE)
REVD	REMOVED
REV	REVISION(S)
RM	ROOM
RD	ROUGH OPENING
ROUN	ROUND
SCH	SCHEDULE
SEC	SECTION
SHT	SHEET
SHD	SHED
SHR	SHRUBS
SPC	SPECIFIC
ST	STAINLESS STEEL
STO	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
TEL	TELEPHONE
THRU	TYPICAL THROUGH
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE
W/	WITH
W/O	WITHOUT
WD	WOOD
WDB	WOOD BASE

TENANT VENDORS:

HYAC UNITS:	CARRIER	CONTACT INFORMATION:
315-432-7942	DEBBIE JOBIN	EMAIL: DEBBIE.JOBIN@CARRIER.UTC.COM
405-310-5860	JASON BARRETT	EMAIL: JASON.1.BARRETT@ICI.COM
757-873-3979	JILL BANDMAN	EMAIL: JBANDMAN@COOKANDBOARDMAN.COM
757-873-3979	JILL BANDMAN	EMAIL: JBANDMAN@COOKANDBOARDMAN.COM
903-718-1839	BRIDGETTE FOURNIER	EMAIL: BFOURNIER@NET.COMPANY.COM
800-459-7099	BARRY BRYANT	EMAIL: BARRY.BRYANT@HCHM.COM
301-783-7658	MICHAEL ECKE	EMAIL: MICHAEL.ECKE@BENJAMINMOORE.COM
HOW TO ORDER YOUR PAINT: GENERAL CONTRACTORS PLACE ORDERS THROUGH THE BENJAMIN MOORE NATIONAL ACCOUNTS ORDER DEPARTMENT. TEL: 877-427-4484, FAX: 962-432-4382. EMAIL: CCP@benjaminmoore.com . PLEASE PROVIDE THE FOLLOWING INFORMATION WHEN ORDERING: FAMILY DOLLAR STORE LOCATION, PAINT SELECTION, PREFERRED B.M. STORE (IF CONTRACTOR HAS ONE), INDICATE STORE DELIVERY OR PICK-UP BY CONTRACTOR FROM B.M. (DELIVERY FREE WITH 4 GAL. MIN.)		
800-241-1777 EXT 282	TOM VANDERVENTER	EMAIL: TOM.VANDERVENTER@COMMERCIALFIRE.COM
800-982-8773 EXT 590	DAN BRODA	EMAIL: DBRODA@CORNELLSTOREFRONTS.COM
210-447-1148	MIKE BETZ	EMAIL: FAUL.YDOLLAR@TORMAXUSA.COM
443-309-4098	DAVID ENGLISH	EMAIL: MIKEBETZ@INC.GROUP.COM
901-588-4937	JP SCHAAF	EMAIL: DAVID.ENG@INC.GROUP.COM
404-554-1481		
877-787-9107		
900-869-4967		
803-718-1839	BRIDGETTE FOURNIER	EMAIL: BFOURNIER@NET.COMPANY.COM

CLOSED SPEC ARCHITECTS:

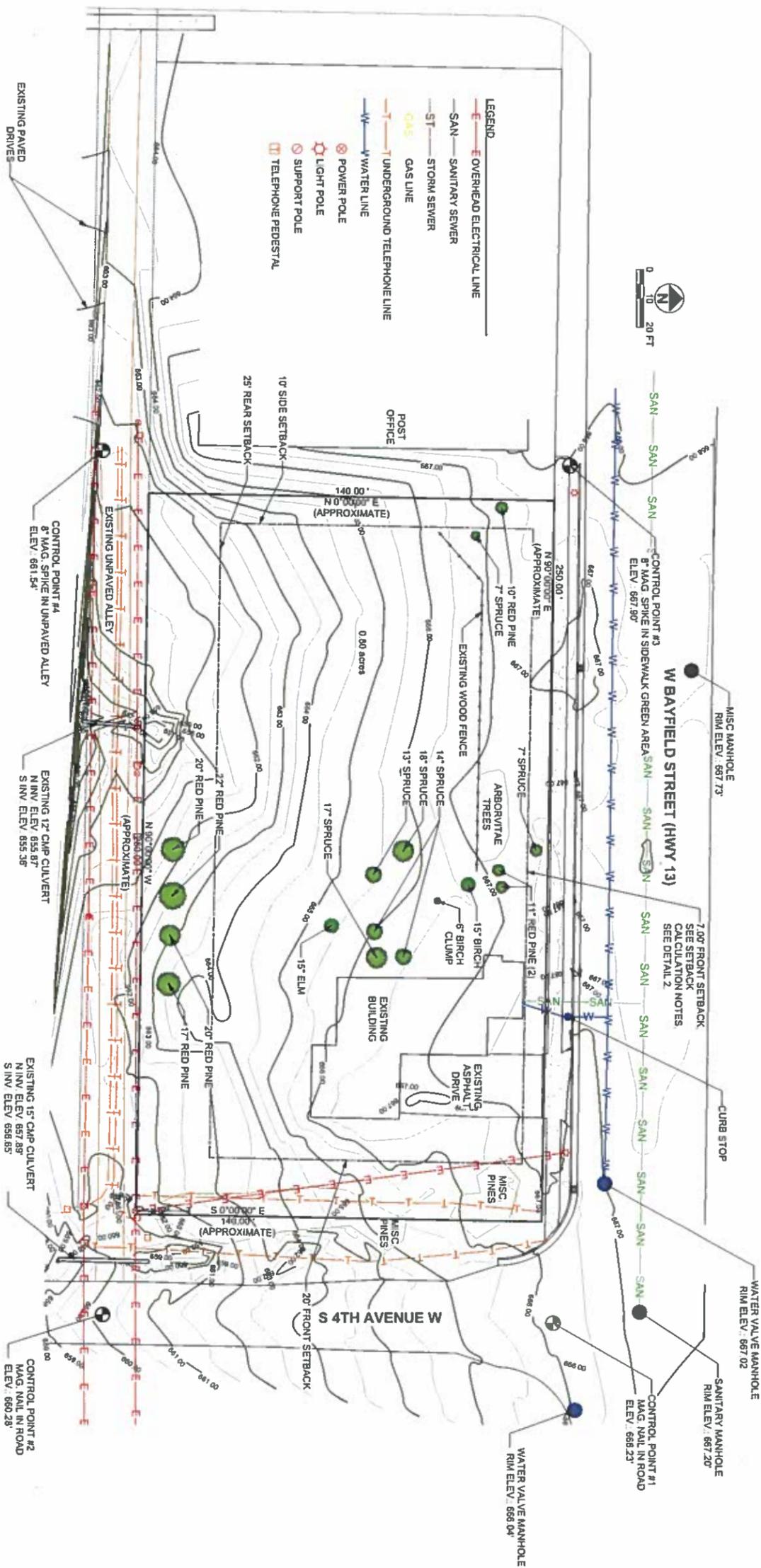
ESD ARCHITECTURE & INTERIOR DESIGN:	CONTACT INFORMATION:
704-373-1900	J. DAVID PARKER
715-664-7974 EXT 1308	LARRY CHRISTIAN
321-244-0402	CARLOS SOBRIN
478-936-3345	CHRISTOPHER SULLIVAN
727-815-3336	GUY FABER

DRAWING INDEX:

- 1 TITLE SHEET / DRAWING INDEX
- 2 EXISTING SITE PLAN
- 3 PROPOSED SITE PLAN
- 4 SITE PLAN DETAILS AND PAVING PLAN
- 5 CONCRETE NOTES AND DETAILS
- 6 BUILDING FLOOR PLAN AND ELEVATIONS
- 7 STORMWATER MANAGEMENT PLAN
- 8 LANDSCAPING PLAN AND DUMPSTER ENCLOSURE DETAILS

DATE: 10/20/18
 DRAWN BY: J.S.
 CHECKED BY: J.S.
 SCALE: AS SHOWN
 SHEET NO: 1
 TOTAL SHEETS: 8

S 5TH AVENUE W



2 FRONT SETBACK DETAIL
Scale: 1" = 100'

GRADING:

SEDIMENT AND EROSION CONTROL PROCEDURES SHOULD BE IMPLEMENTED DURING CONSTRUCTION, BASED UPON LOCAL CODES AND ORDINANCES. AT A MINIMUM, A STABILIZED ROCK CONSTRUCTION ENTRANCE AND SEDIMENT FENCING AROUND DISTURBED AREAS SHALL BE INSTALLED.

ANY DISTURBED AREAS THAT WILL NOT BE STABILIZED BY PAVEMENT OR BUILDING BASE COURSES SHALL BE SOEDED OR SEEDED AND MULCHED IMMEDIATELY AFTER ESTABLISHING FINAL GRADES. IF FINAL GRADES WILL NOT BE ACHIEVED WITHIN 21 DAYS, TEMPORARY SEEDING AND MULCHING SHALL BE USED TO STABILIZE DISTURBED AREAS.

ALL BACK FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. BACK FILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIALS, OR OTHER OBJECTIVE MATERIAL. BACK FILL MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A FLOPPY MANNER UNDER TAMPING BLOWNS OR SHOCK BELLOWS. ALL BUSES AND LIFTS AND TRUCKS SHALL BE PROTECTED BY MECHANICAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER OR AS LISTED BELOW.

FRONT SETBACK CALCULATION NOTES:

1. THE FRONT SETBACK IS CALCULATED PER THE WASHBURN CITY ZONING CODE ARTICLE 8-68(E) SETBACK AVERAGING FOR FRONT YARD SETBACK.
2. THE SETBACKS OF EXISTING BUILDINGS ARE TAKEN FROM THE FRONT WALL OF THE EXISTING BUILDING OVERHANGS OR PROJECTIONS ARE NOT INCLUDED IN THE MEASUREMENT.

FRONT SETBACK CALCULATIONS

BUILDING	SETBACK
US POST OFFICE	7.00'
TOTAL	7.00'
AVERAGE	7.00'

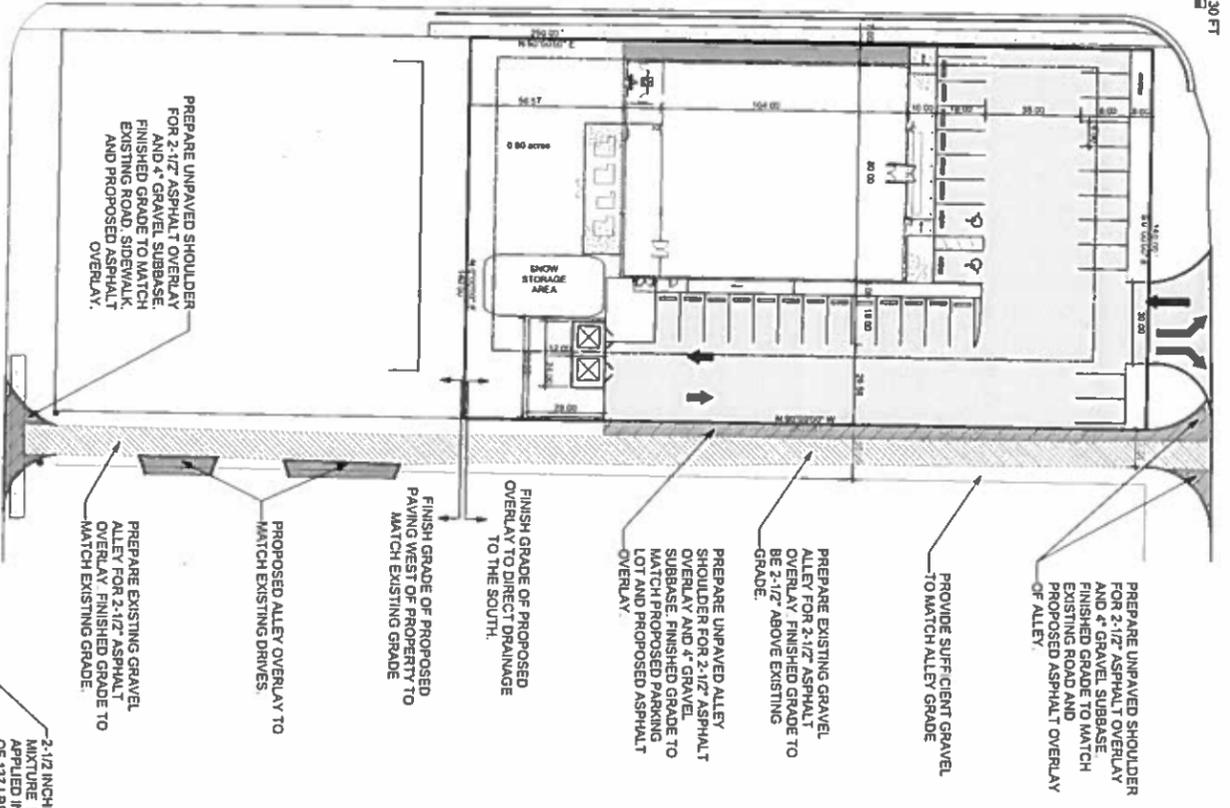
80' x 104' FAMILY DOLLAR STORE
406 WEST BAYFIELD STREET
WASHBURN, WISCONSIN

EXISTING SITE PLAN

MOUNTAIN ENGINEERING, INC.
16250 N Hwy 145 E
Suite 100
Washburn, WI 54881
Phone: (715) 838-4100
Fax: (715) 838-4100
www.mountaineng.com

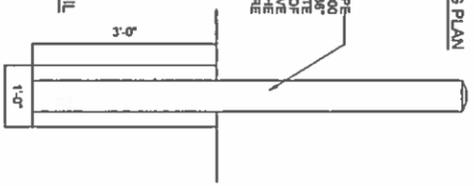
221 University Avenue, Suite 700
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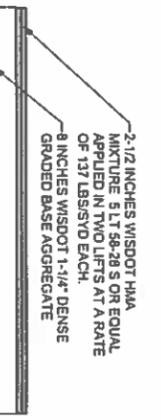


1 PROPOSED PAVING PLAN
Scale: 1" = 30'

2 BOLLARD DETAIL



4 BITUMINOUS PAVING SECTION DETAIL
Scale: 1/2" = 1'-0"



5 ALTERNATE PAVING SECTION DETAIL
Scale: 1/2" = 1'-0"



3 CATCH BASIN AREA INLET DRAIN DETAIL
Scale: 1/4" = 1'-0"



LANDSCAPE AND IRRIGATION

GENERAL:
DEVELOPER'S SITE DESIGN INCLUDES LANDSCAPE AND IRRIGATION DESIGN. REQUIRED DRAWINGS AND SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION WILL BE SHOWN ON LANDSCAPE CONSULTANT'S DRAWINGS.
LANDSCAPE DESIGN WILL BE BASED ON MINIMUM REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION.
UTILIZE REUSE WATER FOR IRRIGATION WHERE AVAILABLE. (GRAY WATER)
LANDSCAPING:
FAMILY DOLLAR REQUIRES NO GENERAL LANDSCAPE AREAS. ANY DEVIATION FROM THIS REQUIREMENT WILL REQUIRE SUBMITTAL OF THE LOCAL CODE OR ORDINANCE THAT SUPERSEDES THE REQUIREMENTS.
IF THE DEVIATION SUPERSEDES THE WRITTEN CODE OR ORDINANCE REQUIREMENTS, THE DEVIATION MUST BE SUBMITTED IN WRITING IN THE FORM OF A TRANSCRIPT OF THE ZONING BOARD MEETING OR A LETTER ON THE JURISDICTION'S LETTERHEAD EXPLAINING THE REQUIRED DEVIATION.
IF LANDSCAPING IS REQUIRED USE FILTER FABRIC AND TWO INCHES (2" OF 3/4" TO 1" IN SIZE STONE OR ROCK.

IF LOCAL JURISDICTION DOES NOT ALLOW STONE OR ROCK, LANDSCAPING IS TO BE BASED OFF OF THE MINIMUM LANDSCAPE REQUIREMENTS FOR THE JURISDICTION.
ALL PLANTS USED IN THE LANDSCAPE DESIGN, MUST BE NATIVE VEGETATION.
PLANT PLACEMENT (BASED ON NATURE SIZE OF PLANTS).
LANDSCAPE DESIGN MUST ALLOW FOR MINIMUM PLANTING GROWTH AS TO NOT OBSTRUCT VISIBILITY OF SIGNAGE OR BUILDING.
PLANTING MUST NOT OBSTRUCT THE LINE OF SIGHT AT ENTRANCES AND SITE DRIVES.
PLANTING MUST NOT BLOCK VISIBILITY OF SIGNAGE.
SITE PERIMETER PLANTING MUST NOT BE CONCENTRATED AT THE MAIN ENTRANCE AND MUST ALLOW VIEW OF ROAD SIGN AND BUILDING FROM PERIMETER ROADS.
PARKING LOT PLANTINGS MUST NOT CONFLICT WITH SITE LIGHTING, BUILDING SIGNAGE AND UTILITY LOCATIONS.
PARKING LOT ISLAND MUST HAVE STONE OR ROCK SIZE 1" TO 30" GROUND COVER. NO SOD IS PERMITTED.

IRRIGATION:
IF SITE IS REQUIRED TO HAVE LIVE LANDSCAPE PLANTING SUCH AS, BUT NOT LIMITED TO, TREES, PLANTS, SOD, ETC., THE SITE MUST BE FULLY IRRIGATED WITH PROPER COVERAGE AND A SEPARATE IRRIGATION METER IS HEREBY REQUIRED.
IRRIGATION TO HAVE RAINGUARD.
IRRIGATION CONTROLS ARE TO BE LOCATED INSIDE THE BUILDING ON THE COMMUNICATION BOARD.

PROVIDE A MINIMUM OF (2) 2" ADJUSTING RINGS ALL EXCAVATION & BACKFILL BY PLUMBING CONTRACTOR. BACKFILL W/ GRANULAR FILL CONCRETE CATCH BASIN PER SPECIFICATION

EAST JORDAN IRON WORKS 1030 FRAME WITH TYPE M1 RADICAL FLAT GRATE CONCRETE PRECAST CONCRETE TOP PROPOSED 4" HDPE PIPE FIELD FIT.

1 1/2" - 2" WASHED STONE MIN. 12" MATCH EXISTING CURB COLVERT, FIELD FIT.

2-1/2 INCHES WISDOT HMA MIXTURE 5 LT 58-28 S OR EQUAL APPLIED IN TWO LIFTS AT A RATE OF 137 LBS/SYD EACH.
10 INCHES WISDOT 1-1/4" DENSE GRADED BASE AGGREGATE

2-1/2 INCHES WISDOT HMA MIXTURE 5 LT 58-28 S OR EQUAL APPLIED IN TWO LIFTS AT A RATE OF 137 LBS/SYD EACH.
8 INCHES WISDOT 1-1/4" DENSE GRADED BASE AGGREGATE

2-1/2 INCHES NATIVE UNDISTURBED MATERIAL PROOF ROLLED TO A DENSITY OF 95% AS DETERMINED BY THE MODIFIED PROCTOR TEST METHOD (ASTM D1557) WITH A MOISTURE CONTENT WITHIN 2% OF OPTIMUM.
BASE: 10 INCHES WISDOT 1-1/4" DENSE GRADED BASE AGGREGATE COMPACTED TO A DENSITY OF 95%.

PAVEMENT: 2-1/2 INCHES WISDOT HMA MIXTURE 5 LT 58-28 S OR EQUAL APPLIED IN TWO LIFTS AT A RATE OF 137 LBS/SYD EACH.
HEAVY DUTY MINIMUM SECTION IS:

SUBBASE: 24 INCHES NATIVE UNDISTURBED MATERIAL PROOF ROLLED TO A DENSITY OF 95% AS DETERMINED BY THE MODIFIED PROCTOR TEST METHOD (ASTM D1557) WITH A MOISTURE CONTENT WITHIN 2% OF OPTIMUM.
PAVEMENT: 3 INCHES MDOT HMA MIXTURE 5 LT 58-28 S APPLIED IN TWO LIFTS AT A RATE OF 165 LBS/SYD EACH.

SOLVENT BORNE APPLICATION RECOMMENDATION:

SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE AND PEELING PAINT. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 32 DEGREES, AND WHEN RELATIVE HUMIDITY EXCEEDS 95%.
THE PRESENCE OF CONCRETE SEALERS OR EFFLORESCENCE ON NEW CONCRETE MAY INTERFERE WITH ADHESION AND SHOULD BE REMOVED BY INSTALLER.
MOST PREVIOUSLY PAINTED LINES MAY BE REPAINTED WITHOUT ADDITIONAL SURFACE PREPARATION PROVIDED THAT THE OLD PAINT IS STILL TIGHTLY ADHERED TO THE SURFACE. MULTIPLE LAYERS OF OLD PAINT WILL EVENTUALLY PEEL, AND WOULD REQUIRE REMOVAL.
NEW ASPHALT SURFACES SHOULD IDEALLY BE ALLOWED TO AGE SEVERAL MONTHS PRIOR TO STRIPING. SOLVENT-BASED PAINT MAY CAUSE THE TARS TO BLEED THROUGH ON NEW ASPHALT OR RECENTLY SEALED ASPHALT. APPLY A TEST STRIPE TO DETERMINE IF THE ASPHALT HAS AGED SUFFICIENTLY. IF IT IS NECESSARY TO PAINT A FRESH ASPHALT SURFACE, USE A WATERBORNE PAINT FOLLOWING THE RECOMMENDED PROCEDURE.

APPLICATION RATES:
THE RECOMMENDED APPLICATION RATE IS 15 MILS WET FILM THICKNESS FOR REPAINTING OF EXISTING LINES. A THINNER LINE FILM OF 10 MILS IS OFTEN ADEQUATE. EXCEEDING THE RECOMMENDED FILM THICKNESS WILL RESULT IN MUCH SHORTER DRY TIMES AND MAY RESULT IN LIFTING, CRACKING, OR POOR ADHESION.

UTILITIES:
1. EXTEND ALL UTILITIES TO WITHIN 5 FEET OF THE BUILDING AT THE LOCATIONS SHOWN ON THE PLUMBING/ELECTRICAL AND UTILITY SITE PLAN.
2. PROVIDE A COMPLETE SANITARY SEWER SYSTEM INCLUDING ALL PIPING, MANHOLES, CLEANOUTS, ETC.
A. PROVIDE 4" MINIMUM SANITARY SEWER LEAD OR SIZE AS REQUIRED BY CITY, COUNTY, OR STATE ORDINANCES.
B. ALL SANITARY SEWERS SHALL HAVE A POSITIVE GRAVITY OUTFALL. LIFT STATIONS, FORCE MAINS, SEPTIC DISPOSAL FIELDS OR PACKAGE TREATMENT PLANTS SHALL BE USED ONLY WHERE A POSITIVE OUTFALL IS NOT OBTAINABLE AND SHALL BE APPROVED BY FAMILY DOLLAR STORES, INC. (AS OWNER HEREBY DEFINED ON TITLE SHEET 1-11) PRIOR TO DESIGN AND SUCH EXCEPTION PACKAGE SHALL BE TOTALLY GUARANTEED AND MAINTAINED BY THE DEVELOPER.

3. WATER SERVICE
A. PROVIDE A COMPLETE WATER DISTRIBUTION SYSTEM TO SERVE BOTH DOMESTIC AND FIRE PROTECTION (IF REQUIRED BY CODE) REQUIREMENTS INCLUDING ALL PIPING METERS, VALVES, PITS, HYDRANTS, THRUST BLOCKS, BACKFLOW PREVENTERS, ETC.
B. DOMESTIC SERVICE LINE
C. ALL FIRE PROTECTION SYSTEMS (IF REQUIRED BY CODE) SHALL BE APPROVED BY THE LOCAL OFFICIALS, AND OR THE LOCAL FIRE MARSHAL AND FAMILY DOLLAR STORES, INC.
D. 6" MINIMUM LINE SIZE WITH RESIDENTIAL PRESSURE WITH SUFFICIENT CAPACITY FOR SPRINKLER SYSTEM WITHOUT WATER PUMP AS APPROVED BY THE LOCAL OFFICIALS AND THE LOCAL FIRE MARSHAL.
E. PROVIDE WATER SERVICE TO THE IRRIGATION SYSTEM AS REQUIRED (WITH SEPARATE METER)
F. FIRE DEPARTMENT CONNECTION (IF D.C. OR SAMESE CONNECTION, IF REQUIRED BY CODE).
G. LOCATE HYDRANT ON SITE (IF REQUIRED BY CODE).

4. PROVIDE A COMPLETE GAS DISTRIBUTION SYSTEM (WHERE APPLICABLE) INCLUDING ALL PIPING, METERS, PITS, VALVES, ETC.
A. SHOW GAS METER AND BUILDING LEAD (GAS METER SHOULD NOT BE LOCATED WITHIN ANY PAVED AREA).
5. PROVIDE A COMPLETE ELECTRICAL SERVICE SYSTEM INCLUDING, ALL POWER POLES, WEATHER HEADS, UNDERGROUND CONDUITS, WIRING, SPLICE BOXES, TRANSFORMERS, ETC.
A. SHOW ELECTRICAL TRANSFORMER LOCATION (120/208 VOLT, 3 PHASE, 4 WIRE, 400 AMP SERVICE). (ELECTRIC METER SHOULD NOT BE LOCATED WITHIN ANY PAVED AREA)
B. PROVIDE ELECTRICAL SERVICE TO ALL RELATED SITE ELEMENTS (Pylon Signs, Lift Stations, Pumps, Treatment Plants, Site Lighting, ETC), WHERE APPLICABLE.

6. PROVIDE A COMPLETE TELEPHONE SERVICE SYSTEM INCLUDING ALL POLES, UNDERGROUND CONDUITS, WIRING, SPLICE BOXES ETC. DEMARK TO BE MOUNTED TO PHONE BOARD AS SHOWN ON SCHEDULE SHEET 1-11.
A. TELEPHONE AND ELECTRIC SERVICE CONDUITS MAY BE PLACED IN COMMON TRENCH, AND BROUGHT TO THE INTERIOR OF SPACE (AS PER ARCHITECTURAL PLANS).
B. PLACE PHONE LINES UNDERGROUND ON ALL SITES. PHONE BOARD LOCATION TO BE DETERMINED BY PLAN.

WHEEL STOPS:
PRECAST CONCRETE WHEEL STOPS SHALL BE PROVIDED AT EACH PARKING STALL UNLESS THE SPACE ABUTS A RAISED CURB.
ALL WHEEL STOPS SHALL BE DOWELED TO PAVEMENT AND LOCATED 2-FT FROM EDGE OF OBSTRUCTION, EDGE OF PAVEMENT OR FACE OF CURB.
SHALL BE USED AS PARKING CONTROL ALONG THE BUILDING OR RETAINING WALL.
PAINT ALL WHEEL STOPS "SAFETY YELLOW", OR AS CODE REQUIRES.

SITE SIGNAGE:
PROVIDE HANDICAPPED PARKING SIGN WITH IDENTIFYING SYMBOL, AT DESIGNATED HANDICAPPED PARKING STALLS.
SIGN SHALL BE 12"x18" 0.090 ALUMINUM WITH BAKED ENAMEL FINISH. INSTALLED IN BALLARD TO CONFORM WITH ADA STANDARDS OR AS REQUIRED BY CODE.
SIGNS SHALL HAVE WHITE LETTERING ON BLUE BACKGROUND.
PARKING LOT SIGNS (SUCH AS STOP, RIGHT TURN, LEFT TURN, ONE WAY, ETC.) SHALL BE INSTALLED AS REQUIRED BY LOCAL CODE OR ORDINANCE.

EROSION AND SEDIMENT CONTROL NOTES:
EROSION CONTROL MEASURES WILL INCLUDE A SILT FENCE ALONG THE SOUTH AND EAST EXTENTS OF BOTH THE PROPERTY AND ALLEY. A VEGETATIVE BUFFER ZONE TO THE SOUTH OF BOTH THE PROPERTY AND ALLEY, AND COLVERT PROTECTION INCLUDING SOIL RETENTION ROCK AT THE INLET OF BOTH THE SOUTH (17) AND EAST (15) COLVERTS.
EROSION CONTROL S. WILL TO THE MAXIMUM EXTENT PRACTICABLE, REDUCE SEDIMENT LOAD CARRIED IN RUNOFF BY EIGHTY PERCENT (80%) AS COMPARED TO NO SEDIMENT ON EROSION CONTROL PER THE CITY OF WASHBURN'S CONSTRUCTION SITE PERFORMANCE STANDARD.
A COMPLETE SEDIMENT AND EROSION CONTROL PLAN WILL BE PROVIDED TO THE DIRECTOR OF PUBLIC WORKS AND A PERMIT OBTAINED PRIOR TO CONSTRUCTION.

80' x 104' FAMILY DOLLAR STORE
406 WEST BAYFIELD STREET
WASHBURN, WISCONSIN

DATE PLOTTED: 06/07/2018
SCALE: 1/4" = 1'-0"
PROJECT: 180007
DATE: 06/07/2018
BY: JCM
CHECKED: JCM
APPROVED: JCM

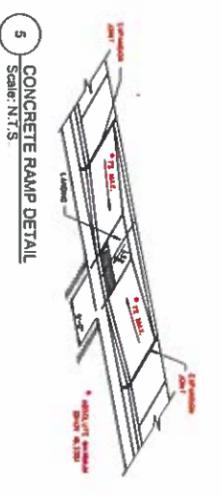
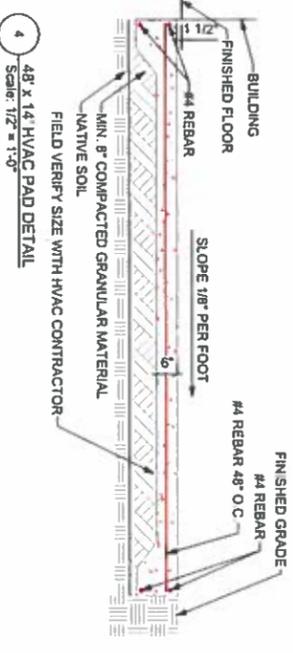
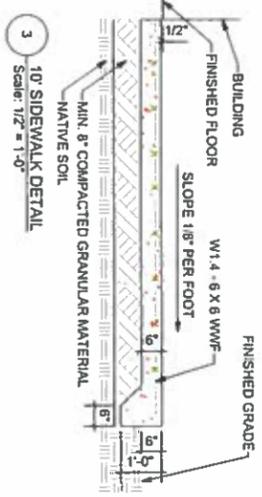
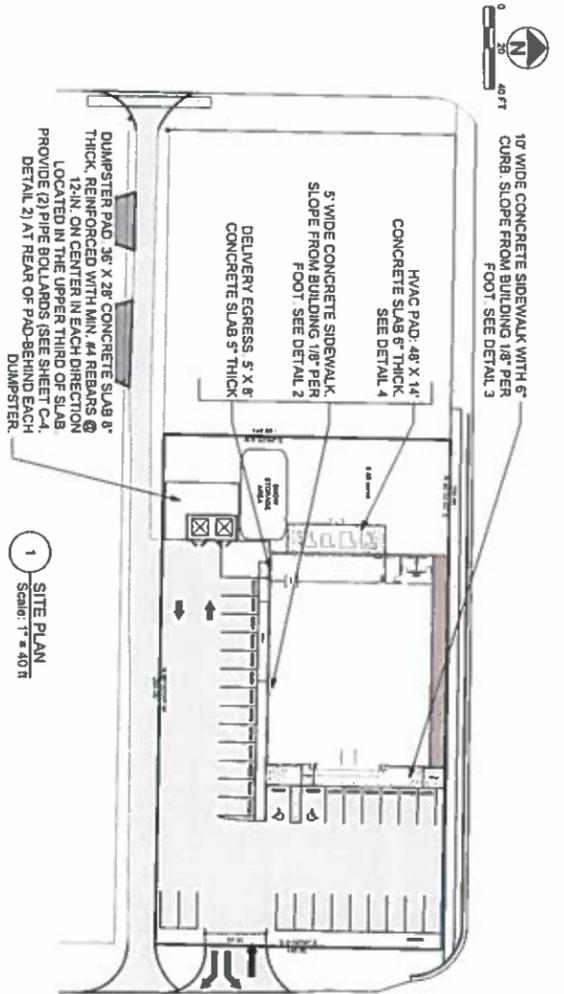
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MATERIAL STRENGTHS

CAST-IN-PLACE CONCRETE	FOOTINGS	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	MAXIMUM WATER CEMENTITIOUS RATIO	MAXIMUM AGGREGATE SIZE	SUMP LIMIT	AIR CONTENT
FOOTINGS	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$F_c = 4000$ psi	0.59	1"	5' ±, 1'	NO
MAXIMUM WATER CEMENTITIOUS RATIO						
MAXIMUM AGGREGATE SIZE						
SUMP LIMIT						
AIR CONTENT						
FOUNDATION FROST WALLS	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$F_c = 4000$ psi	0.48	3/4"	4' ±, 1'	YES 4% TO 6%
MINIMUM WATER CEMENTITIOUS RATIO						
MAXIMUM AGGREGATE SIZE						
SUMP LIMIT						
AIR CONTENT						
EXTERIOR PIERS, WALLS AND COLUMNS	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$F_c = 4000$ psi	0.48	3/4"	4' ±, 1'	YES 4% TO 6%
MINIMUM WATER CEMENTITIOUS RATIO						
MAXIMUM AGGREGATE SIZE						
SUMP LIMIT						
AIR CONTENT						
INTERIOR SLABS ON GRADE	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$F_c = 4000$ psi	0.48	3/4"	4' ±, 1'	NO
MINIMUM WATER CEMENTITIOUS RATIO						
MAXIMUM AGGREGATE SIZE						
SUMP LIMIT						
AIR CONTENT						
EXTERIOR SLABS ON GRADE	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$F_c = 4000$ psi	0.48	3/4"	4' ±, 1'	YES 4% TO 6%
MINIMUM WATER CEMENTITIOUS RATIO						
MAXIMUM AGGREGATE SIZE						
SUMP LIMIT						
AIR CONTENT						
CONCRETE TOPPING	MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$F_c = 4000$ psi	0.48	3/4"	4' ±, 1'	YES 4% TO 6%
MAXIMUM WATER CEMENTITIOUS RATIO						
MAXIMUM AGGREGATE SIZE						
SUMP LIMIT						
AIR CONTENT						

CAST-IN-PLACE REINFORCED CONCRETE

- CONCRETE WORK SHALL CONFORM TO THE CURRENT EDITION OF ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND ACI 302 GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION.
- GROUT BELOW BASE PLATES AND BEARING PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT 3/4" THICK MINIMUM.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60) DEFORMED WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES ETC FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.
- PROVIDE (2) #5 BARS AROUND ALL OPENINGS AND (2) #5 BARS DIAGONALLY AT ALL OPENING CORNERS. EXTEND BARS PER DETAILS.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
- PROVIDE A 1" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE.
- DO NOT PLACE CONCRETE UNLESS NOTED OTHERWISE.
- SLEEVES, CONDUITS OR PIPING PASSING THROUGH CONCRETE SLABS AND WALLS SHALL BE PLACED SO THAT THEY ARE NOT CLOSER THAN THREE DIAMETERS ON CENTER AND SO THAT THEY DO NOT DISPLACE REINFORCING BARS OR OPENINGS GREATER THAN 18" TOTAL WIDTH OF ALL OPENINGS EDGE-TO-EDGE MUST BE COORDINATED WITH ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BUMPS, FLOOR CURLING ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.
- REFER TO REINFORCEMENT DEVELOPMENT AND LAP SPICE LENGTH IN SCHEDULES.
- ALL LAPS IN REINFORCING STEEL SHALL BE CLASS 'B' LAP SPICES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL HIRE A MATERIALS TESTING LABORATORY TO CAST AND TEST CONCRETE CYLINDERS UNLESS WAIVED. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318-05 SECTION 5.6. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO THE ENGINEER. CONCRETE TEST REPORTS SHALL STATE THE FOLLOWING INFORMATION: LOCATION ON PROJECT WHERE THE CONCRETE IS USED 7 DAY COMPRESSIVE STRENGTH 28 DAY COMPRESSIVE STRENGTH AIR CONTENT AMOUNT OF WATER ADDED ON JOB SITE MIX USED
- CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULTS COMPLY WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- ADDITION OF JOB SITE WATER TO CONCRETE SHALL BE PER ASTM C94.
- THE BETWEEN CONCRETE BATCHING AND PLACEMENT SHALL BE IN ACCORDANCE WITH ASTM C94.
- CLASS C FLY ASH OR SLAG MAY BE SUBSTITUTED FOR CEMENT ON A POUND TO POUND BASIS UP TO 10% OF THE TOTAL CEMENTITIOUS CONTENT.
- ALL CONCRETE SLABS SHALL BE CURED PER ACI RECOMMENDATIONS FOR NO LESS THAN SEVENDAYS OR AN APPROPRIATE CURING COMPOUND MAY BE APPLIED.
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
- PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE

GENERAL

- ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING: THESE PLANS

INTERNATIONAL BUILDING CODE 2009
ASCE/SEI 7-10 MINIMUM DESIGN LOADS FOR STRUCTURES AND OTHER STRUCTURES
ACI 318-08 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (ARCHITECTURAL, CIVIL, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THIS PROJECT.

- THE CONTRACTOR SHALL REFER TO OTHER DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIED MEMBERS, DIMENSIONS, DETAILS, DETAILS, OPENINGS, INSERTS, SLEEVES, DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS REQUIRED TO CONSTRUCT THIS PROJECT.

- DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.

- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.

- DO NOT SCALE PLANS.

- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE ENGINEER.

- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND CONSTRUCTION SEQUENCE IN ORDER TO ENSURE THE SAFETY OF THE BUILDING AND WORKMEN DURING CONSTRUCTION (MEANS & METHODS OF CONSTRUCTION, THIS INCLUDES, BUT IS NOT LIMITED TO: SHORING, UNDERPINNING, TEMPORARY BRACING, ETC).

- CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, OUTSIDE FACE OF WALLS, TOP OF FRAMING MEMBERS, ETC.) MATERIAL SUPPLIERS AND DESIGNERS ARE RESPONSIBLE FOR ALL OTHER INFORMATION IN ORDER TO DETAIL/FABRICATE THEIR WORK. CONTACT THE ENGINEER WITH ANY DISCREPANCIES.

- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE FOUNDATION DRAWINGS AND ANY OTHER PLANS CONTAINED IN THE SET OF CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE ENGINEER'S ATTENTION IN WRITING IMMEDIATELY.

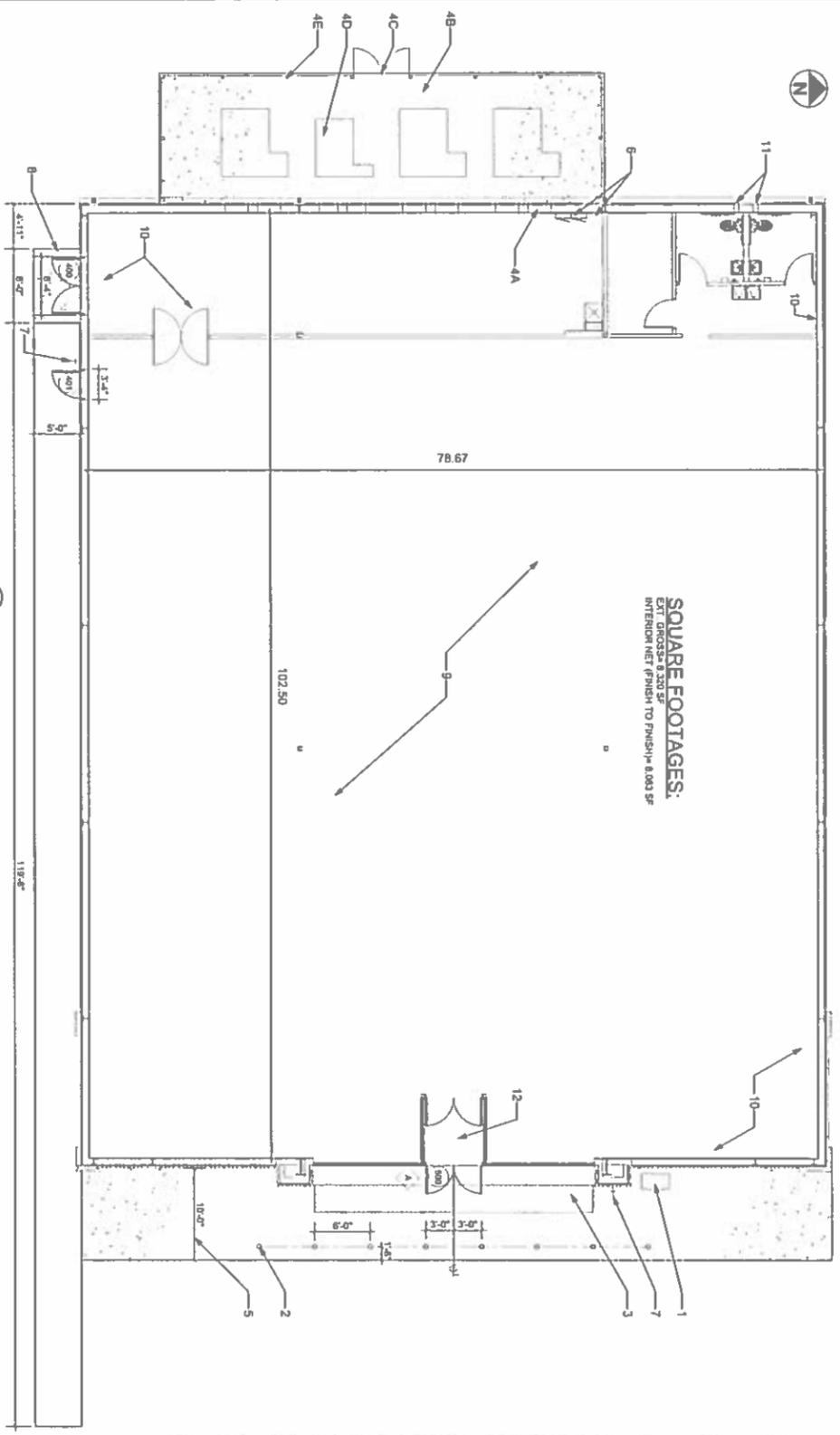
- SEISMIC DESIGN CATEGORY - A
- SITE SOIL - SANDY CLAY, 2000 PSF BEARING

80' x 104' FAMILY DOLLAR STORE
406 WEST BAYFIELD STREET
WASHBURN, WISCONSIN

CONCRETE NOTES AND DETAILS

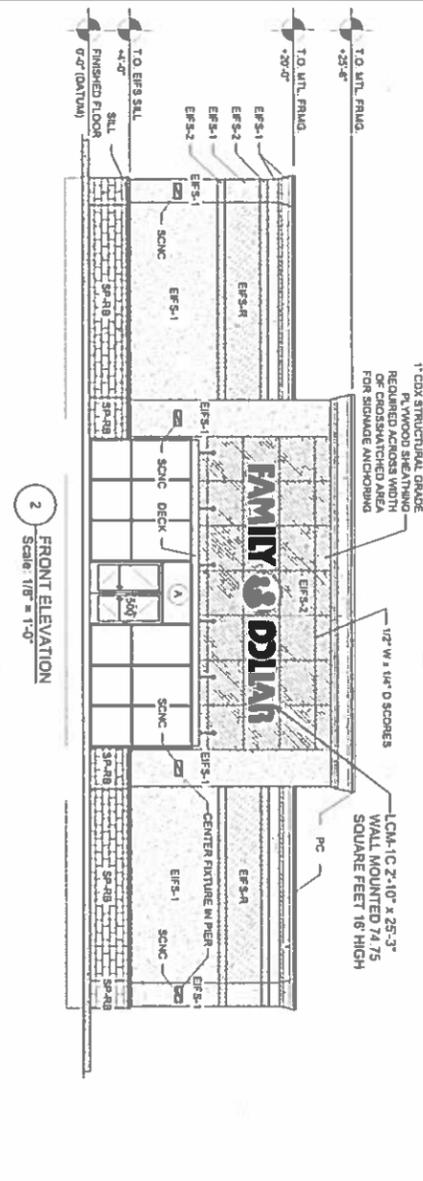
MOUNTAIN ENGINEERING, INC.
24 Lincoln Avenue, Suite 100
Madison, Wisconsin 53703
Phone: (608) 771-4700
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www.mountaineng.com

DATE: 09/07/2018
BY: JLS
CHECKED: JLS
SCALE: 5

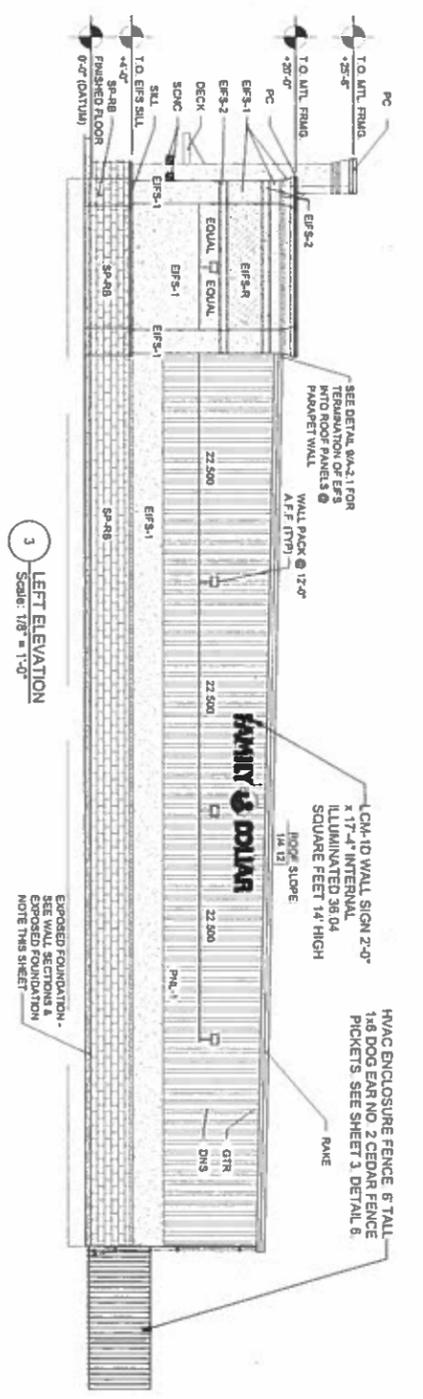


SQUARE FOOTAGES:
 EXT. GROSS 8,320 SF
 INTERIOR NET FINISH 8,003 SF

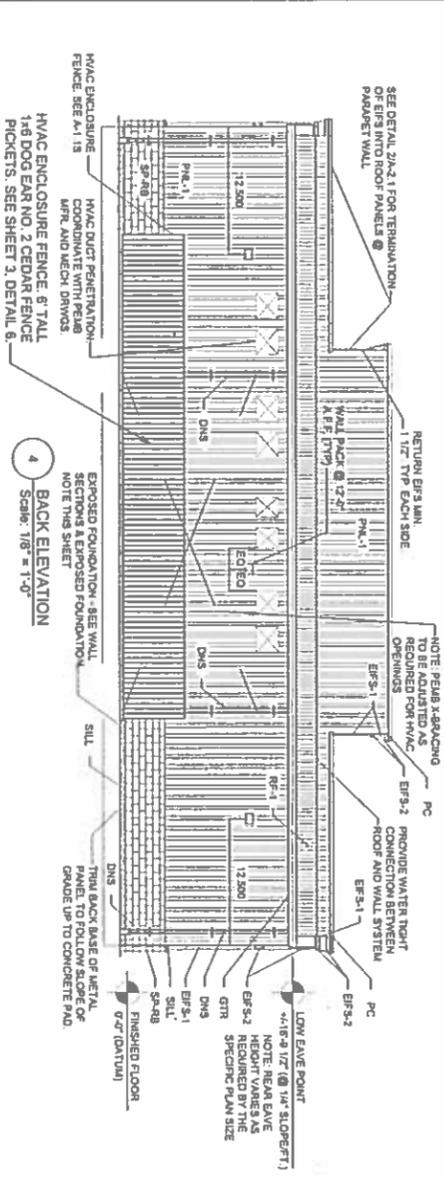
1 FLOOR PLAN
 Scale: 1/8" = 1'-0"



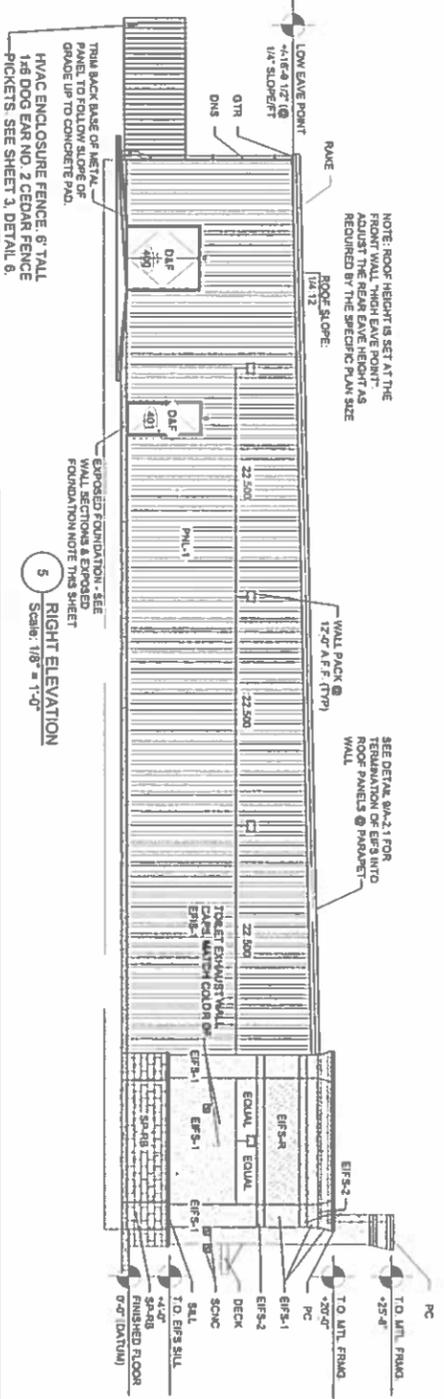
2 FRONT ELEVATION
 Scale: 1/8" = 1'-0"



3 LEFT ELEVATION
 Scale: 1/8" = 1'-0"



4 BACK ELEVATION
 Scale: 1/8" = 1'-0"



5 RIGHT ELEVATION
 Scale: 1/8" = 1'-0"

KEYED NOTES:

- DESIGNERS TO COORDINATE LOCATION OF WATER VENTING MACHINE ON LEVEL PORTION OF SIDEWALK/ACCESSIBLE ROUTE AND ON TOILET ROOM SIDE OF BUILDING. HOSE REEL TO BE ON SAME SIDE AS TOILET ROOM. PROVIDE 1/2" DIA. HOSE REEL FOR WHICH STUDIES REQUIRE VENDING MACHINE AND UTILITIES.
- PROVIDE 8" DIA. PIPE BOLLS @ 8'-0" O.C. - FULL WITH CONCRETE & PAINT EXT. COORD. FOR BULK CLASS STORES (LUMBER EXACT LOCATIONS W/ FOR. CON. DWGS). ACCESSIBLE RAMP & WATER VENDING MACHINE.
- 3'-0" WIDE CANYON BY PARALLEL BY TENANTS SIGN VENDOR PROVIDE STRUCTURAL SUPPORT FOR CANYON.
- HVAC DUCT REPLETION REFER TO MECHANICAL DWGS.
- HVAC CONCRETE PAD SEE SHEET C-4 DETAIL 4.
- DOUBLE 3'-0" HVAC ENCLOSURE GATE WITH CAN DOG LATCH AND LOCKABLE LATCH ON ACTIVE LEAF.
- HVAC MECHANICAL UNIT SEE MECH DWGS.
- 8'-0" HIGH HVAC ENCLOSURE FENCE SEE SHEET C-4 DETAIL 1. SPACE POSTS EQUALLY AS SHOWN.
- CONCRETE SIDEWALK SEE SITE PLAN FOR LUMBER. MIN 15'-0" WIDE PROVIDE ELECTRICAL SERVICE AND ELECTRICAL TIEUPS PER THE ELECTRICAL DWGS WITH 2" PLYWOOD BACKING BOARD. SEE SHEET C-4 DETAIL 3.
- PROVIDE RECESSED FREEZER PROOF HOSE BIB PER PLUMBING DWGS.
- PROVIDE 8" THICK CONCRETE PAD SEE SHEET C-4 DETAIL 1.
- PROVIDE 8" THICK CONCRETE FLOOR SLAB REFER TO WALL SECTION DWG SHEET A-4.8 & SLAB FINISHES W/ANTHROP MORE THAN ONE-QUARTER INCH (1/4") IN THICKNESS (10'-0" DIA) TO 12'-0" DIA. SECURED TO DIRTS AT 2'-0" O.C. PROVIDE LEVEL FINISH.
- PROVIDE 12" TOILET EXHAUST OPENING & DIA. WITH METAL DUCT THROUGH THE WALL LOCATED OVER THE TOILET AREA AND CAPPED THROUGH THE TYPICAL CONNECTION REFER TO MECHANICAL DWGS.
- VESTIBULE #2 REQUIRED BY CODE REFER TO VESTIBULE DETAILS ON SHEET A-1.3

ELEVATION LEGEND

SYMBOL	DESCRIPTION	COLOR
1	PAINTED CONCRETE	WHITE
2	PAINTED CONCRETE	WHITE
3	PAINTED CONCRETE	WHITE
4	PAINTED CONCRETE	WHITE
5	PAINTED CONCRETE	WHITE
6	PAINTED CONCRETE	WHITE
7	PAINTED CONCRETE	WHITE
8	PAINTED CONCRETE	WHITE
9	PAINTED CONCRETE	WHITE
10	PAINTED CONCRETE	WHITE
11	PAINTED CONCRETE	WHITE
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GENERAL NOTES:
 1 ALL EXPOSED FOUNDATION SHALL BE PAINTED TO MATCH ABOVE SURFACE COLOR. USE SHERWIN WILLIAMS - VITRUL TAUPE - SW709 BELOW BLOCK & SHERWIN WILLIAMS BALANCED BEIGE SW707 BELOW METAL PANELS.
 2 ELEVATIONS ARE BASED ON THE 102X90 STORE SIZE. DESIGNERS SHOULD ADJUST ELEVATIONS AS REQUIRED FOR OTHER STORE SIZES.



SCS METHOD RUNOFF CALCULATIONS

EXISTING SITE CONDITIONS

South End Culvert (12') Existing Conditions

Q	Peak in inches	2.62
P	Peak in inches	2.62
S	Maximum potential retention after runoff begins	0.79
U	Initial abstraction	0.12
CN	Curve number	3.13
Open Area		39
Assumptions		
Rainfall Event	2.4 hr, 2 year storm	
Rainfall Excess	2.62 in., Ref. NOAA Atlas 14	
Curve No.	3.13	
Rainfall Area	10.23 sq. ft.	
Infiltration Rate	0.1 in./hr. (MINIMUM)	
Calculations		
Q	$0.02 \times (1.49 \times 2.62)^{0.77} \times 10$	2.62
P	$0.20 \times (1.000 \text{ CN} - 1.0)$	0.20
S	$15.64 \times (1.000 \text{ CN} - 1.0)$	15.64
U	0.04×0.75	0.03
CN	3.13	
Results, Weighted		
Ave. Runoff Rate	0.00 in./hr.	
Ave. Infiltration	0.1 in./hr.	
Total Runoff	0.02 inches	
Total Runoff	20 gal.	
15' Culvert Capacity	3.0 cfs	

East End Culvert (15') Existing Conditions

Q	Peak in inches	2.62
P	Peak in inches	2.62
S	Maximum potential retention after runoff begins	0.79
U	Initial abstraction	0.12
CN	Curve number	3.13
Open Area		39
Assumptions		
Rainfall Event	2.4 hr, 2 year storm	
Rainfall Excess	2.62 in., Ref. NOAA Atlas 14	
Curve No.	3.13	
Rainfall Area	10.23 sq. ft.	
Infiltration Rate	0.1 in./hr. (MINIMUM)	
Calculations		
Q	$0.02 \times (1.49 \times 2.62)^{0.77} \times 10$	2.62
P	$0.20 \times (1.000 \text{ CN} - 1.0)$	0.20
S	$15.64 \times (1.000 \text{ CN} - 1.0)$	15.64
U	0.04×0.75	0.03
CN	3.13	
Results, Weighted		
Ave. Runoff Rate	0.00 in./hr.	
Ave. Infiltration	0.1 in./hr.	
Total Runoff	0.02 inches	
Total Runoff	20 gal.	
15' Culvert Capacity	3.0 cfs	

PROPOSED SITE CONDITIONS

South End Culvert (12') Proposed Conditions

Q	Peak in inches	2.62
P	Peak in inches	2.62
S	Maximum potential retention after runoff begins	0.79
U	Initial abstraction	0.12
CN	Curve number	3.13
Open Area		39
Assumptions		
Rainfall Event	2.4 hr, 2 year storm	
Rainfall Excess	2.62 in., Ref. NOAA Atlas 14	
Curve No.	3.13	
Rainfall Area	10.23 sq. ft.	
Infiltration Rate	0.1 in./hr. (MINIMUM)	
Calculations		
Q	$0.02 \times (1.49 \times 2.62)^{0.77} \times 10$	2.62
P	$0.20 \times (1.000 \text{ CN} - 1.0)$	0.20
S	$15.64 \times (1.000 \text{ CN} - 1.0)$	15.64
U	0.04×0.75	0.03
CN	3.13	
Results, Weighted		
Ave. Runoff Rate	0.10 in./hr.	
Ave. Infiltration	0.1 in./hr.	
Total Runoff	2.30 inches	
Total Runoff	2,066 gal.	
15' Culvert Capacity	3.0 cfs	

East End Culvert (15') Proposed Conditions

Q	Peak in inches	2.62
P	Peak in inches	2.62
S	Maximum potential retention after runoff begins	0.79
U	Initial abstraction	0.12
CN	Curve number	3.13
Open Area		39
Assumptions		
Rainfall Event	2.4 hr, 2 year storm	
Rainfall Excess	2.62 in., Ref. NOAA Atlas 14	
Curve No.	3.13	
Rainfall Area	10.23 sq. ft.	
Infiltration Rate	0.1 in./hr. (MINIMUM)	
Calculations		
Q	$0.02 \times (1.49 \times 2.62)^{0.77} \times 10$	2.62
P	$0.20 \times (1.000 \text{ CN} - 1.0)$	0.20
S	$15.64 \times (1.000 \text{ CN} - 1.0)$	15.64
U	0.04×0.75	0.03
CN	3.13	
Results, Weighted		
Ave. Runoff Rate	0.09 in./hr.	
Ave. Infiltration	0.1 in./hr.	
Total Runoff	2.19 inches	
Total Runoff	1,944 gal.	
15' Culvert Capacity	3.0 cfs	

RATIONAL METHOD RUNOFF CALCULATIONS

EXISTING SITE CONDITIONS

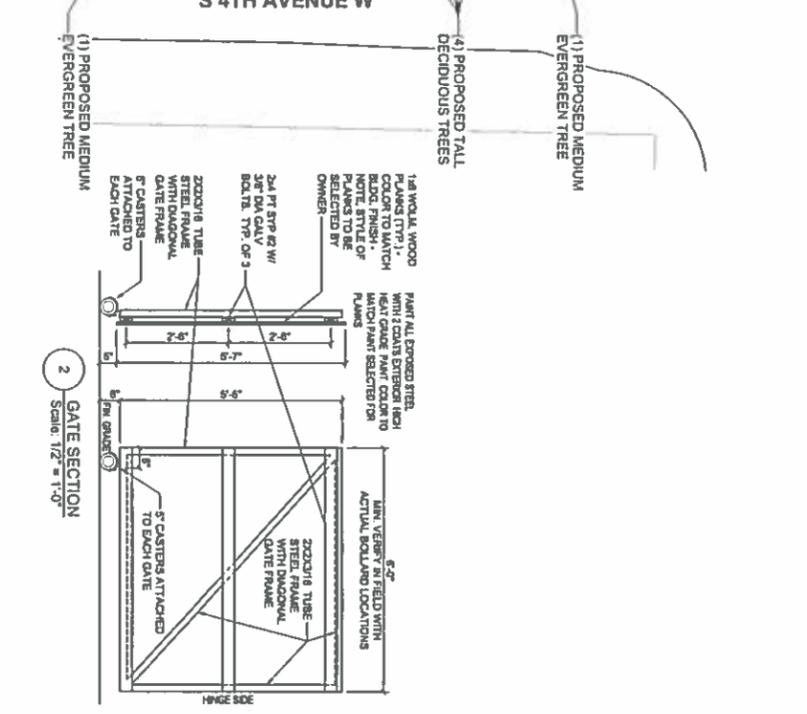
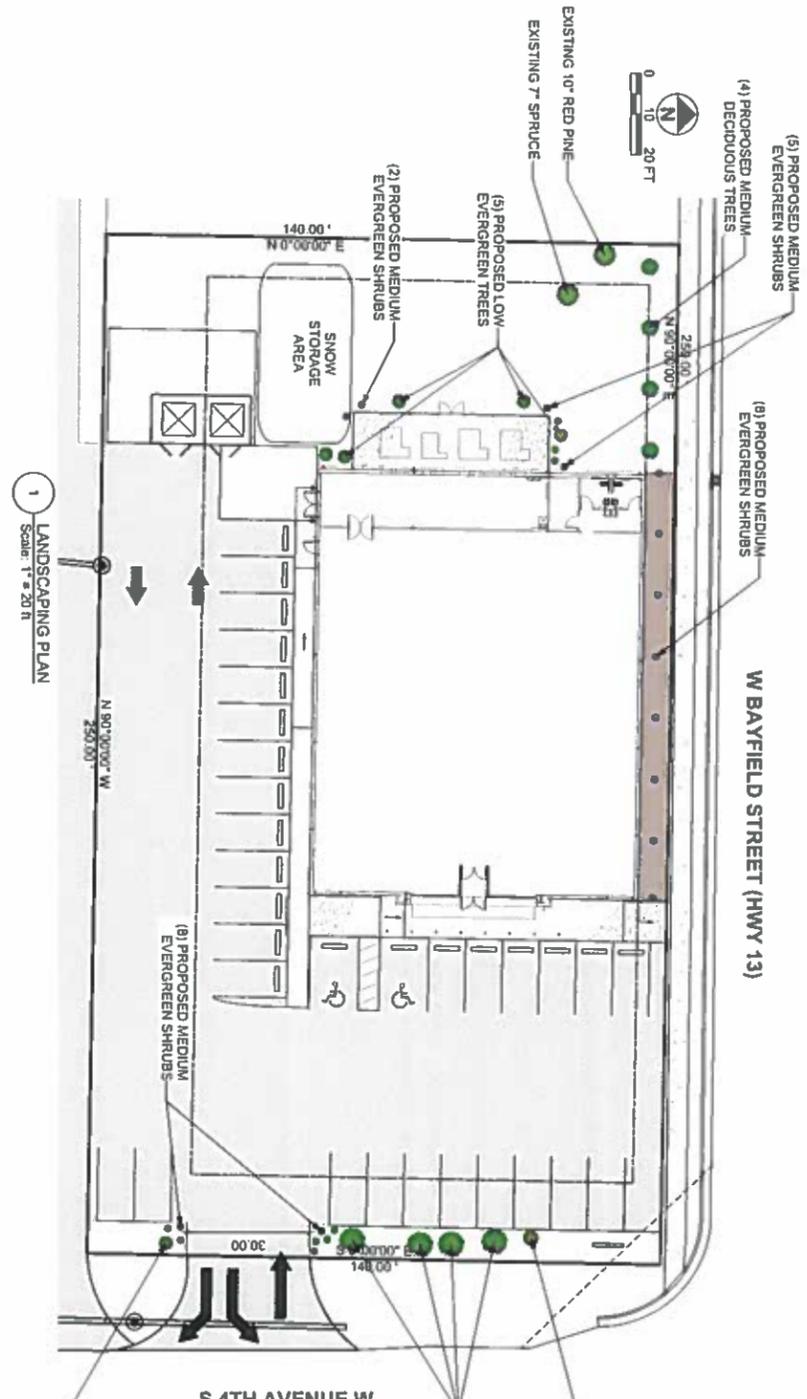
Rational Method Peak Discharge Existing Conditions	
East End (15' Culv.)	2.62 cfs
South End (12' Culv.)	2.62 cfs
Rainfall Intensity Curve	Dual (Ref. VADOT FDM 13-10 March, 5.4)
Rainfall Excess	0.79
Rainfall Component	Ave. wt. C
Drainage Area (Acres)	0.12
Drainage Area (Sq. Ft.)	10,230
Drainage Area (Sq. Ft.)	10,230
Rainfall Intensity Curve	4.21 in./hr. (for T = 5 min.)
Peak Discharge	0.412 cfs
15' Culv. Capacity	3.0 cfs

PROPOSED SITE CONDITIONS

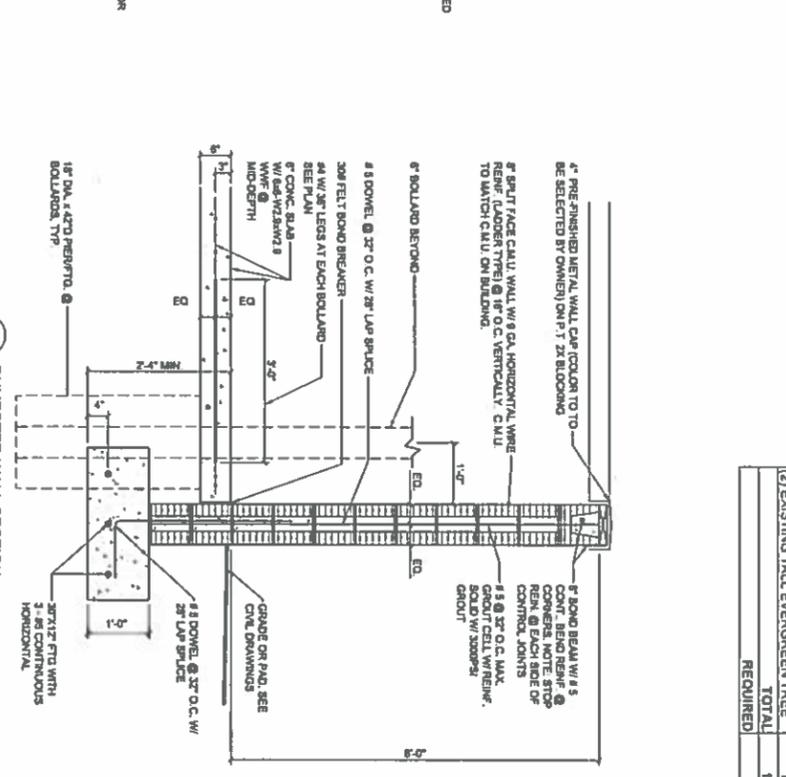
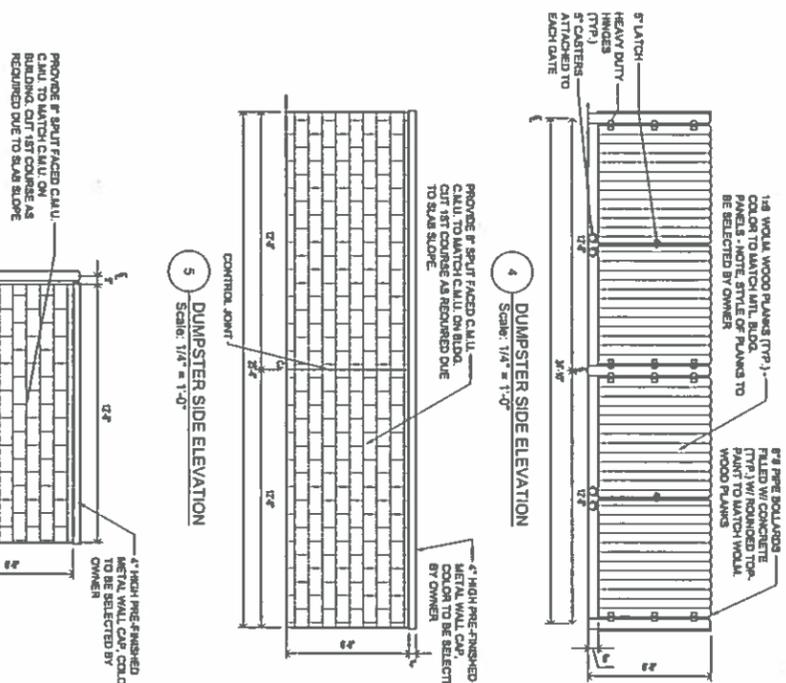
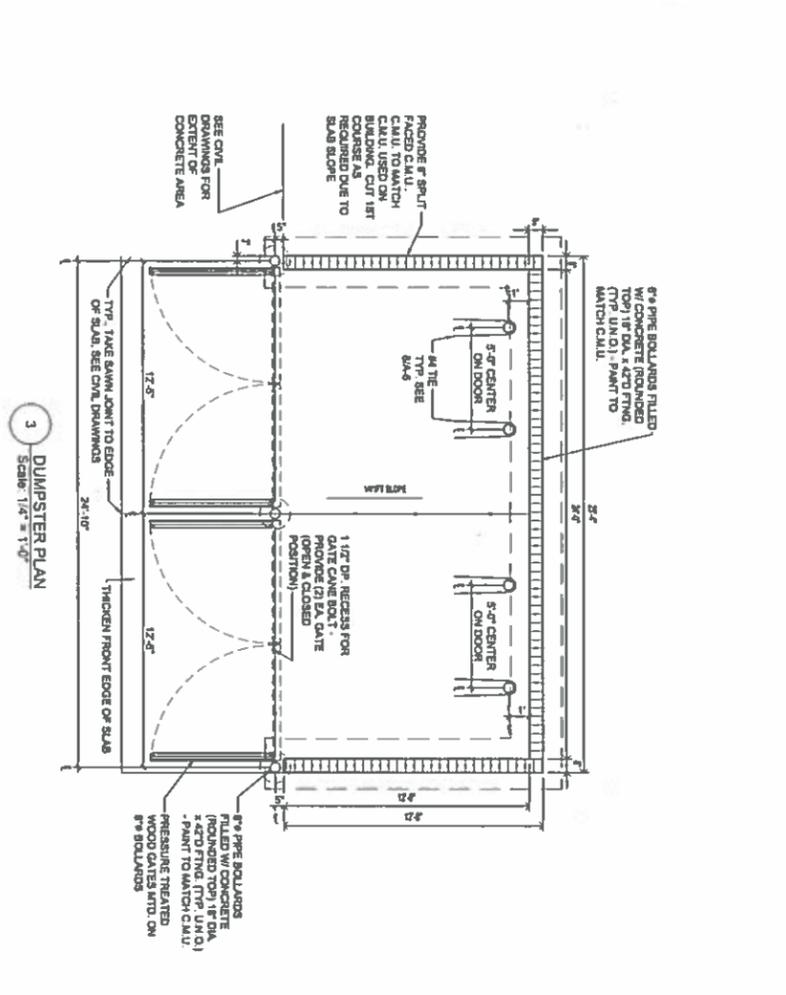
Rational Method Peak Discharge Proposed Conditions	
East End (15' Culv.)	2.62 cfs
South End (12' Culv.)	2.62 cfs
Rainfall Intensity Curve	Dual (Ref. VADOT FDM 13-10 March, 5.4)
Rainfall Excess	0.79
Rainfall Component	Ave. wt. C
Drainage Area (Acres)	0.24
Drainage Area (Sq. Ft.)	20,460
Rainfall Intensity Curve	4.21 in./hr. (for T = 5 min.)
Peak Discharge	0.82 cfs
15' Culv. Capacity	3.0 cfs

STORMWATER MANAGEMENT NARRATIVE

- ENTIRE SITE WILL BE GRADED TO DIRECT OVERLAND STORMWATER TO THE SOUTHEAST (15' DIA.) CULVERT SOUTH (12' DIA.) CULVERT OR ACROSS THE SOUTH ALLEY.
- 4' DIA. CATCH BASIN WILL BE PLACED AT THE NORTH EXTENT OF EXISTING SOUTH 12' DIA. CULVERT TO COLLECT OVERLAND AND ROAD/RAIN TILE STORMWATER DRAINAGE.
- THE EXISTING SOUTHEAST 15' DIA. CULVERT WILL CONNECT TO A NEW 4' DIA. CATCH BASIN LOCATED AT THE NORTH EXTENT OF THE CULVERT BETWEEN THE EXISTING ALLEY AND THE NEW PROPOSED DRIVE. A NEW 21" x 15" PIPE ARCH CAP CULVERT APPROXIMATELY 52 FEET LONG WILL RUN UNDERNEATH THE NEW DRIVE AND WILL CONNECT TO THE NORTH END OF THE ABOVE MENTIONED 4' DIA. CATCH BASIN.
- DRAIN TILE SYSTEM CONSISTING OF 4' DIA. PERFORATED HOPE PIPE WILL COLLECT STORMWATER PERCOLATED THROUGH GRAVEL, ON THE NORTH END OF THE PROPOSED BUILDING. PERFORATED DRAIN TILE PIPE THEN RUNS ALONG THE WEST END OF THE BUILDING, AROUND THE HVAC PAD AND SOUTH PARKING LOT AND OUTFALLS INTO THE PROPOSED CATCH BASIN CONNECTED TO THE EXISTING 12' DIA. CULVERT.
- ROOF RUNOFF FROM THE PROPOSED BUILDING WILL BE DIRECTED TO ONE OF FOUR DOWNSPOUTS ALONG THE WEST END OF THE PROPOSED BUILDING. DOWN SPOUTS WILL BE ROUTED TO THE ABOVE MENTIONED DRAIN TILE SYSTEM ALONG THE WEST END OF THE BUILDING.
- EXISTING CULVERTS HAVE SUFFICIENT CAPACITY TO HANDLE 2 YEAR RAINFALL EVENT AS WELL AS A 100 YEAR RAINFALL EVENT WITH A RAINFALL INTENSITY OF 9 INCHES PER HOUR.
- THE GREEN AREA LOCATED AT THE WEST END OF PROPOSED SITE WILL ASSIST IN REDUCING OVERLAND RUNOFF AND PROVIDE SNOW STORAGE.
- PROPOSED VEGETATION INCLUDES DWARF SHRUBS BETWEEN THE NORTH END OF THE BUILDING AND SIDEWALK, AND EVERGREEN TREES LOCATED IN THE NORTHWEST CORNER OF THE SITE. VEGETATION WILL PROVIDE SOIL STABILIZATION AND MITIGATE OVERLAND RUNOFF.



PROPOSED LANDSCAPING CALCULATIONS		
FRONTAGE		
POINTS REQUIRED PER 100 FEET OF FRONTAGE	60	
TOTAL FRONTAGE	250 FEET	
REQUIRED POINTS	150	
PLANTS		
(3) TALL DECIDUOUS TREES	60	
(4) MEDIUM DECIDUOUS TREES	60	
TOTAL	120	
REQUIRED	120	
FOUNDATION		
POINTS REQUIRED PER 100 FEET OF FOUNDATION PERIMETER	40	
TOTAL PERIMETER	368 SF	
REQUIRED POINTS	147	
PLANTS		
(15) MEDIUM EVERGREEN SHRUBS	75	
(1) MEDIUM DECIDUOUS TREES	15	
(5) LOW EVERGREEN TREES	60	
TOTAL	150	
REQUIRED	147	
PARKING LOT		
POINTS REQUIRED PER 10,000 SQUARE FEET OF PAVED AREA	120	
TOTAL AREA	1821 SF	
REQUIRED POINTS	186	
PLANT		
(4) TALL DECIDUOUS TREES	120	
(2) MEDIUM EVERGREEN TREES	40	
(8) MEDIUM EVERGREEN SHRUBS	40	
TOTAL	200	
REQUIRED	186	
INTERIOR LOT		
POINTS REQUIRED PER 1,000 SQUARE FEET OF BUILDING AREA	10	
TOTAL AREA	8320 SF	
REQUIRED POINTS	83	
PLANT		
(2) EXISTING TALL EVERGREEN TREE	160	
TOTAL	160	
REQUIRED	83	



City of Washburn Plan Commission

SITE PLAN APPLICATION DECISION

Family Dollar

Filing Date: May 4, 2017

Proper notice of hearing provided: Yes

Hearing Date: May 17, 2017

Applicant Name and Address: Sorenson Development, Inc
108 Stratfort Street
Gwinn, MI 49841

1. **Decision:** The application for site plan approval is **denied**.
2. **Description of the Proposed Project:** The proposed project is to construct an approximately 8,320 square foot Family Dollar store located on south 4th Street and Bayfield Street.

3. Reasons for the Decision:

a. Effects of the project on traffic safety and pedestrian circulation:

The zoning administrator's report and application materials addressed traffic concerns thoroughly. The Plan Commission finds that the proposed traffic control measures are adequate.

b. Effects of the project on the natural environment:

The site plan application discusses the efforts made to protect the natural environment by providing screening trees and bushes and maintaining any water-flow off of the property. While there are concerns about the proposed construction's unnatural siding and large size compared to other buildings, those concerns are addressed in section 3(f), below. The Plan Commission finds that the proposed project's effect on the natural environment have been adequately addressed.

c. Effects of the project on surrounding properties:

The application materials and zoning administrator's report addressed the proposed project's impact on surrounding properties. The Plan Commission does not specifically object to the project's impact on surrounding properties, apart from meeting the requirements discussed in section 3(f), below.

d. Compliance with the general site design principles enumerated in § 8-163 of the City of Washburn Zoning Code:

City of Washburn Plan Commission

The zoning administrator's report and the application material addressed the required general site design principles. Based upon no objection to these reports, the Plan Commission finds that the requirements of § 8-163 of the zoning code have been complied with.

e. Compliance with the design principles for parking lots enumerated in § 17-3 of the City of Washburn Zoning Code:

The zoning administrator's report and the application material addressed the required design principles for parking lots. Based upon no objection to the parking lots as proposed in these materials, the Plan Commission finds that the requirements of § 17-3 of the zoning code have been complied with.

f. Compliance with other applicable requirements contained in of the City of Washburn Zoning Code:

Section 8-183(1) requires that "the scale of the building shall be compatible with the overall massing and the individual parts of adjacent buildings, especially existing and anticipated residential buildings in a residential zoning district or a planned development district that allows residential uses."

The proposed project is in proximity to the US Post Office (4765 sq. ft.), Patsies (2290 sq. ft.), the Tattoo Shop and attached residence (1580 sq. ft.), Northlakes Clinic Building (1560 sq. ft.), the residence at 401 W. Bayfield St. (1443 sq. ft.), the garage/old Gritty Fish (1350 sq. ft.), and Heidi Kontny's accounting business (1018.5 sq. ft.). The overall massing of the proposed project would be, on average, 81% larger than the other 6 adjacent buildings. The Plan Commission finds that this disproportionate overall massing weighs in favor of denying the proposed site plan application.

Section 8-183(3) requires that "on any new building constructed for business or manufacturing use, all building exteriors facing a street or approved way shall have 50 percent of the street face constructed with brick, decorative masonry, glass panel, or other appropriate similar finished façade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 25 feet along the sides of the structure or at least 25 percent of the [sic] side wall distance, whichever is greater."

The site plan application provides that nearly the entire side wall of the proposed project facing Bayfield Street will be constructed out of 1 1/8" Gauge MBCI AVP Metal Wall panel. Further, the entire rear of the proposed project is to be constructed out of the same metal material. Such material is not compliant § 8-183(3). Since this section is mandatory, that the new building "shall" meet the requirements herein, the application's failure to meet this requirement is grounds for denying the site plan application.

City of Washburn Plan Commission

Section 8-183(7) requires that “the appearance of a side or rear of a commercial or institutional building shall be the same as or similar to the front of such building when it is readily visible from a public street or an abutting property in a commercial or residential zoning district or a planned development district that allows commercial and/or residential uses.”

Similar to the requirements of § 8-183(3), the proposed metal siding on the portion of the building facing Bayfield Street is not the same or similar as the front of the building, which is to be constructed of materials with the appearance of masonry and/or stone. Since this section is mandatory, that the side of the building “shall” be the same or similar in appearance to the front, the application’s failure to meet this requirement is grounds for denying the site plan application.

Article 19, Table 19-1, provides that the maximum lighting levels for commercial developments in the Zone 1 Lighting District shall not exceed 100,000 lumens per acre. The proposed lighting plan incorrectly states that the lot for this project is 1.92 acres. The proposed project is on a .8 acre lot. Therefore, the maximum allowable lumens for the project would be 80,000 lumens. The proposed lighting plan provides for a total of 112,153 projected lumens, which exceeds the maximum allowable by 32,153 lumens. Accordingly, the proposed lighting plan for this project does not conform to the requirements of Article 19.

g. Any other factor that relates to the purposes of the of the City of Washburn Zoning Code as set for in § 1-5 therein or as allowed by state law:

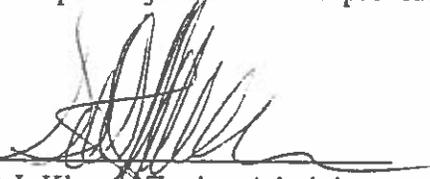
Section 1-5(a)(1) provides that the purpose of the zoning code is, *inter alia*, to “implement the goals, objectives, and policies of the city’s comprehensive plan to the greatest extent practicable.” The City’s comprehensive plan emphasizes the city’s goal to promote development that preserves and accommodates the natural environment (pp. 3-13; 7-34), preserves and fosters the historic character of the city (pp. 2-10; 7-30); and enhancing the appearance of uses along Bayfield Street (p. 3-11). The development guidelines established in the zoning code were created to implement the vision of the comprehensive plan. The Plan Commission finds that failing to follow these development guidelines and to allow the construction of the project as proposed, specifically with the large metal side of the building facing Bayfield Street, would be contrary to many of the goals as stated in the Comprehensive Plan and weighs in favor of denying the site plan application.

4. This denial does not in any limit the applicant’s ability to resubmit a revised application for consideration before the Plan Commission.

City of Washburn Plan Commission

5. This decision may be appealed to a court of competent jurisdiction as provided in § 68.13, Wisconsin Statutes.

Dated: May 24, 2016

By: 
Scott J. Kluger, Zoning Administrator
On behalf of the City of Washburn Plan Commission

City of Washburn Plan Commission

ARCHITECTURAL REVIEW DECISION

Family Dollar

Filing Date: May 4, 2017

Proper notice of hearing provided: Yes

Hearing Date: May 17, 2017

Applicant Name and Address: Sorenson Development, Inc
108 Stratfort Street
Gwinn, MI 49841

1. **Decision:** The application for architectural review is **denied**.

2. **Description of the Proposed Project:** The proposed project is to construct an approximately 8,320 square foot Family Dollar store located on south 4th Street and Bayfield Street.

3. **Reasons for the Decision:**

a. **Section 8-183(1)**

Section 8-183(1) requires that "the scale of the building shall be compatible with the overall massing and the individual parts of adjacent buildings, especially existing and anticipated residential buildings in a residential zoning district or a planned development district that allows residential uses."

The proposed project is in proximity to the US Post Office (4765 sq. ft.), Patsies (2290 sq. ft.), the Tattoo Shop and attached residence (1580 sq. ft.), Northlakes Clinic Building (1560 sq. ft.), the residence at 401 W. Bayfield St. (1443 sq. ft.), the garage/old Gritty Fish (1350 sq. ft.), and Heidi Kontny's accounting business (1018.5 sq. ft.). The overall massing of the proposed project would be, on average, 81% larger than the other 6 adjacent buildings. The Plan Commission finds that this disproportionate overall massing weighs in favor of denying the proposed application.

b. **Section 8-183(3)**

Section 8-183(3) requires that "on any new building constructed for business or manufacturing use, all building exteriors facing a street or approved way shall have 50 percent of the street face constructed with brick, decorative masonry, glass panel, or other appropriate similar finished façade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 25 feet along the sides of the structure or at least 25 percent of the [sic] side wall distance, whichever is greater."

City of Washburn Plan Commission

The application provides that nearly the entire side wall of the proposed project facing Bayfield Street will be constructed out of 1 1/8" Gauge MBCI AVP Metal Wall panel. Further, the entire rear of the proposed project is to be constructed out of the same metal material. Such material is not compliant § 8-183(3). Since this section is mandatory, that the new building "shall" meet the requirements herein, the application's failure to meet this requirement is grounds for denying the application.

c. Section 8-183(7)

Section 8-183(7) requires that "the appearance of a side or rear of a commercial or institutional building shall be the same as or similar to the front of such building when it is readily visible from a public street or an abutting property in a commercial or residential zoning district or a planned development district that allows commercial and/or residential uses."

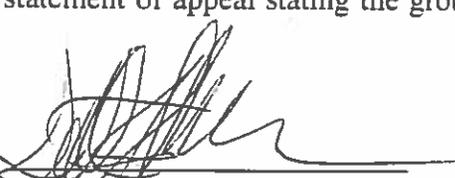
Similar to the requirements of § 8-183(3), the proposed metal siding on the portion of the building facing Bayfield Street is not the same or similar as the front of the building, which is to be constructed of materials with the appearance of masonry and/or stone. Since this section is mandatory, that the side of the building "shall" be the same or similar in appearance to the front, the application's failure to meet this requirement is grounds for denying the application.

d. Article 19, Table 19-1

Article 19, Table 19-1, provides that the maximum lighting levels for commercial developments in the Zone 1 Lighting District shall not exceed 100,000 lumens per acre. The proposed lighting plan incorrectly states that the lot for this project is 1.92 acres. The proposed project is on a .8 acre lot. Therefore, the maximum allowable lumens for the project would be 80,000 lumens. The proposed lighting plan provides for a total of 112,153 proposed lumens, which exceeds the maximum allowable by 32,153 lumens. Accordingly, the proposed lighting plan for this project does not conform to the requirements of Article 19.

4. This denial does not in any limit the applicant's ability to resubmit a revised application for consideration before the Plan Commission.
5. This decision may be appealed to the Common Council of the City of Washburn within 30 days of receipt of this decision by filing a written statement of appeal stating the grounds for such appeal.

Dated: May 24, 2018

By: 

Scott J. Kløver, Zoning Administrator

On behalf of the City of Washburn Plan Commission

From: washburnadmin@cityofwashburn.org
Sent: Tuesday, June 5, 2018 11:56 AM
To: 'Mountain Engineering, Inc. Chuck Meyer'
Cc: mlindsey@ncis.net; 'Richard Avol'
Subject: RE: Washburn Family Dollar Store

Dear Mr. Meyer:

Your re-submitted site plan has been reviewed for the changes that have been made. Please note the comments referencing your June 1, 2018 letter to me:

1. In item number one, you reference a statistical analysis using the t-distribution for small data sets. I request that you "show your math" so that we may better understand the argument that you are using here. I believe that it may also add strength to your argument if in fact the calculations are correct and the actual calculations are shown.
2. In reference to the architectural elements related to the exterior appearance of the building, I believe that the revisions now comply with the requirements.
3. In reference to the lighting plan, it is my judgement that it does not comply with the maximum lighting levels in figure 91-1 of the Outdoor Lighting section of the zoning code. In that provision, the maximum lighting level allowed is 100,000 lumens per acre. Based on Bayfield County Land Records information, the subject property is 35,000 square feet (200 feet by 140 feet), which translates to .80349 acres, which therefore means 80,349 lumens are allowed. You have asked for a "waiver" of this provision. Note 8, below Table 19.1, states that "Pursuant to the procedures and requirement in article 7, the Plan Commission may approve a special exception to allow an increase of no more than 5 percent when needed to ensure public safety." If the Plan Commission was willing to grant this provision, the maximum lumens that could be allowed for this project is 84,366. This is still well below your desired 130,253 lumens. There is no other "waiver" provision that the Plan Commission can take regarding this issue and remain legal.

Given this, it is my strong recommendation that the site plan be modified to comply with the this provision. It is my belief that even at 80,349 lumens, this will be one of, if not the, most well-lit buildings in the City of Washburn. If safety is a concern, I can arrange for you to speak with our Chief of Police to help discuss any safety concerns/crime rates in the City of Washburn. If you have not already done so, please consider the ambient lighting the north side of the property gets from the City's street lights in the vicinity.

If this is not satisfactory, the only other options that I see are to: 1) obtain control of additional land in order to increase the acreage of the property and therefor the allowable lumens or 2) petition for an amendment to the zoning code on this provision. I can only speculate that option 1 may be difficult; however, there is some additional land that Mr. Maloof does own on the south side of the alley. As for option 2, the Plan Commission may not have a favorable recommendation on this provision; however, the ultimate decision on such an amendment would be made by the City Council. I do not care to speculate as to what type of reception such a request would receive from the Council at this time.

Scott Kliver
City of Washburn

when the developer presents an exceptional project that exceeds minimum requirements for protecting natural resources. New lots that are not served by public sanitary sewer will have a minimum lot size of 1.5 acres.

Commercial Districts

- (5) **Cottage Commercial (C-1) district.** This district is primarily intended to accommodate small-scale commercial businesses (5,000 square feet or less) intermixed with residential uses, including single-family residential, two-family residential, and multi-family residential. Development standards are designed to ensure that commercial uses are compatible in appearance and character with the surrounding residential uses.
- (6) **General Commercial (C-2) district.** This district is intended to accommodate a wide range of large- and small-scale commercial development including both pedestrian- and auto-oriented land uses, including intermixed higher density residential uses. Although there are requirements for providing green space within new development projects, the overall standards in this district are intended to provide significant incentives for infill development, redevelopment, and the continued economic viability of existing development.
- (7) **Downtown Commercial (C-3) district.** This district is primarily intended to accommodate and create a high level of employment and business activity consisting of large- and small-scale use. This district hosts businesses that support the needs of tourists and also the needs of City residents. Retail operations and specialty stores are common along with indoor attractions. Although professional services are allowed, they are less common. Sidewalk cafes are common during the warmer months of the year. There is a balanced mix of one and two-story buildings. The wide range of permissible use and development standards are intended to provide significant incentives for infill development, redevelopment, and the continued economic viability of existing development. Where this district abuts a residential district, appropriate screening and landscaping will be provided to lessen associated impacts. Residential uses can occur in this district primarily on the upper levels of buildings. Parking is available on the street and in nearby public parking lots and garages. Given the intensity of development in this district, there are no on-site landscaping requirements, except in parking lots fronting on Bayfield Street. This district is strictly limited to the central city locations.

Mixed-Use Districts

- (8) **Mixed-use Waterfront (MUW) district.** This district is intended to accommodate a mix of commercial, residential, and public recreational uses in a master planned setting. This district is intended to be an attractive, pedestrian-oriented area where people can live, work, and play. New buildings in this area will have a residential appearance consistent with the vernacular architecture of Washburn. Typical uses include retail shops, galleries, studios, professional offices, and residential uses generally on upper floors.

Special Purpose Districts

- (9) **Lakefront (L-1) district.** This district is intended to include those properties in public ownership on or near Lake Superior.
- (10) **Marina (M) district.** This district is intended to accommodate those uses normally found in a public marina including maintenance facilities, indoor and outdoor boat storage, and related support services. The establishment of new areas with this zoning classification is not anticipated, except for an area of the coal dock.

Industrial Districts

- (11) **Industrial (I-1) district.** This district is intended to accommodate warehousing, a range of sales and service establishments, and manufacturing.
- (b) **Planned Development District (PDD).** Planned development districts are a special type of zoning district and are initially proposed by a developer to account for a desired mix of uses that are permitted in one or more of the zoning district. Each district is unique and therefore has its own set of development standards that are documented in the general development plan, and associated development agreement, if any. PDD districts are to be numbered sequentially (i.e., PDD-1, PDD-2, etc.)
- (c) **Overlay zoning district.** In addition to the base zoning districts and planned development districts described in this section, the following overlay zoning districts are established to account for unique conditions or requirements: