

**CITY OF WASHBURN**  
119 Washington Avenue  
P.O. Box 638  
Washburn, WI 54891



715-373-6160  
715-373-6161  
FAX 715-373-6148

This meeting may have members participating via tele or web conferencing. Public participants can listen to the proceedings by utilizing a computer or smart phone and using the link <https://us02web.zoom.us/j/87687637346?pwd=Q1dtME1mb1VxeTU4VzdxMWEzUHErUT09> or by calling 1 (877) 853-5247 (Toll Free) and entering Webinar ID: 876 8763 7346 and entering passcode: 759048 as opposed to being present for the meeting.

#### **NOTICE OF PLAN COMMISSION MEETING**

DATE: Thursday, March 16, 2023

TIME: 5:30 PM

PLACE: Washburn City Hall – 119 Washington Ave

#### **AGENDA:**

- Call to Order/Roll Call
- Approval of Minutes of February 16, 2023
- Discussion & Action on Development Application From DGI-Washburn, LLC for Dollar General Retail Store at 1047 W. Bayfield Street, Tax ID 36169 – Geno Carlson, Petitioner/Agent
  - Architectural Review
  - Site Plan Review
  - Plan of Operation Review
  - Change in Topography Review
- Discussion and Recommendation of City Property Inventory and Land “For Sale” List
- Adjourn

February 16, 2023

CITY OF WASHBURN PLAN COMMISSION MEETING

5:30PM Washburn City Hall

COMMISSION MEMBERS: Dave Anderson, Felix Kalinowski, Michael Malcheski, Mary Motiff, Leo Ketchum-Fish, Nicolas Suminski

ABSENT: Matt Simoneau

MUNICIPAL PERSONNEL: Scott Kluver-City Administrator, Tammy DeMars-Treasurer/Deputy Clerk

Meeting called to order at 5:30 pm by Motiff, attendance as recorded above.

**Approval of Minutes – January 23, 2023 Minutes – Motion by Anderson to approve the minutes of January 23, 2023, second by Ketchum-Fish. Motion carried 6-0.**

**Discussion and Action on Request to Adjust Comprehensive Plan Land Use Map to Allow for Construction of Boat Storage Facility on Lot 48 at the Corner of Central Avenue and Harborview Drive – Greg Gynnild, Petitioner** – Mr. Gynnild is owner of WWS LLC and currently has two 15,000 sq ft boat storage buildings adjacent to the Marina facility. He would like to purchase Lot 48 to construct an 8,000 sq ft building for additional boat storage. For Mr. Gynnild to move forward a number of things need to happen. First, the Land Use Map of the Comprehensive Plan would need to be adjusted from Waterfront Mixed Use to Marina. Since the Comprehensive Plan is up for approval, the change could still occur prior to that vote. If the Commission agrees to change it now, Mr. Gynnild would not need to apply for a formal Comprehensive Plan amendment. The amendment is necessary because boat storage buildings are not allowed in the Mixed Use Waterfront District, they are allowed conditionally in the Marina and Industrial Districts. Moved by Ketchum-Fish to decline the request to change to the Land Use Map, seconded by Anderson. Ketchum-Fish reasons this has already been discussed 3 or 4 times and anything built on this lot would affect the properties above it, he also feels there could be other locations that would be better suited. Suminski motions to open floor, second by Anderson. Motion carried 6 to 0. Carl Broberg, Harbor Commission President expressed the need for additional boat storage, this would benefit the Marina/Harbor Commission and City giving them additional revenue. Mr. Gynnild states he understands the concerns about the height of the building blocking the view, which is why he is planning on 80' x 100' with 16' to 18' walls and would use this building for the lower boats. This location would be close to the other two buildings making it easier for overall maintenance and the distance the boats would need to be transported. Jeff Moberg, owner of The Washburn Inn and Harborview Event Center, is opposed to storage building on this site. His business along with many others in the City depend on tourism and feels this would be poor planning and would ruin the view. Motion by Malcheski to close the floor, seconded by Ketchum-Fish. Motion carried 6 to 0. Malcheski, feels this would fit in with the existing use and with a nice design and landscape it would work. Malcheski calls the question. Vote on the original motion, passes by 4 to 2 vote with Malcheski and Suminski opposed.

**Discussion and Action on Plan Commission Resolution #2023-01 Recommending the Adoption of the 2023-2043 Comprehensive Plan** – Plan was updated and sent out electronically to each member prior to the meeting. Motiff explains at the last meeting we did do a page by page review with some corrections made at that time. Malcheski moves to approve Resolution #2023-01 recommending the adoption of the 2023-2043 Comprehensive Plan, seconded by Suminski. Kluver said he has found a couple of minor typos that will be corrected. Motion carried 6 to 0.

**Discussion on Bayfield Street Beautification Planning** – Chamber Director Melissa Martinez and Dr. Foster of Northland College, were present and would like to help by doing an initial survey of business and property owners along Bayfield Street, to give the Commission some ideas as to what they would like. Dr. Foster's students would do the initial interviews and possible on-line survey, with Melissa working with the different organizations. The timeline given was from March 21<sup>st</sup> to April 5<sup>th</sup>, the results would then be presented to the Commission. Commission members felt this would be a good first step. Suminski asked if this would include signage, with Melissa confirming it would.

**Discussion on Draft Architectural Review Expansion Ordinance** – Motiff explains this is a draft for the Commission's review based on prior discussions and no action would be taken at tonight's meeting. With a number of business owners in attendance, Ketchum-Fish gave a statement to explain why the Commission is discussing this, in part he stated this would bring uniform architecture, would enhance and make the City more attractive in the long term. Anderson feels tourism is what keeps Washburn going, these rules already exist in center of town, should be extended to the entire main street of the city to enhance the looks and grow the Community. Suminski, unhappy with the restrictions, and adding more to City staff who are unable to enforce things now, putting further expense on business by restricting materials and referencing the section outlining when a business would be required to come into compliance and including residential properties. Malcheski, feels Washburn is stagnant in growth and this is a mechanism to be used to promote growth. Motiff feels we have many other things such as signage and completion of the Land Matrix changes that we should concentrate on before we continue with this expansion. Moved by Suminski to open floor, second by Kalinowski. Motion carried 4 to 2 with Anderson and Malcheski opposed. Rick Gruebele, 1028 W. Bayfield Street is opposed to this ordinance change, this will make people want to leave and not move to the city. Kea McCulley, part owner of North Coast Coffee, spoke in opposition to the change, she feels business properties are not a problem, each of them do what they can afford to maintain and keep their buildings looking nice. Forcing more restrictions on materials and other things

will only limit what some can do, no one wants their buildings to be unappealing. She also mentioned that vinyl siding has a bad rap and is more economical and easier to maintain. Jeff Moberg, owner of The Washburn Inn supports the change but feels the Commission should look at a better way to educate the business, as to what they are trying to do, rules can give stability and are a good investment. John Carlson, 122 W. Bayfield, supports the change, but feels the entire zoning code should be simplified. Nick Wills, owner of Coco's, opposes ordinance change, as any additional expense can mean the difference of improvement or leaving things go, he also is not happy about the restriction on vinyl. Randy Daigle, 1047 W. Bayfield Street made sure he placed his business outside the downtown area for this reason. You will be adding time restraints and expenses and he is opposed to the change. Bill Luckenbill, owner of Bill's Collision Center, ask were the Commission was when the decorative lighting discussion happened, that will not go all the way through town, we will be going through a street reconstruction project next year and now you want to add more problems and cost for us. This is just wrong. Malcheski moves to close the floor, second by Anderson. Motion carried 6 to 0. City Attorney Lindsey joins the meeting via zoom. Suminski, asked Lindsey for some clarification on minor and major changes that would require a business to come into compliance. Ketchum-Fish, some of these issues could be addressed or changed. Motiff, it is obvious that this will need further discussion, it's only a first step and will be discussed at a future meeting but also wants to put it on hold until we can update the sign ordinance, the main street beautification plans and update the land matrix. Some members of the Commission are opposed and feel this is more important and could be worked on at the same time.

Motiff adjourns the meeting at 7:45PM.

Respectfully Submitted,  
Tammy DeMars  
City Treasurer/Deputy Clerk

**CITY OF WASHBURN**  
119 Washington Avenue  
P.O. Box 638  
Washburn, WI 54891



715-373-6160  
715-373-6161  
FAX 715-373-6148

To: Plan Commission Members  
From: Scott J. Kluver, <sup>SK</sup>Administrator  
Re: Architectural, Site Plan, Plan of Operation, and Change in Topography Review of Proposed Dollar General Store at 1047 W. Bayfield Street  
Date: March 9, 2023

Enclosed you will find materials for the proposed Dollar General store located 1047 W. Bayfield Street. Please see the attached decision document for the Architectural Review. The other reviews are outlined below:

My review of the site plan is as follows:

- 1) Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;  
- Entrance area is off of 11<sup>th</sup> Avenue West, not Bayfield Street which allows for parking on two sides of the structure, along with the space necessary for stormwater detention and landscaping.
- 2) Effects of the project on the natural environment – No known detrimental effects.
- 3) Effects of the project on surrounding properties – Anticipate an increase in parking/traffic but nothing beyond reason for a commercial district.
- 4) Compliance with the site design principles enumerated in s. 8-163 – Project does not appear to be in conflict. The loading area is at the rear of the paved area near the enclosed dumpster and has a hashed area in between the parking area, but it is not otherwise separated.
- 5) Compliance with the design principles for parking lots enumerated in s. 17-3 – One 1 space for each 300 square feet of gross floor are required. Based on the submitted drawing of 10,640 square feet, 36 parking spaces are required and 36 spaces are provided including the required handicap spaces (2).
- 6) Compliance with other applicable requirements contained in this chapter – All setback and general provisions are complied with. The outdoor lighting plan submitted, along with the specifications of the fixtures used, shows that there will be nine of the QubePAK Regal 3 lights with four of them at 100 Watts, and five at 37 Watts. In addition, there will be a parking lot light with two of the Dorado XLR fixtures at 148 Watts. Light trespass on all sides will be less than .1 footcandles, and minimum light for the parking lot will be achieved. However, I calculate the total number of lumens in the plan to be 100,315. This is an issue as this is a “Zone 2” location that has a 50,000 lumens per acre maximum, and as the property is 1.38 acres, there is a 69,000 lumen limit for the property. The applicant has been advised to revise prior to the meeting. The landscaping plan as depicted on sheet L1.0 meets the requirements for street frontage, building foundation, parking lot, and lot interior landscaping requirements.

- 7) Any other factor that relates to the purposes of this chapter set forth in s. 1-5 or as allowed by state law –  
**No other known factors.**

My review of the plan of operation is as follows:

- 1) The nature of the land use with regard to the number of employees, nature and extent of truck shipments to and from the site, hours of operation, use of hazardous substances, and other operational characteristics – **The Plan Commission should determine if the statement provided is adequate. There are no known hazardous substances or other uncommon operational characteristics.**
- 2) The nature and extent of anticipated positive and negative effects on properties in the area – **Unknown.**
- 3) Actions the applicant will undertake to mitigate the negative effects, if any, of the proposed land use – **None.**
- 4) Any other factor that relates to the purposes of this chapter set forth in s. 1-5 or as allowed by state law –  
**No other known factors.**

A Change in Topography (major) application is attached along with the grading plan and erosion control plans. The evaluation criteria and responses to those are indicated on page 2 of the application. I am not aware of any deficiencies in this plan, nor in any of the erosion control and post construction stormwater submittals. The Plan Commission would need to hire a third-party evaluator if you would like a complete professional analysis.

Do note that the applicant has provided applications for the general zoning permit, utility connection inspection, driveway permit, required construction erosion permits, and post construction stormwater retention/detention permits. Signage permits and possibly an address change will be reviewed at a later date. Please let me know if you have any questions related to this review.

City of Washburn Plan Commission

ARCHITECTURAL REVIEW DECISION

---

DGI-WASHBURN LLC

Filing Date: March 2, 2023

Proper notice of hearing provided: Yes

Hearing Date: March 16, 2023

Applicant Name and Address: Point of Beginning, Geno Carlson, Agent  
4941 Kirschling Court  
Stevens Point, WI 54304  
Tax ID 36169

1. **Decision:** The application for architectural review is ???.
2. **Description of the Proposed Project:** To construct a 10,640 square foot retail building to be used as a Dollar General store.
3. **Reasons for the Decision:** The Plan Commission must determine whether the project complies with all applicable design principles and standards:

General Architectural Standards:

- (1) Excluding residential buildings and Industrial Zoning Districts, all building exteriors facing a street, not including an alleyway, shall have at least 50 percent of the street face constructed with brick, decorative masonry, glass panel, or other appropriate similar finished façade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 25 feet along the sides of the structure that do not face a street or at least 25 percent of the that side wall distance, whichever is greater. **The south and west elevations, street facing, are at least 50 percent decorative masonry, the north and east elevations are at least 25 percent decorative masonry.**
- (2) Outside of Industrial Zoning Districts, the appearance of any buildings with a front elevation or any building elevation facing Bayfield Street of more than 750 square feet in area shall be divided into distinct planes of 500 square feet or less. The following design features can be used to meet this provision (1) canopies or awnings; (2) arcades; (3) porches; (4) vertical wall offsets having a minimum depth of 8 inches and a minimum width of 10 feet; (5) horizontal offsets having a minimum depth of 2 feet; (6) pilasters having a minimum depth of 8 inches, a minimum width of 12 inches, and a minimum height of 80 percent of the wall height; (7) recessed areas for entryways and the like having a minimum depth of 8 inches; and (8) other suitable multidimensional design features. **The front façade exceeds 750 square feet, but the front entrance area is recessed at least 8 inches for over 10 feet. This will create three distinct planes under 500 square feet.**
- (3) On any building on Bayfield Street, the front entrance of a building shall be encouraged to face Bayfield Street. When that does not occur, the Bayfield Street Elevation shall have the same, or similar, materials and designs as the front entrance of the building. Except for one or two-family residential buildings, when a building rake elevation faces Bayfield Street the roof line

## City of Washburn Plan Commission

must be hidden behind the façade facing Bayfield Street. **Main entrance does face Bayfield Street.**

- (4) Oversized fenestration elements which tend to create a monumental scale shall not be used unless specifically required by the type of building or relationship to its surroundings. **The windows/doors on the front do not appear to be oversized.**
  - (5) Building entrances must be clearly recognizable from parking lots and pedestrian circulation routes. **Entrances are clearly recognizable.**
  - (6) Rooftop mechanical equipment shall be positioned so it is not readily visible from a public street or an abutting property in a residential zoning district or in a planned development district that allows residential uses. Rooftop mechanical equipment may be placed in an enclosure or screened from view provided such enclosure or screening is used as an element of the building's architecture. **Rooftop HVAC units are present on the structure and are placed on a line near the center of the north/south elevation, and the slope of the roof helps to block the visibility from the west and trees screen the units from the east.**
  - (7) Fencing shall complement the appearance of buildings onsite. **Fencing is placed around the dumpster enclosure. It is made of wood slats with gaps as depicted on Sheet C6 of the plans.**
  - (8) The exterior building materials of an accessory building shall be the same as or similar to those used on the principal building. **No accessory building proposed.**
  - (9) Overhead doors shall not face a public street. The Plan Commission may permit overhead doors to face a public street, but only when it has made a finding that there is no feasible alternative location for such doors. Consistent with the requirements in Article 7, the Plan Commission may approve a special exception to allow an overhead door to face a public street when there is no feasible alternative. **No overhead doors involved.**
  - (10) HVAC (heating, ventilating, air conditioning) equipment shall be screened from view. No HVAC shall create a noise level of more than 50 decibels as measured on a dB(A) scale at the nearest existing adjacent residence. **HVAC equipment is located on the roof and is screened per item #6. The decibel level of the HVAC equipment is projected to be ??? at the property line. (Information needs to be provided prior to the meeting.)**
  - (11) When trash, garbage and recyclable materials are stored out-of-doors, such materials shall be concealed or suitably screened from public view. A brick or stone wall, wood fence, chain-link fence with slats, and/or landscaping shall be used to totally obstruct vision into the storage areas. Any wall, fence and gate, and/or vegetative screening shall be installed or erected to a height at least 1'- 6" above the highest point of the dumpster as generally depicted below. **An outdoor garbage enclosure is located at the rear or the parking lot on the west side. The enclosure will be constructed of wood slats with gaps as depicted on Sheet C6 of the plans.**
4. List of Conditions Imposed: **None.**
5. If one or more conditions of approval are imposed, the property owner must sign this decision document and return it to the Zoning Administrator for his signature and as acceptance of the conditions of this decision.

**City of Washburn Plan Commission**

- 6. This decision may be appealed to the Common Council of the City of Washburn within 30 days of receipt of this decision by filing a written statement of appeal stating the grounds for such appeal.
- 7. Any person aggrieved by this decision may also appeal this decision and any work done by the Applicant as authorized by this approval is done at the applicant's own risk.

Dated: March 17, 2023

By: \_\_\_\_\_  
Scott J. Kluver, Zoning Administrator  
On behalf of the City of Washburn Plan  
Commission

**If Conditions Are Imposed:**

Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Property Owner





**Change in Topography  
City of Washburn**

Version: May 25, 2017

WASHBURN CITY HALL  
119 Washington Avenue  
Washburn, WI 54891

**Overview:** When the topography of a site is significantly altered, the proposed work must be reviewed in terms of the criteria established in the zoning code, which are intended to protect the public health, safety, and welfare.

**Governing regulations:** The procedures and standards governing the review of this application are found in Article 7 of the City's zoning code.

**General instructions:** Complete this application and submit one copy to the City Clerk at the mailing address shown above. Before you formally submit your application, you may meet with the City Administrator who can answer any questions you may have. You may also ask the City Administrator to review your application before it is formally submitted to determine if it is complete and provides enough information to describe the circumstances related to this application. If you have any questions, do not hesitate to contact the City Administrator at (715) 373-6160 ext 4 or via e-mail at [washburnadmin@cityofwashburn.org](mailto:washburnadmin@cityofwashburn.org).

<b>Office Use Only</b>		
Date Received: _____	Received By: _____	Fee Paid: _____

1. **Applicant and agent information** Include the names of the agent, if any, that helped prepare this application including the supplemental information. Examples include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Applicant</u>	<u>Agent</u>
Name	DGI-Washburn, LLC; Todd Platt, Manager	Geno Carlson, Point of Beginning, Inc.
Street address	200 E Washington Ave, Suite 2A	4941 Kirschling Ct
City, state, zip code	Appleton, WI 54911	Stevens Point, WI 54481
Daytime telephone	920-730-4285	715-344-9999
E-mail address	tplatt@pfefferle.biz	genoc@pobinc.com

2. **Type of application (select one)**

- Minor - Moving from 50 cubic yards up to 500 cubic yards
- Major - Moving 500 cubic yards or more

3. **Subject property information**

Physical address 1047 W Bayfield St, Washburn, WI 54891  
 Tax key number(s) 36169

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the City Clerk.

Is the subject property currently in violation of the City's zoning code as determined by the zoning administrator?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 6-10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, or other required payment that are specifically related to the subject property?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 6-11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, assessments, or other required payments are delinquent and due.

**4. Proposed project.** Describe the proposed project and attached construction drawings as may be needed. (Attach additional pages if necessary)

The proposed project consists of constructing a new Dollar General commercial retail store. Project scope includes demolition of existing buildings, site grading (including erosion control), construction of new retail building, construction of parking lot, construction of storm water treatment basin, and site landscaping/planting. See attached civil design plans.

**5. Evaluation criteria.** The factors listed below will be used in evaluating this application. You may respond to the extent you deem appropriate. Attach additional pages if necessary.

1. Effects on existing drainage patterns, including the rate and location of overland flow;
2. Effects on up-gradient and down-gradient properties;
3. Effect on existing wetlands and waterbodies;
4. Effect on existing native vegetation;
5. The potential of creating manmade wetlands;
6. The extent to which the cut and/or fill appears to be compatible or incompatible with the topography in the area;
7. The stability of the proposed slope; and
8. Any other factor that relates to the purposes of the zoning code as set forth in s. 1-5 or as allowed by state law.

1. Overall drainage patterns will be maintained (See Erosion Control/Storm Water Management Report)
2. Neighboring properties will not be impacted by construction efforts.
3. Limited wetland fill will occur onsite (<10,000 S.F.); permit application will be submitted to DNR
4. Treed areas of lot will be maintained & undisturbed as much as possible. (See attached Layout Plan)
5. Grading design does not promote standing water. (See attached Grading Plan)
6. Fill will be placed within the site as required for construction; site boundaries will not be negatively impacted.
7. Slopes will be reinforced with erosion control measures (See attached Erosion Control Plan)
8. Lot is zoned C-1 with General Retail Sales listed as Permitted use.

**6. Grading plan.** Attach a grading plan. It may consist of a single page or multiple pages depending on the complexity of the features that need to be depicted.

The following items need to be included as appropriate to the project.

**Background Project Information**

- Project name
- Applicant name
- Preparation date

**Survey Information**

- North arrow and graphic scale
- Address of subject property or legal description
- Property boundaries
- Acreage of subject property

**Project Development Information**

- Easements/rights-of-ways (location, width, purpose, ownership)
- Common areas/conservancy areas (location, purpose, ownership)

**Site Features (existing and proposed)**

- Ground contours when any slope exceeds 10 percent
- Wetlands
- Woodlands
- Wildlife habitat, including critical wildlife habitat
- Environmentally sensitive features
- Water resources (rivers, ponds, etc.)
- Floodplain boundaries
- Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines

**Landscaping Features (existing and proposed)**

- Fences, buffers, and berms
- Pervious and impervious surfaces by type
- Existing trees and other prominent vegetation

**Transportation Facilities (existing and proposed)**

- Streets
- Driveways and road access onto public and private roads
- Sidewalks / trails

**Buildings and Outdoor Storage/Activity Areas footprint, use, etc.)**

- Existing and proposed
- Existing within 100 feet of subject property

**Project Details**

- Plan view and cross-sections of existing and proposed grades on the subject property, including top and bottom elevations of proposed retaining walls
- Existing grade of any adjacent property that is, at any point, closer than 20 feet to any portion of the proposed land altering activity, showing how the proposed grades will tie into the existing adjacent property grades
- Proposed cut and fill slopes, total depths and slope ratios (horizontal and vertical)
- Proposed volume of excavation and fill material involved in cubic yards, including the source and content of any proposed fill
- Proposed boundaries of the land disturbance, planned pond water surface area, and the square footage of each arc
- Location of natural areas, such as environmental corridors, floodplains, or wetlands
- Proposed soil stockpile locations, length of time they will exist and methods of stabilization or sediment control
- Proposed temporary erosion and sediment control practices, such as silt fence, mulch, soil treatment and temporary seeding
- Proposed permanent vegetation plan, including topsoil application depth, seed mixes, amounts, application methods, timing, and stabilization methods such as mulch, soil treatment, and matting
- Any other site drainage, stormwater management, erosion control or other items that may be required under a stormwater permit or by the zoning administrator.

**7. Attachments.** List any attachments included with your application.

Civil Design plans, including Preliminary Topographic Survey Map  
Erosion Control/Storm Water Management Report (incl. narrative & hydrological analysis)

**8. Other information.** You may provide any other information you feel is relevant to the review of your application.

**9. Applicant certification**

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes city officials, Plan Commission members, Common Council members, employees, and other designated agents to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):

Date:

3/1/2023



4941 Kirschling Court, Stevens Point, WI 54481  
1497 6th Street - Suite C, Green Bay, WI 54304  
1261 W Main Street - Suite 102, Sun Prairie, WI 53590

February 28, 2023

## PLAN OF OPERATION – NARRATIVE

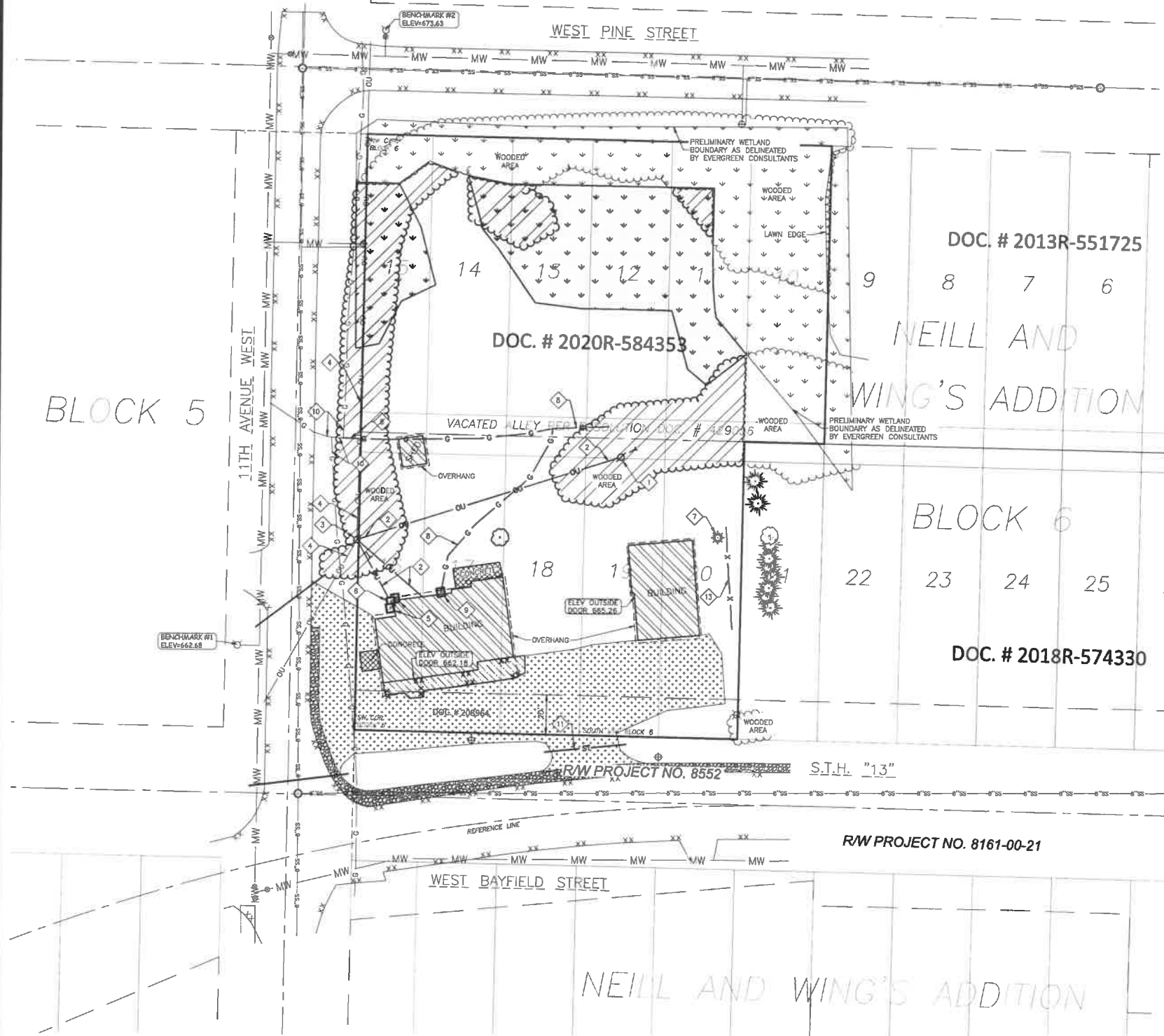
DGI-Washburn, LLC, is proposing to construct a new Dollar General retail store at 1047 West Bayfield Street in the City of Washburn. The property is currently zoned C-1, Cottage Commercial District, and is currently occupied by a retail business. Dollar General proposes to remove the existing structures and construct a new 10,640 sq. ft. retail building – General Retail Sales being a Permitted Use in a C-1 zoned lot.

Dollar General has an extensive network of stores throughout the state and takes pride in offering a convenient shopping destination to communities that need it, working with municipalities to conform to design standards to provide the best outcome for the community as a whole.

Dollar General's typical hours of operation are from 9am to 9pm every day. There are usually two to three full-time employees with a part-time supporting staff. Generally, only two or three employees would be present at any given time. Deliveries generally occur weekly and take place on site to avoid causing undue negative impact to local traffic.

Dollar General's commitment to quality site construction will assure that the final result will be an attractive, desirable location community residents will enjoy visiting.

# BLOCK 3 NEILL AND WING'S ADDITION



## GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL UTILITY REMOVAL, DISCONNECTION, &/OR RECONNECTION WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING WORK.
- ANY EXISTING UTILITIES NOT EXPRESSLY LABELED FOR DEMOLITION/REMOVAL ON THIS DOCUMENT SHALL BE LEFT IN PLACE AND IN THEIR CURRENT STATE OF OPERATION. CONTACT ENGINEER WHEREVER CLARIFICATION IS NEEDED.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL NEIGHBORING PROPERTIES SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH NEIGHBORING PROPERTY OWNERS.

CHECKED:	J.J.L.
DRAWN:	G.M.C.
DATE:	02/28/2023
PROJECT NO.	23.128

## KEYNOTES:

- REMOVE EXISTING POWER POLE
- REMOVE EXISTING O/H POWER LINE
- RELOCATE EXISTING O/H POWER POLE
- MAINTAIN EXISTING O/H POWER LINE
- REMOVE EXISTING ELECTRIC METER
- REMOVE EXISTING ELECTRICAL BOX
- REMOVE EXISTING LIGHT POLE
- REMOVE EXISTING GAS LINE
- REMOVE EXISTING GAS METER
- MAINTAIN EXISTING GAS LINE
- REMOVE EXISTING STORM CULVERT
- CLEAR & GRUB EXISTING TREE
- REMOVE EXISTING FENCE

## DEMOLITION HATCH PATTERNS:

BITUMINOUS REMOVAL	
CONCRETE REMOVAL	
GRAVEL REMOVAL	
BUILDING REMOVAL	
CLEAR AND GRUB EXISTING WOODED AREA	
WETLAND FILL AREA (9,881 S.F.)	

## CIVIL SHEET INDEX:

- C1.0 DEMOLITION PLAN
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C6.0 DETAILS
- C6.1 DETAILS
- L1.0 LANDSCAPE PLAN
- TS 1.1 TOPOGRAPHIC SURVEY MAP

## BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST, APPROXIMATELY 105 FEET NORTH OF THE INTERSECTION OF SAID 11TH AVENUE WEST AND S.T.H. "13" ELEVATION = 662.88

**BENCHMARK #2**  
BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 11TH AVENUE WEST AND WEST PINE STREET. ELEVATION = 673.63

## UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT AND TO TRADE PROFITS, DRAWINGS AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, OR ANY OTHER ACTION THAT MAY BE TAKEN WITHOUT THE WRITTEN PERMISSION OF POINT OF BEGINNING, INC.

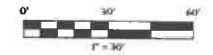
**DEMOLITION PLAN**

**DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Krachling Court  
Stevens Point, WI 54481  
715.344.9999 (PH) 715.344.9922 (FX)



**SHEET C1.0**



# BLOCK 3 NEILL AND WING'S ADDITION

## GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

## KEYNOTES:

- THICKENED EDGE WALK
- END THICKENED EDGE WALK
- CONCRETE SIDEWALK
- 5'x5' CONCRETE STOOP
- PARKING LOT STRIPING
- DIRECTIONAL ARROW
- HANDICAP RAMP
- HANDICAP PARKING STALL
- HANDICAP PARKING SIGN
- ADA ACCESS ROUTE
- 18" CONCRETE CURB & GUTTER
- CONCRETE BOLLARD
- PROPOSED ELECTRIC PYLON SIGN
- DUMPSTER ENCLOSURE (18'x18' CONCRETE PAD)
- STOP SIGN
- CURB TAPER
- PARKING LOT LANDSCAPE AREA

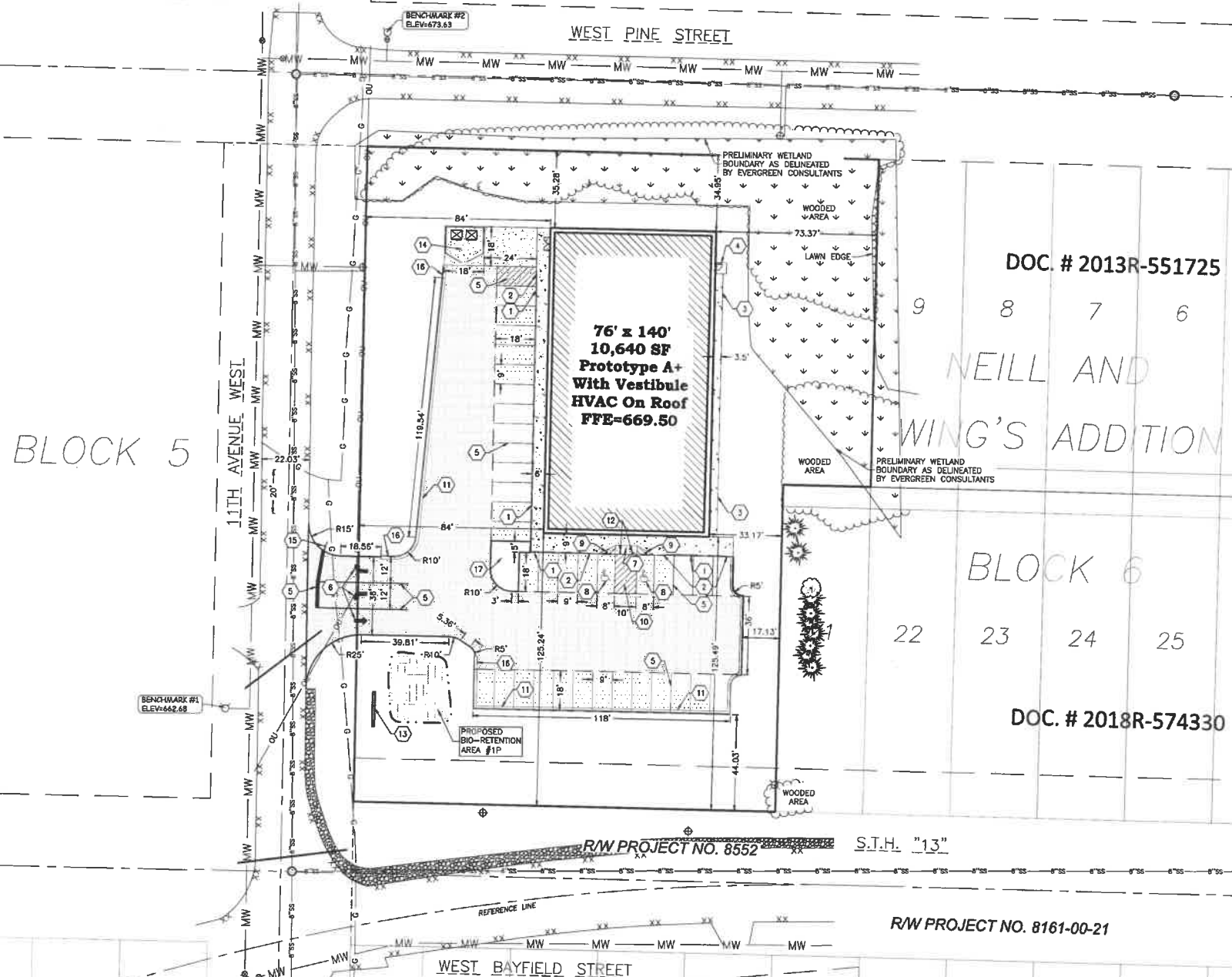
## PAVEMENT HATCH PATTERNS:

- PROPOSED STANDARD ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED STANDARD CONCRETE PAVEMENT
- PROPOSED REINFORCED CONCRETE PAVEMENT

## SITE RATIOS:

PROJECT RATIOS	EXISTING	PROPOSED
LOT AREA:	1,471 ac	SAME
IMPERVIOUS AREA:	11,913 SF (18.6%)	30,266 SF (47.2%)
GREEN SPACE/LANDSCAPE:	1.197 ac (81.4%)	0.776 ac (52.8%)

PARKING SPACES: 1 SPACES / 300 S.F. OF FLOOR SPACE x 10,640 S.F. = 36 SPACES



DOC. # 2013R-551725

DOC. # 2018R-574330

## BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST, APPROXIMATELY 105 FEET NORTH OF THE INTERSECTION OF SAID 11TH AVENUE WEST AND S.T.H. "13". ELEVATION = 662.88

**BENCHMARK #2**  
BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 11TH AVENUE WEST AND WEST PINE STREET. ELEVATION = 673.63

## UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

POINT OF BEGINNING, INC. BEGINS THE RIGHTS TO CONVEY IN AND TO THESE RIGHTS, RELATIONS AND DOCUMENTS, AND REPRESENTS, COPIES, ALTERATIONS, REPRODUCTION, USAGE, INCORPORATION INTO OTHER DOCUMENTS OR ANY MANNER OF THE SAME MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.

REVISIONS

CHECKED:	J.J.
DRAWN:	GMC
DATE:	03/28/2023
PROJECT NO.:	22.128

LAYOUT PLAN

DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN

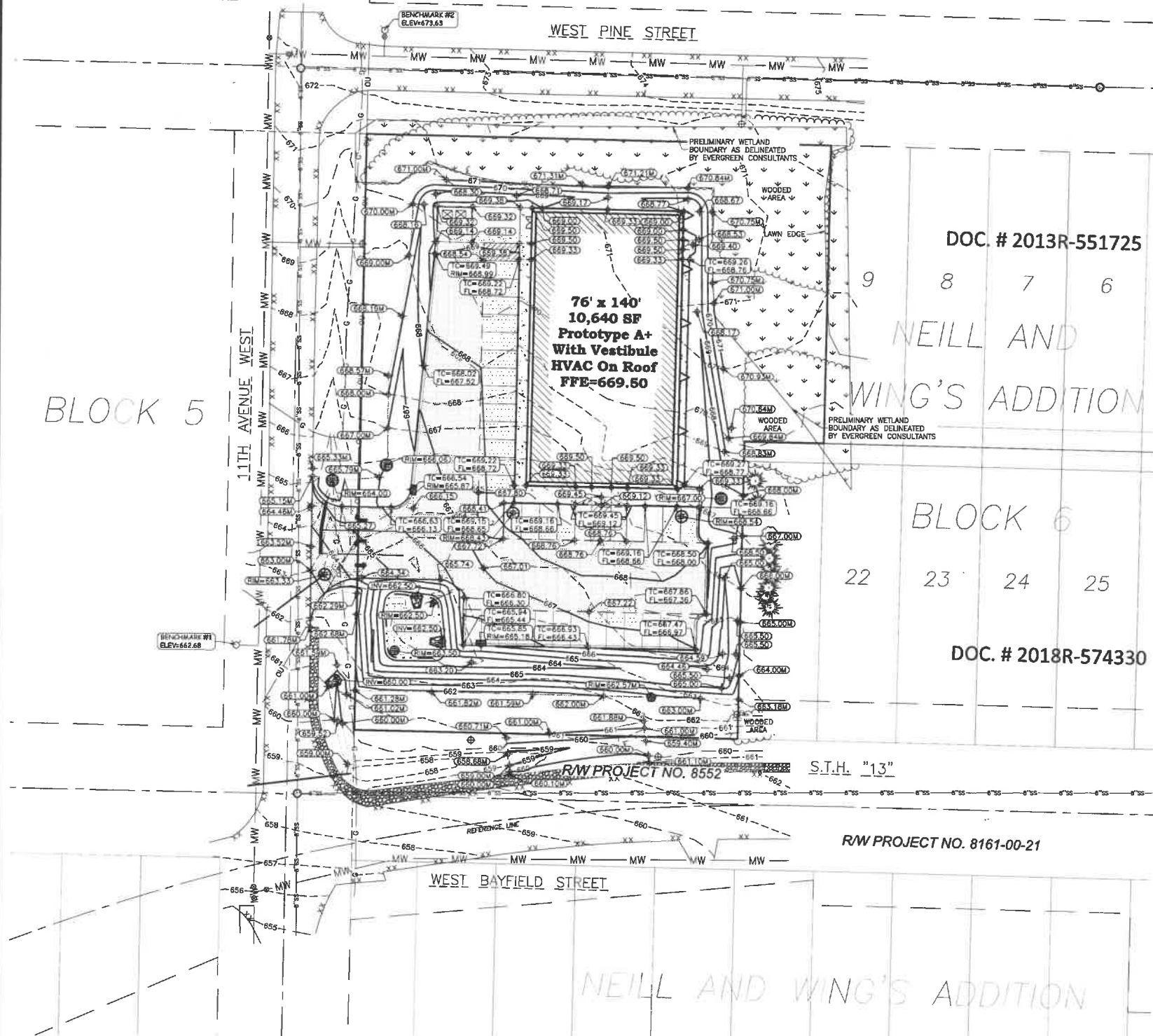
Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9999 (PH) 715.344.9922 (FX)

POB

Point of Beginning

SHEET  
C2.0

# BLOCK 3 NEILL AND WING'S ADDITION



DOC. # 2013R-551725

DOC. # 2018R-574330

## GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 669.50 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT ALL CULVERT OUTFLOW ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- INSTALL WISDOT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

## GRADING LEGEND:

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	692.70
PROPOSED ENDWALL INVERT ELEVATION	IN=692.05
PROPOSED RIM ELEVATION	RI=693.50
PROPOSED TOP OF CURB ELEVATION	TC=693.50
PROPOSED FLOW LINE ELEVATION	FL=693.50
PROPOSED TOP OF WALL ELEVATION	TW=693.50
PROPOSED BOTTOM OF WALL ELEVATION	BW=693.50
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	692.05M
PROPOSED ENDWALL STRUCTURE	1 CB.1
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	1 CB.1
PROPOSED STORM SEWER MANHOLE	2 CB.1
PROPOSED NYLOPLAST DRAIN BASIN	3 CB.1
PROPOSED STORM SEWER CLEANOUT	4 CB.1
PROPOSED STORM SEWER INLET	2 CB.1
PROPOSED STORM SEWER CURB INLET	5 CB.1
PROPOSED SANITARY SEWER CLEANOUT	6 CB.1
PROPOSED ROOF DRAIN DOWNSPOUT	7 CB.1
PROPOSED BIO-INFILTRATION BASIN	8 CB.1

## BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAD83 DATUM.

**BENCHMARK #1**  
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST, APPROXIMATELY 105 FEET NORTH OF THE INTERSECTION OF SAID 11TH AVENUE WEST AND S.T.H. "13"  
ELEVATION = 662.68

**BENCHMARK #2**  
BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 11TH AVENUE WEST AND WEST PINE STREET.  
ELEVATION = 673.63

## UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

CHECKED:	J.T.
DRAWN:	DMC
DATE:	02/28/2023
PROJECT NO.:	22.128

## GRADING PLAN

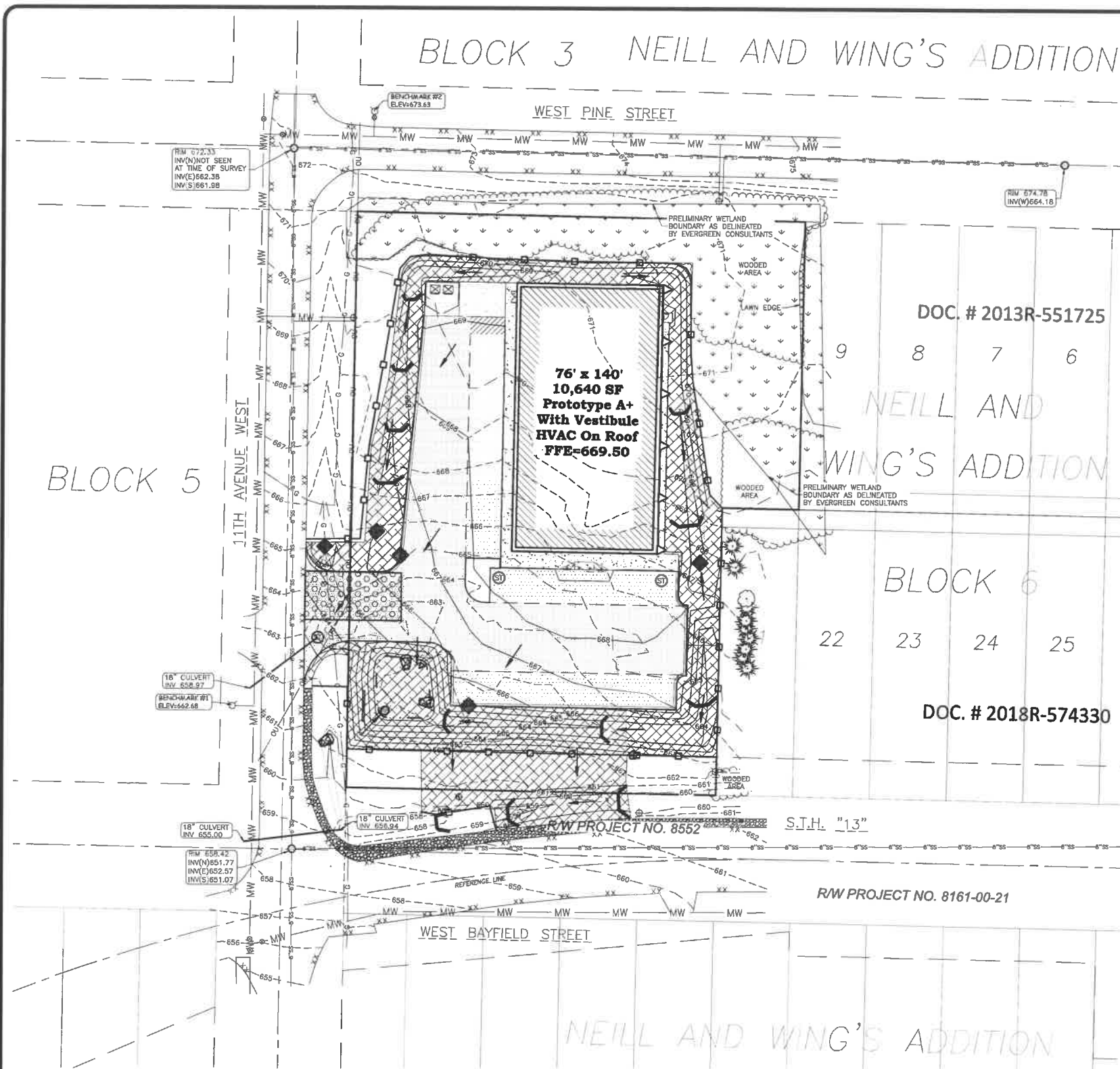
DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Kirschling Court  
Sevens Point, WI 54481  
715.344.9999 (PH) 715.944.9922 (FX)





# BLOCK 3 NEILL AND WING'S ADDITION



DOC. # 2013R-551725

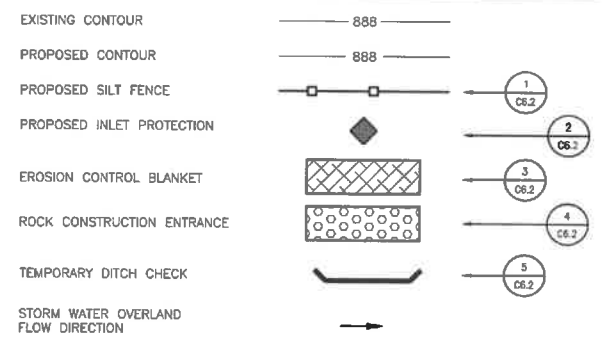
DOC. # 2018R-574330

R/W PROJECT NO. 8161-00-21

## GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT PRACTICABLE.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT ALL CULVERT OUTFLOW ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- INSTALL WisDOT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOWFALL OR GROUND FREEZE.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- SILT FENCE SHALL BE INSTALLED AROUND THE BIO-RETENTION AREA IMMEDIATELY FOLLOWING INSTALLATION OF THE ENGINEERED SOIL TO PROTECT IT FROM SILT CONTAMINATION.
- THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIO-RETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIO-RETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

## EROSION CONTROL LEGEND:



## EROSION CONTROL SEQUENCING:

- INSTALL PERIMETER EROSION CONTROL
- EXCAVATE A TEMPORARY SEDIMENT TRAP AT THE PROPOSED BIO-RETENTION AREA IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1063
  - SEDIMENT TRAP BASIN BOTTOM ELEVATION SHALL BE CONSISTENT WITH THE BOTTOM DESIGN ELEVATION OF THE BIO-RETENTION BASIN. SEE DETAIL.
  - INSTALL STONE OUTLET/OVERFLOW WEIR WHEREVER INDICATED ON PLANS
  - EXCAVATE TEMPORARY SWALES AWAY FROM THE BASIN TO DIRECT AND MAXIMIZE STORMWATER RUNOFF TO THIS BASIN DURING CONSTRUCTION.
- BEGIN DEMOLITION
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- PER GENERAL NOTE #19, THE SEDIMENT TRAP SHALL BE RECONSTRUCTED INTO THE PROPOSED BIO-RETENTION AREA AFTER THE SURROUNDING AREA HAS BEEN FULLY STABILIZED.
  - ANY CONSTRUCTION SITE SEDIMENT BUILD UP SHALL BE REMOVED FROM THE PROPOSED BIO-RETENTION BASIN BEFORE EXCAVATION TO THE FINAL DEPTH AND INSTALLATION OF THE ENGINEERED SOIL.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

### BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1  
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST, APPROXIMATELY 105 FEET NORTH OF THE INTERSECTION OF SAID 11TH AVENUE WEST AND S.T.H. "13"  
ELEVATION = 662.68

BENCHMARK #2  
BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 11TH AVENUE WEST AND WEST PINE STREET.  
ELEVATION = 673.63

### UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT BY AND TO PREPARE, REPRODUCE AND DISTRIBUTE, IN ANY MEDIUM, ANY AND ALL INFORMATION, NOTICES, ORDERS, INCORPORATION INTO OTHER DOCUMENTS OR AMENDMENTS OF THIS PLAN MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.

©2023 POINT OF BEGINNING, INC.



CHECKED:	JUL
DRAWN:	CSM
DATE:	02/28/2023
PROJECT NO.:	23-159

**EROSION CONTROL PLAN**

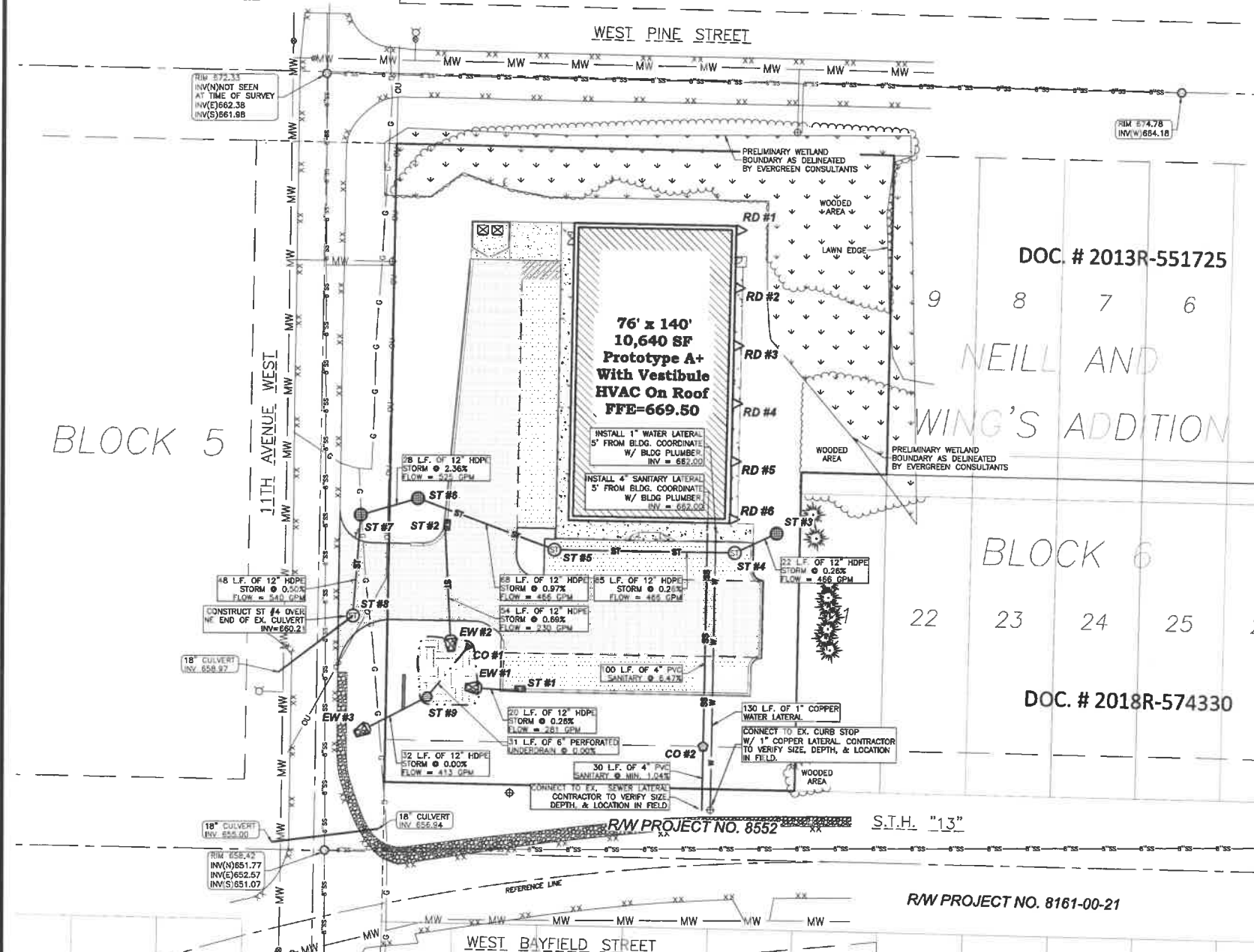
**DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Knochling Court  
Stevens Point, WI 54481  
715.344.9999 (PH) 715.344.9922 (FX)

**POB**  
Point of Beginning

**SHEET C4.0**

# BLOCK 3 NEILL AND WING'S ADDITION



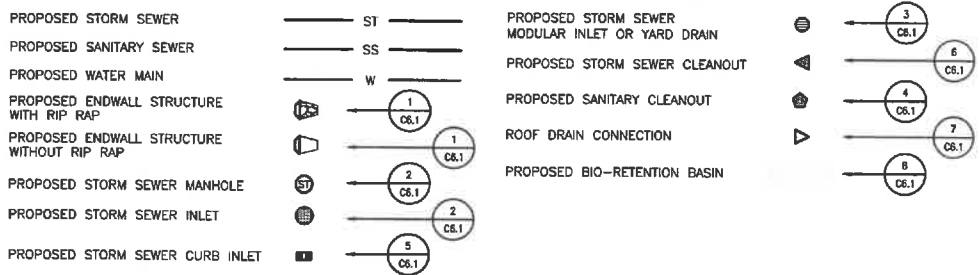
DOC. # 2013R-551725

DOC. # 2018R-574330

## GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED SANITARY SEWER AND WATER LATERALS.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM PROPOSED FINISHED GRADE. SEE SHEET C3.0 FOR PROPOSED FINISHED GRADE.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS.
- THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.
- FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN, AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.
- PROVIDE RIP RAP AT ALL STORM ENDWALLS TO PREVENT WASHOUT AND EROSION.
- INSTALL WisDOT TYPE HR FILTER FABRIC BENEATH PROPOSED RIP RAP.

## UTILITY LEGEND:



## STORM MANHOLE SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
ST #1	RIM = 665.18 INV (W) = 662.55 DEPTH = 2.63' 24"x36" PRECAST STRUCTURE W/ NEENAH R-3067 CASTING W/ TYPE "L" GRATE (DEPRESS CURB 2")
ST #2	RIM = 665.67 INV (S) = 662.87 DEPTH = 3.00' 24"x36" PRECAST STRUCTURE W/ NEENAH R-3067 CASTING W/ TYPE "L" GRATE (DEPRESS CURB 2")
ST #3	RIM = 667.00 INV (SW) = 663.50 DEPTH = 3.50' 36" I.D. PRECAST STRUCTURE W/ NEENAH R-2580-EA CASTING W/ BEEHIVE GRATE
ST #4	RIM = 668.54 INV (NE) = 663.44 INV (W) = 663.44 DEPTH = 5.09' 48" I.D. PRECAST STRUCTURE W/ NEENAH R-1722 CASTING W/ SOLID COVER
ST #5	RIM = 668.43 INV (E) = 663.22 INV (W) = 663.22 DEPTH = 5.20' 48" I.D. PRECAST STRUCTURE W/ NEENAH R-1722 CASTING W/ SOLID COVER
ST #6	RIM = 666.05 INV (E) = 662.56 INV (W) = 662.56 DEPTH = 3.50' CATCH BASIN
ST #7	RIM = 664.00 INV (S) = 661.90 INV (S) = 660.45 DEPTH = 3.55' 48" I.D. PRECAST STRUCTURE W/ NEENAH R-2581 CASTING W/ BEEHIVE GRATE
ST #8	RIM = 663.33 INV (N) = 660.21 INV (SW) = 660.21 DEPTH = 3.12' 48" I.D. PRECAST STRUCTURE W/ NEENAH R-1722 CASTING W/ SOLID COVER
ST #9	RIM = 663.50 INV (NE) = 660.00 INV (SW) = 660.00 DEPTH = 4.00' 18" NYLOPLAST DRAIN BASIN W/ 6" GRATE W/ 6" SUMP

## STORM ENDWALL SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
EW #1	INV (E) = 662.50 12" ENDWALL W/ RIP RAP
EW #2	INV (N) = 662.50 12" ENDWALL W/ RIP RAP
EW #3	INV (NE) = 660.00 12" ENDWALL W/ RIP RAP

## STORM CLEANOUT SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
CO #1	RIM = 662.50 INV (SW) = 660.00

## SANITARY CLEANOUT SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
CO #2	RIM = 662.57 INV (N) = 655.50 INV (S) = 655.50

## ROOF DRAIN SCHEDULE:

ROOF DRAIN DOWNSPOUTS OUTLET TO SURFACE



## BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
BENCHMARK #1  
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST, APPROXIMATELY 105 FEET NORTH OF THE INTERSECTION OF SAID 11TH AVENUE WEST AND S.T.H. "13". ELEVATION = 662.68  
BENCHMARK #2  
BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 11TH AVENUE WEST AND WEST PINE STREET. ELEVATION = 673.63

## UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

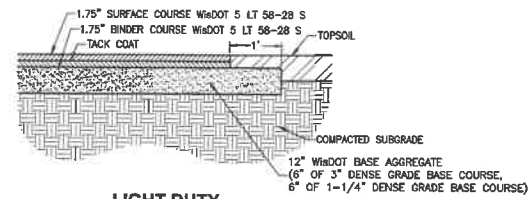
POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT BY AND TO TRADE DRESS, DESIGN AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, USAGE, INCORPORATION INTO OTHER DOCUMENTS OR ANY PART THEREOF IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF POINT OF BEGINNING, INC.  
©2023 POINT OF BEGINNING, INC.

CHECKED:	JUL
DRAWN:	GMC
DATE:	02/28/2023
PROJECT NO.:	22.128

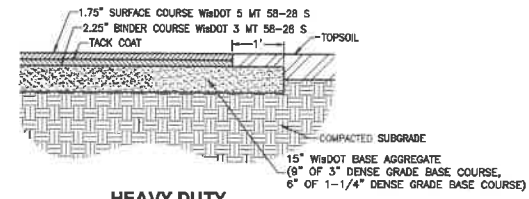
# UTILITY PLAN

DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9999 (PH) 715.344.9922 (FX)



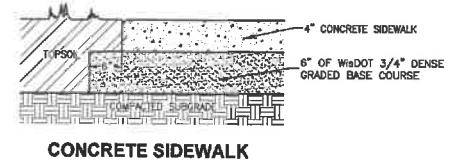
LIGHT DUTY



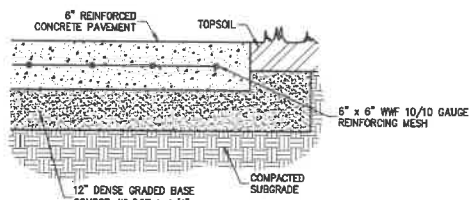
HEAVY DUTY

ASPHALT PAVEMENT

1  
C6.0



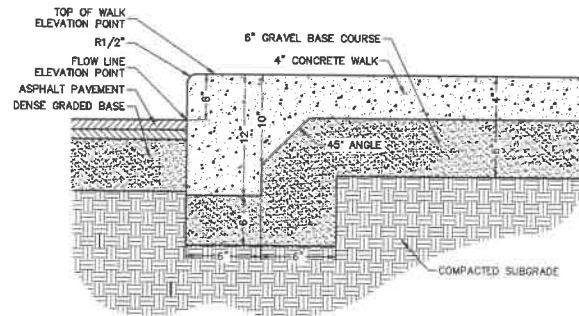
CONCRETE SIDEWALK



REINFORCED CONCRETE

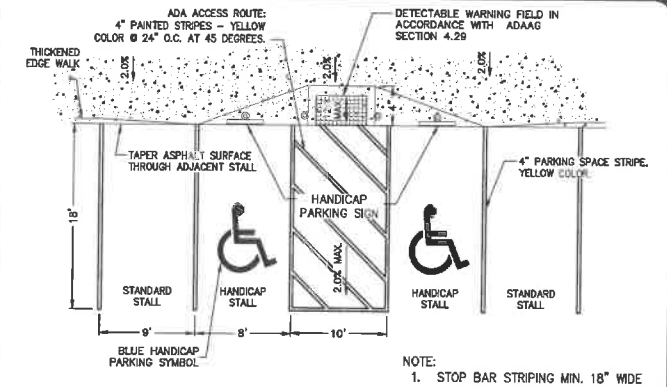
CONCRETE PAVEMENT

2  
C6.0

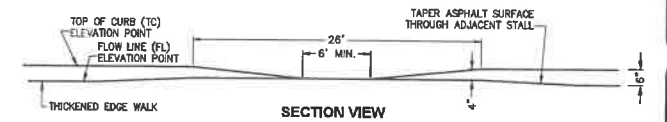


THICKENED EDGE WALK

3  
C6.0

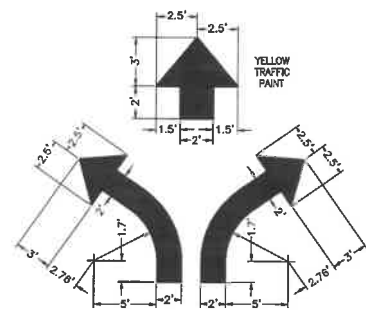


NOTE:  
1. STOP BAR STRIPING MIN. 18" WIDE



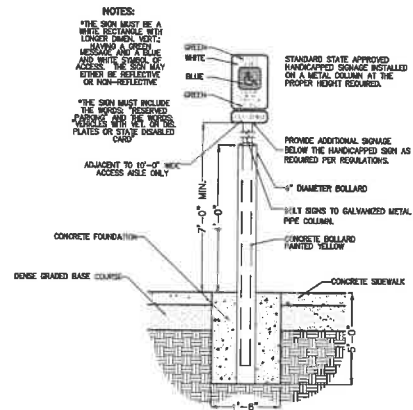
HANDICAP STALL AND STRIPING W/ RAMP

4  
C6.0



DIRECTIONAL ARROWS

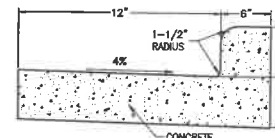
5  
C6.0



NOTE:  
1. CONCRETE BOLLARD MAY BE INSTALLED ALONE WHERE HANDICAP SIGNAGE IS NOT REQUIRED.

HANDICAP PARKING SIGN W/ CONCRETE BOLLARD

6  
C6.0

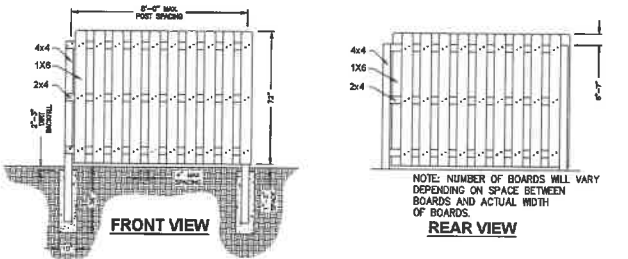
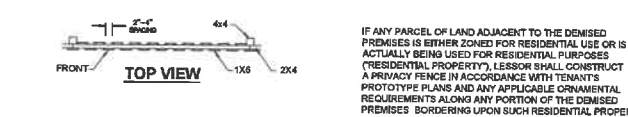


STANDARD GUTTER

18" CONCRETE CURB & GUTTER

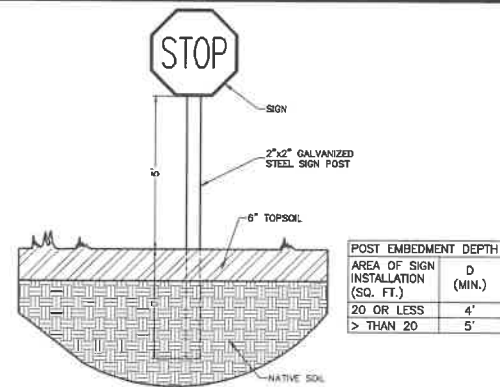
7  
C6.0

STRAIGHT SHADOWBOX PRIVACY FENCING



DUMPSTER ENCLOSURE SHADOWBOX FENCE

8  
C6.0

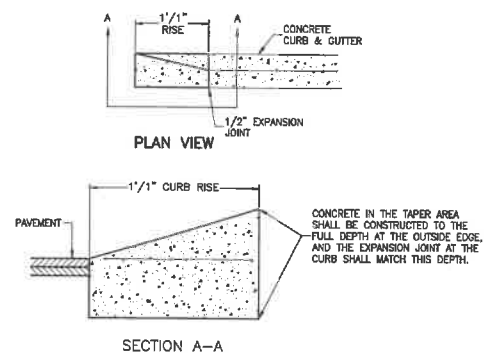


NOTES:  
1. IF APPLICABLE, SIGNS SHALL CONFORM TO MUTCD STANDARDS INCLUDING RETRO REFLECTIVITY STANDARDS.  
2. SIGNS SHALL BE EPOXY.  
3. SIGNS WIDER THAN 4 FEET OR LARGER THAN 20 SQ. FT. SHALL BE MOUNTED ON MULTIPLE POSTS.

POST EMBEDMENT DEPTH	
AREA OF SIGN INSTALLATION (SQ. FT.)	D (MIN.)
20 OR LESS	4'
> THAN 20	5'

TYPICAL SIGN INSTALLATION

9  
C6.0



CURB TAPER

10  
C6.0

REVISIONS

NO.	DATE	DESCRIPTION

CHECKED: JLT  
DRAWN: GMC  
DATE: 02/28/2023  
PROJECT NO.: 22.128

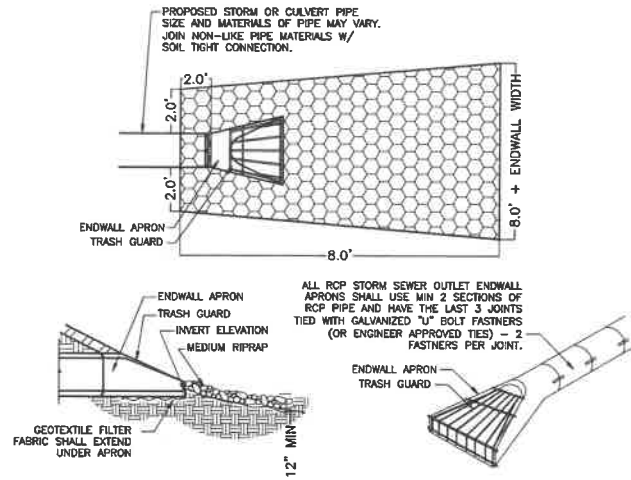
DETAILS

DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Kirshling Court  
Stevens Point, WI 54481  
715.344.9999 (PH) 715.344.9922 (FX)

POB  
Point of Beginning

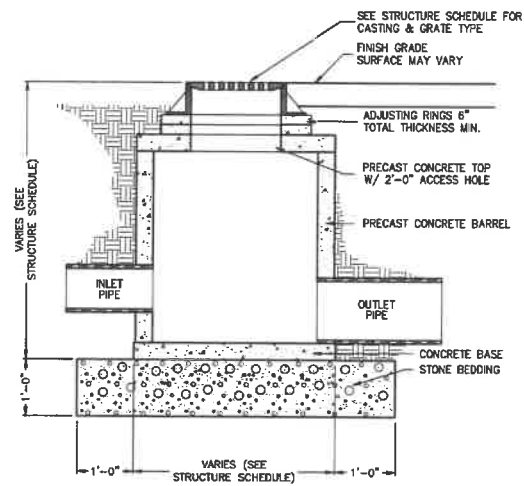
SHEET  
C6.0



- NOTES:
1. ENDWALL APRON SHALL BE PLACED LEVEL WITH THE TOP OF THE STONE.
  2. PLACE FILTER FABRIC BENEATH THE PROPOSED STONE.
  3. ALL ENDWALLS SHALL HAVE A TRASH GUARD

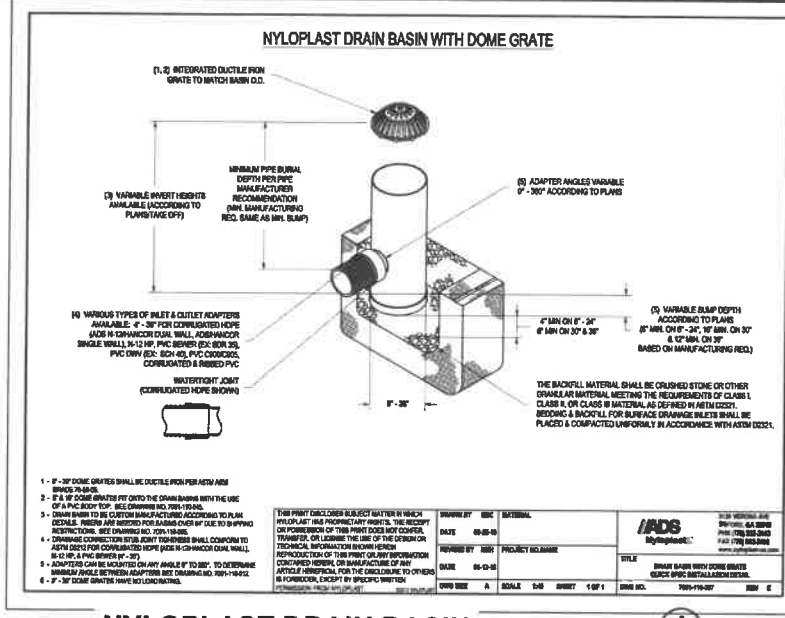
**STORM ENDWALL STRUCTURE**

1  
C6.1



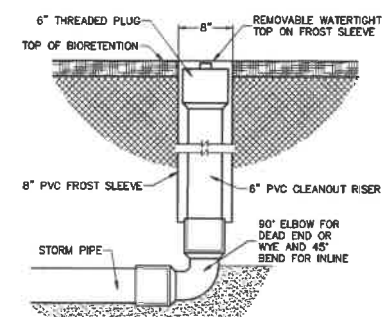
**STORM SEWER MANHOLE**

2  
C6.1



**NYLOPLAST DRAIN BASIN**

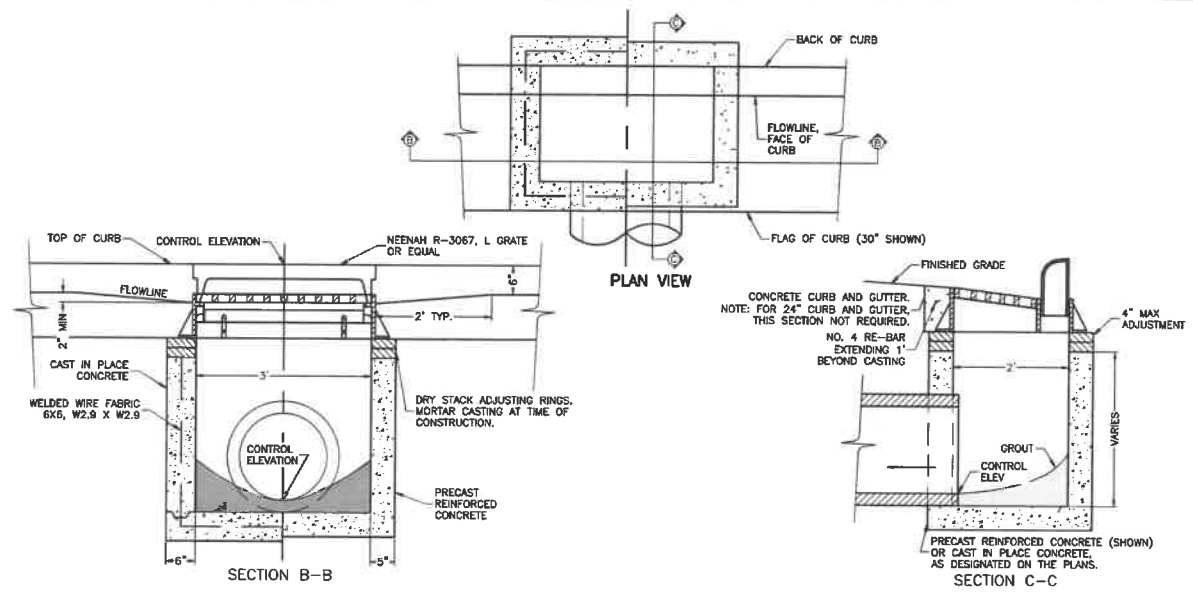
3  
C6.1



- NOTES:
1. INSTALL REMOVABLE WATERTIGHT TOP FLUSH WITH THE FINISH GRADE
  2. SEE THE STORM SEWER PLAN FOR INVERT AND RIM ELEVATIONS.

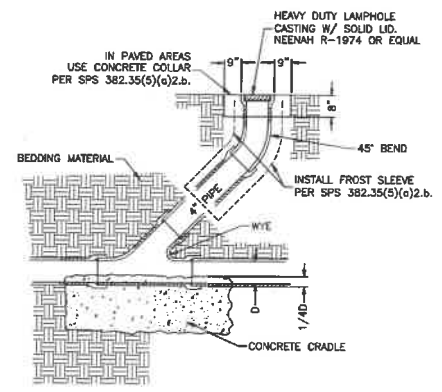
**STORM SEWER CLEANOUT**

4  
C6.1



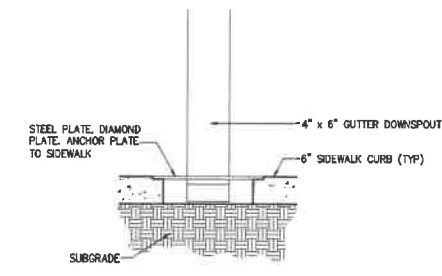
**CURB INLET**

5  
C6.1



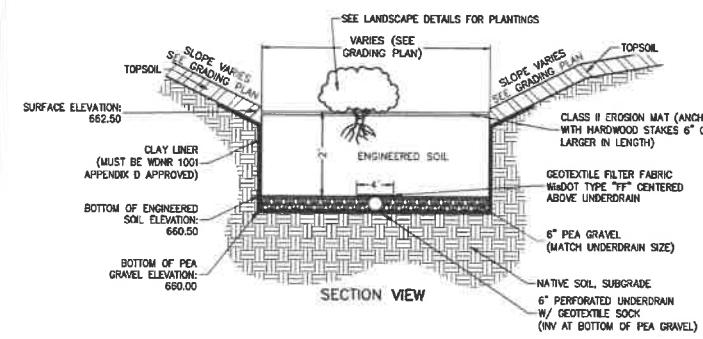
**SANITARY SEWER CLEANOUT**

6  
C6.1



**ROOF DRAIN DOWNSPOUT**

7  
C6.1



**BIO-RETENTION BASIN**

8  
C6.1

- NOTES:
1. INSTALL ENGINEERED MEDIA ONLY AFTER SITE PAVING HAS OCCURRED AND TURF AREAS HAVE BEEN ESTABLISHED WITH VEGETATION.
  2. NO MECHANICAL COMPACTION SHALL BE USED DURING ENGINEERED MEDIA INSTALLATION (INCLUDING EQUIPMENT TRACKING).
  3. ENGINEERED MEDIA SHALL BE INSTALLED IN 6" LIFTS AND SPRINKLER WATERED (TO SIMULATE RAINFALL) AT EACH LIFT TO ACHIEVE SETTLEMENT. ALTERNATIVELY, ENGINEERED MEDIA MAY BE PLACED IN 8 INCH LIFTS WITHOUT WATERING AND FINISHED GRADE PLACED 3 INCHES ABOVE THE PLAN ELEVATION TO ACCOUNT FOR EXPECTED SETTLEMENT DURING INITIAL RAINFALLS.
  4. A TYPE "A" CLAY LINER, CONSISTENT WITH APPENDIX D OF WISCONSIN DNR TECHNICAL STANDARD 1001, SHALL BE INSTALLED TO AN ELEVATION 1' ABOVE THE SURFACE OF THE BIO-RETENTION BASIN.
  5. ENGINEERED MEDIA COMPOSITION—THE SOIL SHALL BE ENGINEERED TO THE FOLLOWING SPECIFICATIONS:
    - 5.A. THE PLANTING MIXTURE SHALL CONSIST OF A MIXTURE OF 70 TO 85% SAND AND 15 TO 30% COMPOST BY VOLUME. SPECIAL ATTENTION SHOULD BE GIVEN TO PLANT SELECTION WHEN THE PERCENTAGE OF SAND EXCEEDS 75%. NOTE: THIS MIXTURE MEETS THE EQUIVALENT LEVEL OF PROTECTION AS DETERMINED BY DNR. THE SAND SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:
      - USDA COARSE SAND (0.075 - .04 INCHES)
      - ASTM C33 (FINE AGGREGATE CONCRETE SAND)
      - WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4. (FINE AGGREGATE CONCRETE SAND) 2005 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY. THE PREFERRED SAND COMPONENT CONSISTS OF MOSTLY SiO<sub>2</sub>, BUT SAND CONSISTING OF DOLOMITE OR CALCIUM CARBONATE MAY ALSO BE USED. MANUFACTURED SAND OR STONE DUST IS NOT ALLOWED. THE SAND SHALL BE WASHED AND DRAINED TO REMOVE CLAY AND SILT PARTICLES PRIOR TO MIXING.
    - 5.B. THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DNR SPECIFICATION S100, COMPOST.
    - 5.C. THE ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER 1 INCH IN DIAMETER. NO OTHER MATERIALS SHALL BE MIXED WITH THE PLANTING SOIL THAT MAY BE HARMFUL TO PLANT GROWTH OR PROVE A HINDRANCE TO PLANTING OR MAINTENANCE.
    - 5.D. THE ENGINEERED SOIL MIX SHALL HAVE A PH BETWEEN 5.5 AND 6.5.
    - 5.E. THE ENGINEERED SOIL MIX SHALL HAVE ADEQUATE NUTRIENT CONTENT TO MEET PLANT GROWTH REQUIREMENTS.

REVISED

CHECKED:	JUL
DRAWN:	GMC
DATE:	02/28/2023
PROJECT NO.:	22.128

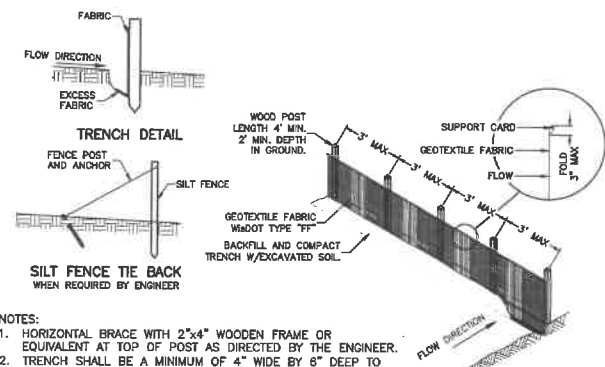
**DETAILS**

**DGI-WASHBURN, LLC  
DOLLAR GENERAL  
CITY OF WASHBURN  
BAYFIELD CO., WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Kitching Court  
Stevens Point, WI 54481  
715.344.9999 (PH) 715.344.9922 (FX)

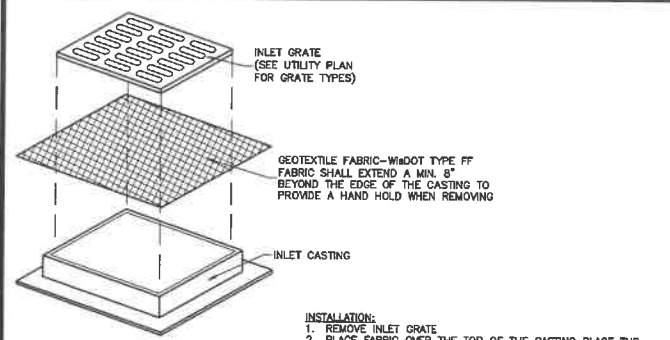
**POB**  
Point of Beginning

POINT OF BEGINNING, INC. RESERVES THE RIGHTS TO COPYRIGHT IN AND TO THESE PROJECT DRAWINGS AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, USAGE, INCORPORATION INTO OTHER DOCUMENTS OR ANY PART THEREOF OF THIS DRAWING MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.  
© 2023 POINT OF BEGINNING, INC.



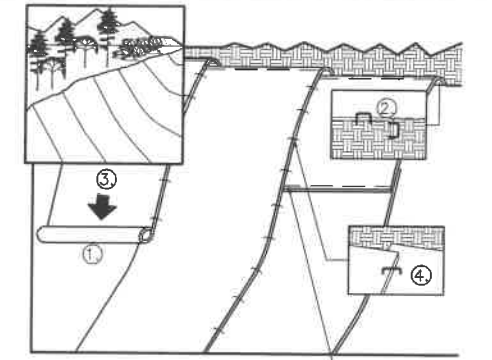
- NOTES:**
- HORIZONTAL BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POST AS DIRECTED BY THE ENGINEER.
  - TRENCH SHALL BE A MINIMUM OF 4" WIDE BY 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL. NEXT, COMPACT THE TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM OF 1-1/8" x 1-1/8" IN SIZE AND BE MADE FROM OAK OR HICKORY.
  - ATTACH THE FABRIC TO THE POST WITH WIRE STAPLES OR WOODEN LATH AND NAILS.
  - WOOD POSTS SHALL MAINTAIN A 3" MAXIMUM SPACING WHEN USING STANDARD GEOTEXTILE FABRIC. WHEN WOVEN GEOTEXTILE FABRIC IS USED, THE WOOD POSTS MAY BE SPACED UP TO 8' APART.

**SILT FENCE** ————— 1 C6.2



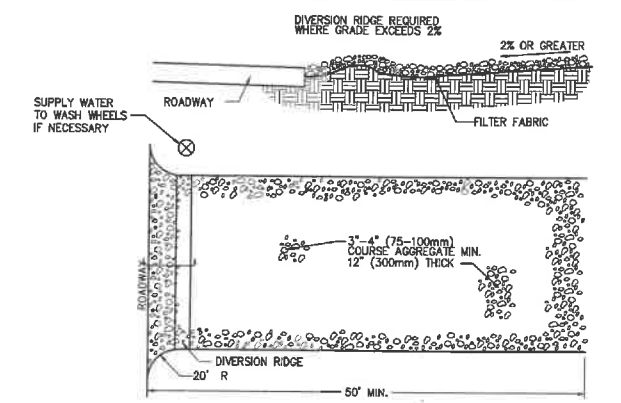
- INSTALLATION:**
- REMOVE INLET GRATE
  - PLACE FABRIC OVER THE TOP OF THE CASTING PLACE THE GRATE BACK IN PLACE KEEPING A MINIMUM OF 8" OF FABRIC EXTENDING ON ALL SIDES.
- MAINTENANCE:**  
 CLEAN AS NEEDED TO MAINTAIN FLOW. DO NOT CUT OR RIP FABRIC TO INCREASE FLOW. USE OF FABRIC WILL CREATE SHORT TERM PONDING OF WATER. DO NOT USE FABRIC INLET PROTECTION IF ADJACENT BUILDINGS OR PROPERTIES MAY BE DAMAGED BY PONDING WATER. ELEVATIONS ON SITE SHALL BE SUCH THAT ANY PONDED WATER WILL HAVE AN EMERGENCY OVERFLOW POINT AWAY FROM AREAS THAT MAY BE DAMAGED BY FLOODING.
- NOTES:**  
 USE ONLY THE FOLLOWING GEOTEXTILE FABRICS THAT ARE APPROVED BY THE W/ DOT FOR USE AS INLET PROTECTION:  
 a) LINO INDUSTRIAL FABRICS - GTF 403  
 b) TO MIRA4 FILTERWEAVE 401.

**INLET PROTECTION** ————— 2 C6.2



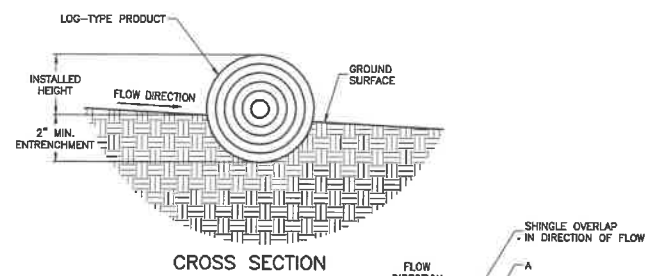
- NOTES:**
- PREPARE SOIL BEFORE INSTALLING MAT, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  - ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA APPROXIMATELY 12" APART.
  - EROSION CONTROL MAT SHALL BE LISTED ON THE CURRENT W/ DOT PRODUCT ACCEPTABILITY LIST (PAL) AS A CLASS I TYPE A EROSION MAT.

**EROSION CONTROL BLANKET** ————— 3 C6.2

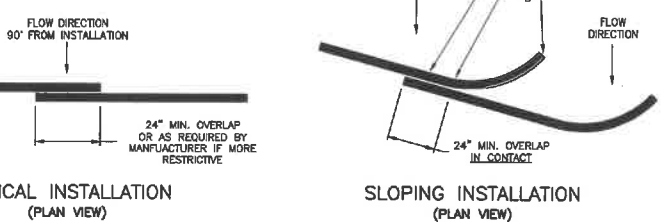


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

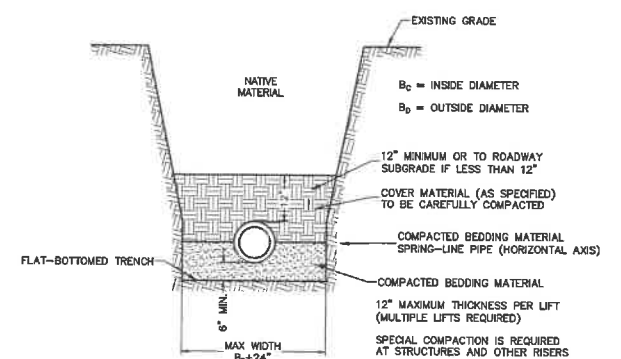
**ROCK CONSTRUCTION ENTRANCE** ————— 4 C6.2



- NOTES:**
- USE WDNR T.S. 1071 "INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS"
  - INSTALLED HEIGHT IS MEASURED FROM THE UPSLOPE GROUND SURFACE TO THE TOP OF THE PRODUCT. DUE TO SETTLEMENT &/OR DEFORMATION, THE INSTALLED HEIGHT MAY NOT BE EQUIVALENT TO THE NOMINAL DIAMETER OF THE PRODUCT.
  - J-HOOKS SHALL BE INSTALLED SO THAT THE GROUND-PRODUCT INTERFACE ELEVATION AT LOCATION "B" IS HIGHER THAN THE TOP OF PRODUCT ELEVATION AT LOCATION A TO CREATE A WEIR AT POINT "A".
  - J-HOOKS SHALL BE INSTALLED EVERY 2 VERTICAL FEET OF DROP ALONG THE LENGTH OF THE INSTALLATION.
  - STAKE OVERLAP AS REQUIRED BY MANUFACTURER.
  - INSPECT DITCH CHECK FOR DEFICIENCIES PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, AND AT 1-WEEK INTERVALS.
  - REMOVE SEDIMENT BEHIND DITCH CHECK BEFORE SEDIMENT LEVEL REACHES THE HALFWAY POINT BETWEEN THE GROUND SURFACE AND TOP OF THE DITCH CHECK.



**TEMPORARY DITCH CHECK** ————— 5 C6.2



**BEDDING & COVER MATERIAL**  
 SCREENED SAND OR BANK RUN GRAVEL MEETING THE FOLLOWING GRADING REQUIREMENTS SHALL BE USED.

SIEVE SIZE	PERCENTAGE PASSING BY WEIGHT
1"	100
2"	85 TO 100
NO. 40	15 TO 35
NO. 200	2 TO 10

**TYPICAL PIPE BEDDING** ————— 6 C6.2

REVISORS

DATE	BY
02/28/2023	GMC

CHECKED: JLT  
 DRAWN: GMC  
 DATE: 02/28/2023  
 PROJ/SET NO.: 22.138

**DETAILS**

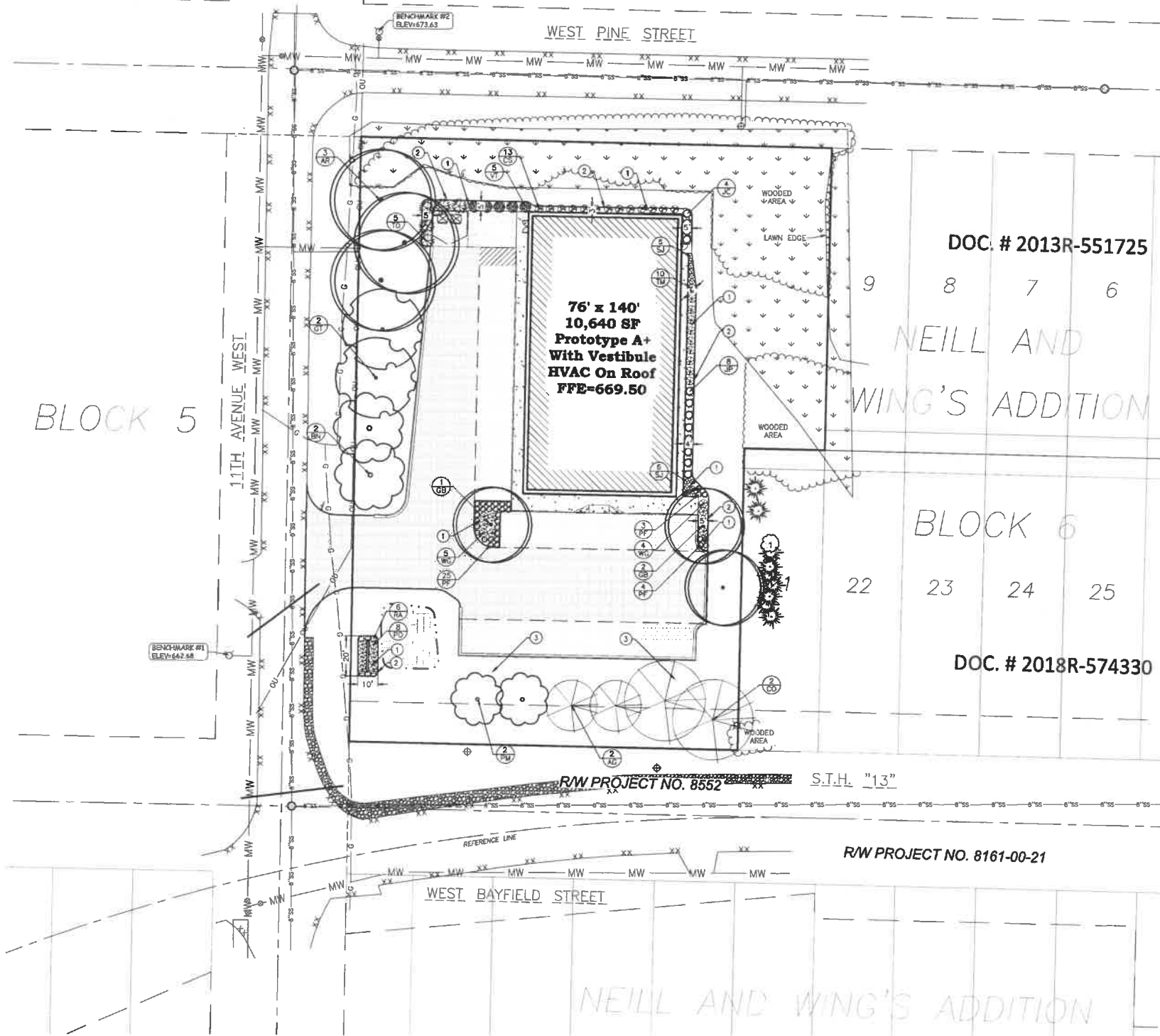
**DGI-WASHBURN, LLC  
 DOLLAR GENERAL  
 CITY OF WASHBURN  
 BAYFIELD CO., WISCONSIN**

Civil Engineering  
 Land Surveying  
 Landscape Architecture  
 4941 Kirschling Court  
 Stevens Point, WI 54481  
 715.344.9999 (PH) 715.344.9922 (FX)



POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT IN AND TO THESE PRINTS, DRAWINGS AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, REPRODUCTION, OR USE IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF POINT OF BEGINNING, INC.  
 ©2023 POINT OF BEGINNING, INC.

BLOCK 3 NEILL AND WING'S ADDITION



DOC. # 2013R-551725

DOC. # 2018R-574330

**BENCHMARK:**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST, APPROXIMATELY 105 FEET NORTH OF INTERSECTION OF SAID 11TH AVENUE WEST AND S.T.H. "13" ELEVATION = 662.65  
 BENCHMARK #2  
 BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 11TH AVENUE WEST AND WEST PINE STREET. ELEVATION = 673.63

**UTILITY DISCLAIMER:**

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITIES LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.



PLANT CLUSTER	SIZE	TOTAL PLUGS
A	PLUG	325
B	PLUG	165
C	PLUG	150
D	PLUG	165

BOTANICAL NAME	COMMON NAME
LIATRIS PYCNOSTACHYA	PRAIRIE BLAZINGSTAR
RUDEBECKIA SUBTOMENTOSA	SWEET BROWN-EYED SUSAN
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER
BAPTISIA ALBA	WHITE FALSE INDIGO

**BIORETENTION AREA PLANTING PLAN**

**LANDSCAPE REQUIREMENTS:**

REQUIREMENT: STREET FRONTAGE (60 pts. per 100'-0" of street frontage) 492 L.F. OF FRONTAGE / 100 = 4.92 x 60 = 296 pts. REQUIRED PROPOSED: 300 pts.
REQUIREMENT: BUILDING FOUNDATION (40 pts. per 100'-0" of building foundation) 432 L.F. OF BUILDING FOUNDATION / 100 = 4.32 x 40 = 173 pts. REQUIRED PROPOSED: 181 pts.
REQUIREMENT: PARKING LOT (120 pts. per 10,000 s.f. of paved area) 11,600 S.F. OF PAVED AREA / 10,000 = 1.16 x 120 = 140 pts. REQUIRED PROPOSED: 149 pts.
REQUIREMENT: LOT INTERIOR (10 pts. per 1,000 s.f. of building floor area) 10,600 S.F. OF BUILDING FLOOR AREA / 1,000 = 10.6 x 10 = 106 pts. REQUIRED PROPOSED: 117 pts.

**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION, EXCEPT AREAS NOTED ON THIS DOCUMENT TO BE SODED.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
- ALL TREES IN THE TURF AREA SHALL HAVE A 5" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
- EDGE-KING LANDSCAPE EDGING OR EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
- 3" OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS.
- FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE OR BARK MULCH.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

**PLANTING SCHEDULE:**

STREET FRONTAGE TREES	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY	VALUE	POINTS
AG	AESCULUS GLABRA	OHIO BUCKEYE	1.25" CAL	30"X25"W	2	15	30
AR	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD MAPLE	1.5" CAL	50"X35"W	3	30	90
BN	BETULA NIGRA	RIVER BIRCH	1.25" CAL	60"X50"W	2	15	30
CO	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE HACKBERRY	1.5" CAL	60"X50"W	2	30	60
GT	GLEDITSIA TRICANTHOS 'INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	1.5" CAL	35"X35"W	2	30	60
PM	PRUNUS MACKII	AMUR CHOKECHERRY	1.25" CAL	25"X20"W	2	15	30
							300
BUILDING FOUNDATION SHRUBS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY	VALUE	POINTS
CS	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	36"	4"X3"W	13	5	65
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18"	4"X6"W	4	5	20
JP	JUNIPERUS X PFITZERIANA 'KALLAYS'	KALLAYS COMPACT PFITZER JUNIPER	12"	3"X5"W	8	3	24
SJ	SPIRAEA JAPONICA 'SMNSJMF'	DOUBLE PLAY RED SPIREA	18"	2-3"XW	12	1	12
TM	TAXUS X MEDIA 'TAUNTONI'	TAUNTON YEW	18"	4"X6"W	10	5	50
VT	VIBURNUM TRILOBUM 'J.N. SELECT'	REDWING VIBURNUM	36"	10"X8"W	2	5	10
							181
PARKING LOT TREES	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY	VALUE	POINTS
GB	GINKGO BILOBA 'AUTUMN GOLD' (MALE)	AUTUMN GOLD MAIDENHAIR TREE	1.5" CAL	40"X30"W	3	30	90
PARKING LOT SHRUBS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY	VALUE	POINTS
PF	POTENTILLA FRUTICOSA 'GOLD STAR'	GOLD STAR POTENTILLA	18"	2"X3"W	32	1	32
WG	WEIGELA FLORIDA 'WINE & ROSES'	WINE & ROSES WEIGELA	24"	4-5"X4-5"W	9	3	27
							149
LOT INTERIOR SHRUBS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY	VALUE	POINTS
PO	PHYSOCARPUS OPUULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	24"	3-4"XW	8	3	24
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	24"	2-3"X6"W	6	3	18
TO	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	MIN. 3' HT.	12"X6"W	5	12	60
VT	VIBURNUM TRILOBUM 'J.N. SELECT'	REDWING VIBURNUM	36"	10"X8"W	3	5	15
							117

**KEYNOTES:**

- LANDSCAPE MULCH--SEE GENERAL NOTES #8, & 9
- LANDSCAPE EDGING, TYP.-- SEE GENERAL NOTE #7
- BIO-INTEGRATION AREA-- TO BE PLANTED WITH PLANT PLUGS CONTAINING NATIVE PLANT SPECIES AT RATE OF 1 PER EVERY 1 SQUARE FOOT. SEE DETAIL 1/L1.0.



CHECKED:	JUL
DRAWN:	GMC
DATE:	02/28/2023
PROJECT NO.:	22.126

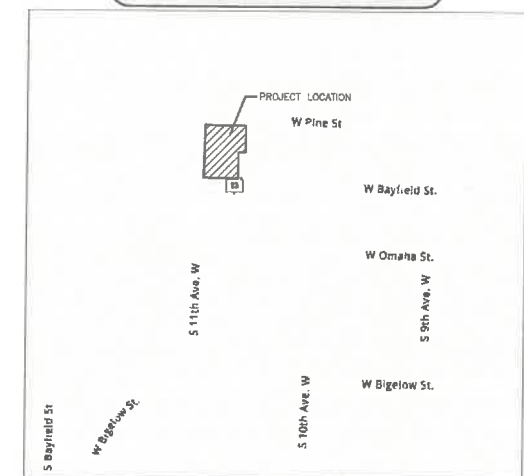
**LANDSCAPE PLAN**

DGI-WASHBURN, LLC  
 DOLLAR GENERAL  
 CITY OF WASHBURN  
 BAYFIELD CO., WISCONSIN

Civil Engineering  
 Land Surveying  
 Landscape Architecture  
 4941 Kirschling Court  
 Stevens Point, WI 54481  
 715.344.9999 (PH) 715.344.9922 (FX)

# ALTA/NSPS LAND TITLE SURVEY

## VICINITY MAP



REV 180318

CHECKED:	JORDAN G. BROST
DATE:	9-28-21
PROJECT NO.:	23.121

## LEGEND

- These standard symbols will be found in the drawing.
- SANITARY SEWER LINE
  - APPROXIMATE SANITARY SEWER LINE PER MAPS FROM OTHERS
  - STORM SEWER LINE
  - OVERHEAD UTILITIES LINE
  - BURIED GAS LINE
  - APPROXIMATE BURIED WATER LINE PER MAPS FROM OTHERS
  - WOOD FENCE LINE (UNLESS NOTED OTHERWISE)
  - EDGE OF BITUMINOUS CONTOUR LINE
  - RIGHT-OF-WAY LINE
  - RIGHT-OF-WAY CENTER LINE
  - SECTION LINE
  - INTERIOR LOT LINE
  - BEARING/DISTANCE TO THE LINE
  - SANITARY SEWER MANHOLE
  - WATER SERVICE
  - WATER VALVE
  - HYDRANT
  - ELECTRIC METER
  - ELECTRIC BOX
  - LIGHT POLE
  - POWER POLE
  - GUY WIRE
  - GAS METER
  - CLEAN OUT
  - TREE
  - PINE TREE
  - GRAVEL AREA
  - WETLAND AREA PROVIDED BY EVERGREEN CONSULTANTS LLC
  - 3/4" O.D. X 16" IRON BAR SET WEIGHING 1.50 LBS/LIN. FT.
  - 1" O.D. IRON PIPE FOUND
  - 1-1/2" O.D. IRON PIPE FOUND
  - 2" O.D. IRON PIPE FOUND
  - 3/4" O.D. IRON BAR FOUND
  - BERNISEN NAIL FOUND
  - 2-1/2" O.D. IRON PIPE WITH BRASS CAP FOUND
  - RECORDED AS

## RECORD LEGAL DESCRIPTION

LOTS TEN (10) THROUGH TWENTY (20), BLOCK SIX (6), NEILL AND WING'S ADDITION TO THE CITY OF WASHBURN, BAYFIELD COUNTY, WISCONSIN, TOGETHER WITH THAT PORTION OF THE VACATED ALLEY ADJACENT TO SAID LOTS IN BLOCK 6.

SUBJECT TO EASEMENT RIGHTS AS SET FORTH IN CONVEYANCE OF LANDS FOR HIGHWAY PURPOSES RECORDED AS DOCUMENT NO. 208763 RECORDED ON OCTOBER 7, 1957, AND DOCUMENT NO. 208954 RECORDED ON OCTOBER 22, 1957.

## SURVEYOR'S CERTIFICATE

TO: DGI-WASHBURN, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 8, 10, 13, 14, 16, 17, 18 AND 20a OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 15, 2022.

JORDAN G. BROST, DATE: \_\_\_\_\_  
PROFESSIONAL LAND SURVEYOR #3009

## CLIENT

DGI-WASHBURN, LLC  
200 E. WASHINGTON ST., SUITE 2A  
APPLETON, WI 54911

## OWNER

C.R. TREASURES, LLC  
29515 WEDAL ROAD  
WASHBURN, WI 54991

## POTENTIAL ENCROACHMENTS

A CLEAN OUT ON THE EAST SIDE OF THE SURVEYED PROPERTY, WITHIN THE RIGHT-OF-WAY, AS SHOWN ON THIS MAP.

## SURVEYOR'S NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTH-SOUTH 1/4 LINE OF SECTION 6, TOWNSHIP 46 NORTH, RANGE 4 WEST WHICH BEARS N 00°42'07" W AS REFERENCED TO THE BAYFIELD CO. CRD. SYSTEM, NAD83 (2011).
- ADDRESS OF PROPERTY: AS PROVIDED BY INSURER: 1047 WEST BAYFIELD STREET, WASHBURN, WI, 54891.
- PROPERTY IS IN FLOOD ZONE DESIGNATION "X" PER FEMA FLOOD INSURANCE RATE MAP NUMBER 85070044D, EFFECTIVE DATE OF DECEMBER 15, 2011.
- WETLANDS SHOWN HEREON WERE PROVIDED BY EVERGREEN CONSULTANTS, LLC.
- AREA OF SUBJECT PROPERTY: 64,074 SQUARE FEET (1.471 ACRES) INCLUDING RIGHT-OF-WAY, 60,212 SQUARE FEET (1.382 ACRES) EXCLUDING RIGHT-OF-WAY.
- INFORMATION FOR CURRENT ZONING CLASSIFICATION AND BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS AS SET FORTH IN THAT CLASSIFICATION HAS NOT BEEN PROVIDED BY INSURER.
- AT THE TIME OF THE SURVEY, THERE WERE NO DIVISION OR PARTY WALLS OBSERVED WITH RESPECT TO ADJOINING PROPERTIES.
- AT THE TIME OF THE ALTA SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK WITHIN RECENT MONTHS, AND NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- AT THE TIME OF THE ALTA SURVEY, THERE WERE NO CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION OR OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.
- AT THE TIME OF THE SURVEY SNOW AND/OR ICE EXISTED OVER THE SUBJECT PROPERTY. POINT OF BEGINNING SHALL NOT BE HELD RESPONSIBLE FOR ANY POSSIBLE ERRORS OR OMISSIONS DUE TO SAID WINTER CONDITIONS.

## SURVEYOR

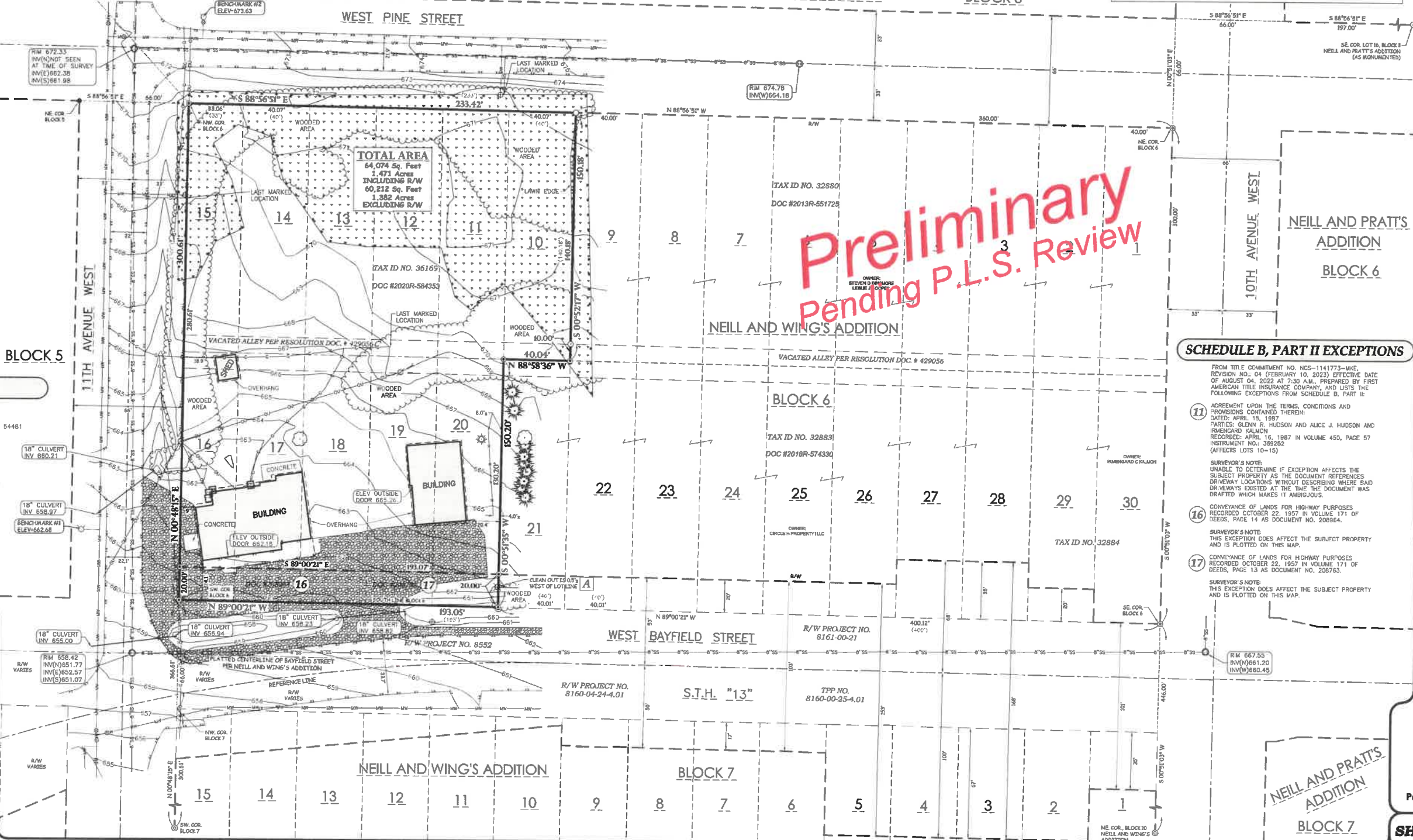
JORDAN G. BROST  
POINT OF BEGINNING INC.  
4941 KIRSCHLING COURT  
STEVENS POINT, WISCONSIN 54481  
OFFICE (715)344-9999  
MOBILE (715)340-1269  
FAX (715)344-9922  
EMAIL: jordanb@pbinc.com

## BENCH MARK

- ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- BENCHMARK #1  
BURY BOLT ON HYDRANT,  
LOCATED ON THE WEST SIDE OF 11TH AVENUE WEST,  
APPROXIMATELY 100 FEET NORTH OF THE INTERSECTION  
OF SAID 11TH AVENUE WEST AND S.T.H. "13"  
ELEVATION = 662.68
  - BENCHMARK #2  
BURY BOLT ON HYDRANT,  
LOCATED AT THE NORTHEAST QUADRANT OF THE  
INTERSECTION OF 11TH AVENUE WEST AND  
WEST PINE STREET  
ELEVATION = 673.63

## UTILITY DISCLAIMER

The locations of all above ground utilities and appurtenances (i.e., manhole covers, valve box covers, hydrants, transformers, etc.), of which one is visually inspected, are shown herein based on actual surveyed locations. The locations of sanitary sewer and storm sewer manholes, of which one is visually inspected, are shown herein based on actual surveyed locations. The locations of electric, gas, and telephone lines, of which one is visually inspected, are shown herein based on actual surveyed locations. The locations of all underground utilities and appurtenances, of which one is visually inspected, are shown herein based on actual surveyed locations. The locations of all underground utilities and appurtenances, of which one is visually inspected, are shown herein based on actual surveyed locations. The locations of all underground utilities and appurtenances, of which one is visually inspected, are shown herein based on actual surveyed locations.



## SCHEDULE B, PART II EXCEPTIONS

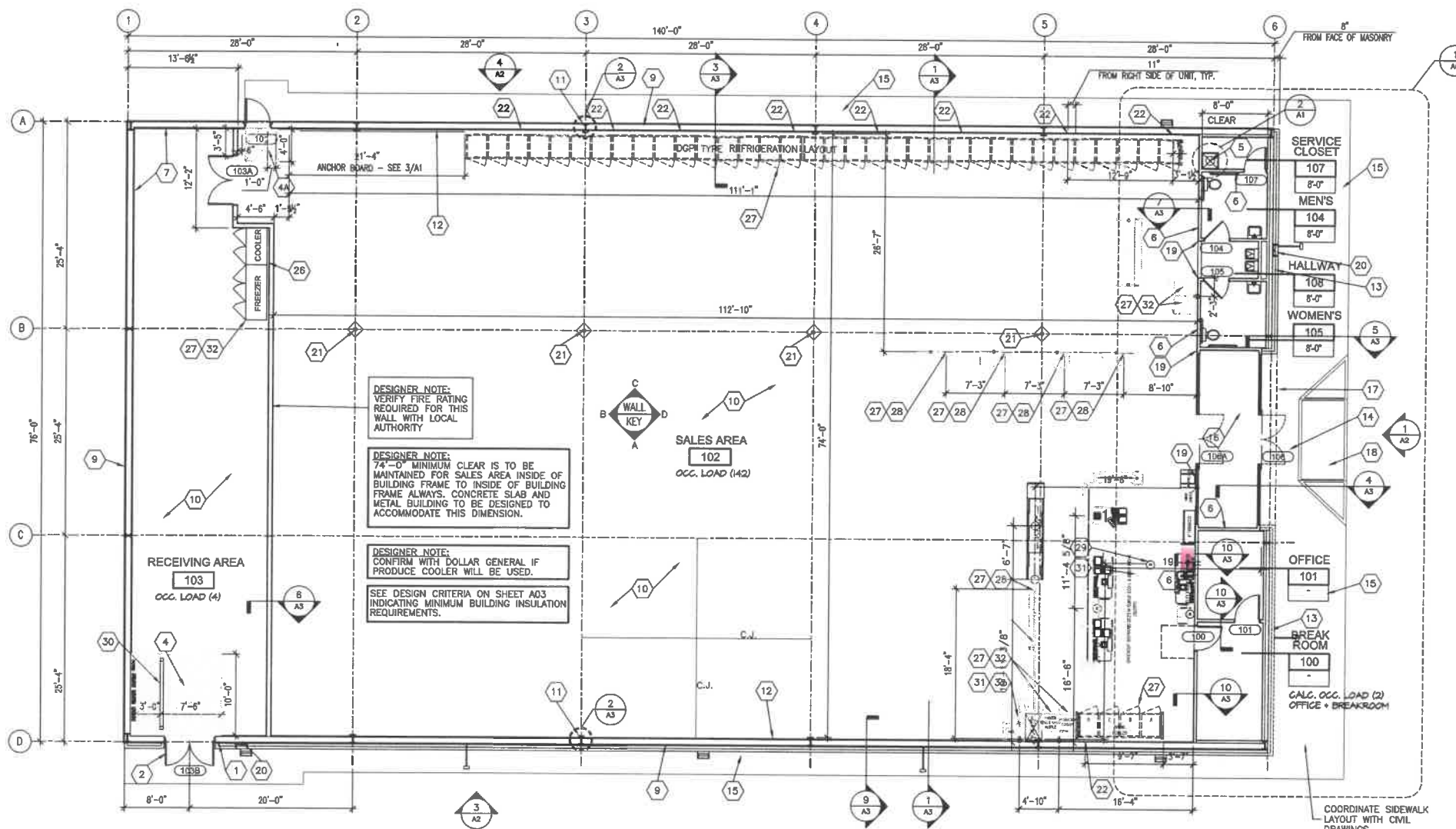
- FROM TITLE COMMITMENT NO. NCS-1141773-MKE, REVISION NO. 04 (FEBRUARY 10, 2023) EFFECTIVE DATE OF AUGUST 04, 2022 AT 7:30 A.M., PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, AND LISTS THE FOLLOWING EXCEPTIONS FROM SCHEDULE B, PART II:
- AGREEMENT UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN:  
DATED: APRIL 15, 1987  
PARTIES: GLENN R. HUDSON AND ALICE J. HUDSON AND ROSEMARIE KALAM  
RECORDED: APRIL 15, 1987 IN VOLUME 450, PAGE 57  
INSTRUMENT NO.: 389252  
(AFFECTS LOTS 10-15)
  - SURVEYOR'S NOTE:  
UNABLE TO DETERMINE IF EXCEPTION AFFECTS THE SUBJECT PROPERTY AS THE DOCUMENT REFERENCES DRIVEWAY LOCATIONS WITHOUT DESCRIBING WHERE SAID DRIVEWAYS EXISTED AT THE TIME THE DOCUMENT WAS DRAFTED WHICH MAKES IT AMBIGUOUS.
  - CONVEYANCE OF LANDS FOR HIGHWAY PURPOSES RECORDED OCTOBER 22, 1957 IN VOLUME 171 OF DEEDS, PAGE 14 AS DOCUMENT NO. 208964.
  - SURVEYOR'S NOTE:  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED ON THIS MAP.
  - CONVEYANCE OF LANDS FOR HIGHWAY PURPOSES RECORDED OCTOBER 22, 1957 IN VOLUME 171 OF DEEDS, PAGE 13 AS DOCUMENT NO. 208763.
  - SURVEYOR'S NOTE:  
THIS EXCEPTION DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED ON THIS MAP.

ALTA/NSPS LAND TITLE SURVEY

DGI-WASHBURN, LLC  
DOLLAR GENERAL SITE  
CITY OF WASHBURN  
BAYFIELD COUNTY, WI

Civil Engineering  
Land Surveying  
Landscape Architecture  
4941 Kirschling Court  
Stevens Point, WI 54481  
7.15.344.9999 (PH) 715.344.9922

Point of Beginning



**FLOOR PLAN KEYED NOTES**

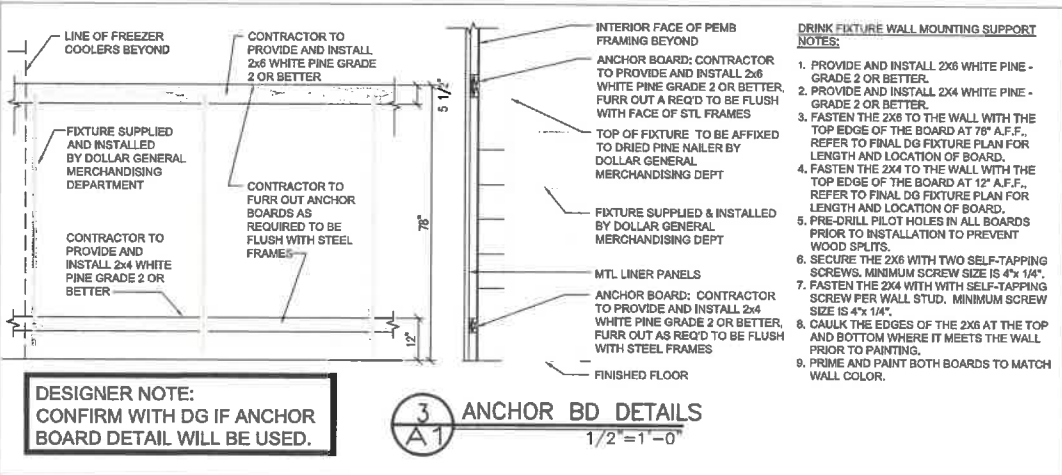
- 1 RECEIVING DOOR BUZZER
- 2 2" DOOR SCOPE.
- 3 NOT USED
- 4 STRIPE FLOOR FOR DESIGNATED CLEAR EGRESS PATH (PAINT YELLOW) AND DESIGNATED EMS PANEL CLEARANCE (PAINT RED).
- 4A STRIPE FLOOR FOR DESIGNATED CLEAR ADA EGRESS PATH (PAINT YELLOW.)
- 5 PROVIDE AND INSTALL A TEN GALLON WATER HEATER (OR LARGER IF REQUIRED BY CODE) ABOVE THE MOP SINK.
- 6 METAL STUD WITH 1/2" GYP. BD. SEE WALL SECTION SHEET A3.
- 7 METAL LINER PANELS TO 8'-0" A.F.F. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
- 8 DIMENSIONS TO BE FROM COLUMN LINE UNLESS OTHERWISE NOTED.
- 9 METAL BUILDING PANELS (BY PRE-ENGINEERED BUILDING MANUFACTURER).
- 10 CONCRETE SLAB WITH STRUCTURAL MIN. 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. PROVIDE CONTROL JOINTS AT 14'-0" ON CENTER EACH WAY MAX. SEE SHEET S3.
- 11 METAL BUILDING FRAME. REFER TO DETAIL 3/A3 FOR ADDITIONAL INFORMATION.
- 12 METAL LINER PANELS (20/20 GAUGE) WITH 1/2" GYPSUM BOARD. SEE INTERIOR ELEVATIONS ON SHEET A4. PROVIDE R-13 METAL BUILDING INSULATION.
- 13 4" SPLIT FACED CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GRIT. PROVIDE PROPER ANCHORAGE TO STRUCTURE.
- 14 SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
- 15 COORDINATE CONCRETE SIDEWALK WITH CIVIL AND BROOM FINISH, TYP.
- 16 BRONZE STOREFRONT SYSTEM. REFER TO SHEETS A4 AND A5 FOR ADDITIONAL INFORMATION. CONTINUE METAL LINER PANELS TO DECK.
- 17 LINE OF SOFFIT OR CANOPY ABOVE.
- 18 A.D.A. COMPLIANT H.C. RAMP WITH PAINTED SIDES TO ACCESSIBLE PARKING STALLS, REFER TO CIVIL.
- 19 MC CUE CART AND BUMPER GUARDS 3'-5" A.F.F., ORDER TRIMKIT FOR THIS PROTOTYPE.
- 20 WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 21 ROUND STEEL PIPE COLUMN WITH RECESSED BASE PLATE-PAINT SECOND CONCRETE POUR SW8991 BLACK MAGIC. PAINT STEEL COLUMN SHT005 PURE WHITE. WRAP COLUMN WITH TIGHT LOOP CARPET (BLACK) 48" HIGH AT BASE.
- 22 WALL OUTLETS FOR BANKS OF COOLERS AND FREEZERS. SEE ELECTRICAL FOR DETAILS. OUTLETS TO BE 11" FROM RIGHT SIDE OF UNITS AS YOU FACE THEM FROM THE SALES FLOOR.
- 23 NOT USED.
- 24 NOT USED.
- 25 NOT USED
- 26 MAINTAIN 2" AIR GAP BETWEEN THE REACH IN COOLER / FREEZER AND THE WALL FOR VENTILATION
- 27 REFRIGERATION BY DOLLAR GENERAL.
- 28 FREESTANDING COOLER/FREEZERS (INCLUDING PRODUCE COOLER AND DISPLAY LIGHTING) TO BE HARDWIRED THROUGH SO CORD. GC TO LEAVE BOTTOM OF CORD HANGING AT 80" A.F.F. (SEE ELECTRICAL). SO CORD ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN.
- 29 POWER POLE. COORDINATE FINAL LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN (FD1).
- 30 MC CUE RAILING IN FRONT OF ELECTRICAL PANEL. 8'-0" LONG WITH TWP TOP RAILINGS AND NO MIDDLE POST.
- 31 NON-REFRIGERATION EQUIPMENT (REGISTERS, HIGI KIOSK, ATM, KEYME) BY DOLLAR GENERAL.
- 32 REFRIGERATION AND NON-REFRIGERATION EQUIPMENT ON WALLS TO BE POWERED THROUGH OUTLETS SEE ELECTRICAL. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN.

**DESIGNER NOTE:**  
VERIFY FIRE RATING REQUIRED FOR THIS WALL WITH LOCAL AUTHORITY

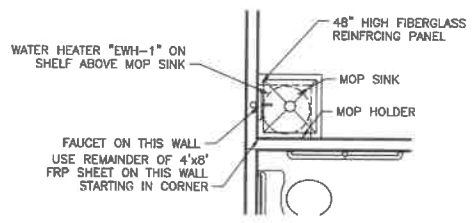
**DESIGNER NOTE:**  
74"-0" MINIMUM CLEAR IS TO BE MAINTAINED FOR SALES AREA INSIDE OF BUILDING FRAME TO INSIDE OF BUILDING FRAME ALWAYS. CONCRETE SLAB AND METAL BUILDING TO BE DESIGNED TO ACCOMMODATE THIS DIMENSION.

**DESIGNER NOTE:**  
CONFIRM WITH DOLLAR GENERAL IF PRODUCE COOLER WILL BE USED.

SEE DESIGN CRITERIA ON SHEET A03 INDICATING MINIMUM BUILDING INSULATION REQUIREMENTS.



**1 FLOOR PLAN**  
1/8" = 1'-0"



**NOTE:**  
METAL BUILDING COLUMNS SHALL BE STRAIGHT.

**NOTE:**  
THE ALLOWABLE CLEAR DISTANCE BEHIND THE SALES FLOOR FIXTURES IS 1-1/2" MAXIMUM TO THE FACE OF DRYWALL. IF IT IS LARGER THAN THIS, PROVIDE HORIZONTAL WOOD FURRING STRIPS, PAINTED WALL COLOR, MOUNTED ON THE DRYWALL AT 78" AFF TO THE TOP OF THE STRIP TO REDUCE THE GAP TO LESS THAN 1-1/2".

**PRELIMINARY - NOT FOR CONSTRUCTION**

REV. NO.	DATE	DESCRIPTION

Architect:  
**Daniel J. Meissner**  
AIA, LLC daniel.meissnerarch@gmail.com  
1230 E. Calumet Street Appleton, WI 54221-4228

Design Consultant:  
**One LLC**  
325 E. KALB AVE.  
GREEN BAY, WISCONSIN  
(820) 880-4060  
office@conceptone.com

PROPOSED NEW RETAIL STORE FOR  
**DOLLAR GENERAL**  
STORE #25335 TYPE "A PLUS"  
CORNER W. BAYFIELD ST. + N. AVE WEST  
CITY OF WASHBURN, BAYFIELD CTY., WI

DATE: 2/21/23  
SHEET: A1  
PROJECT NUMBER: DG-22121

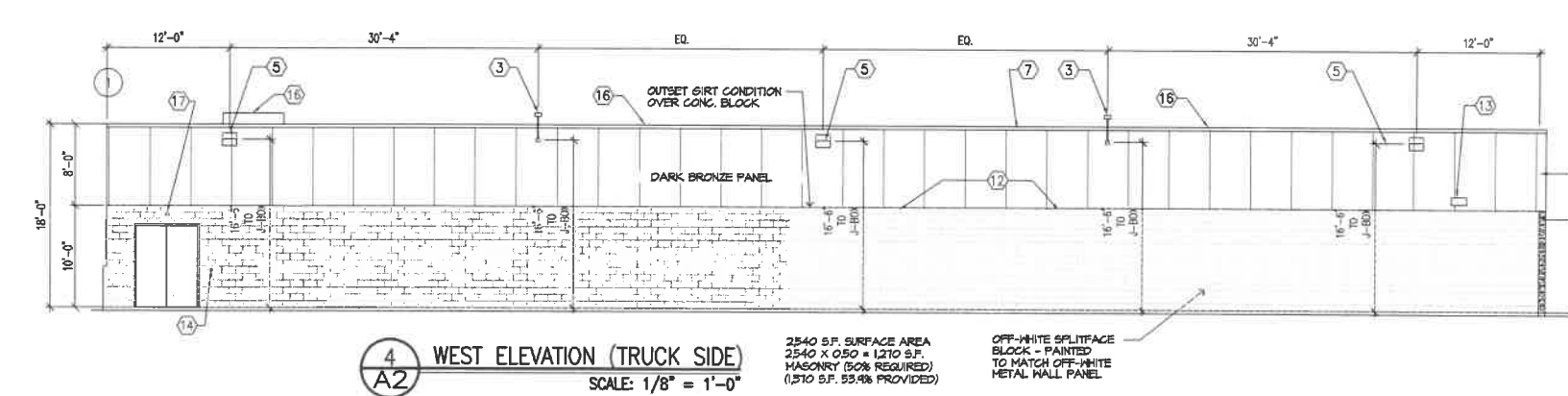
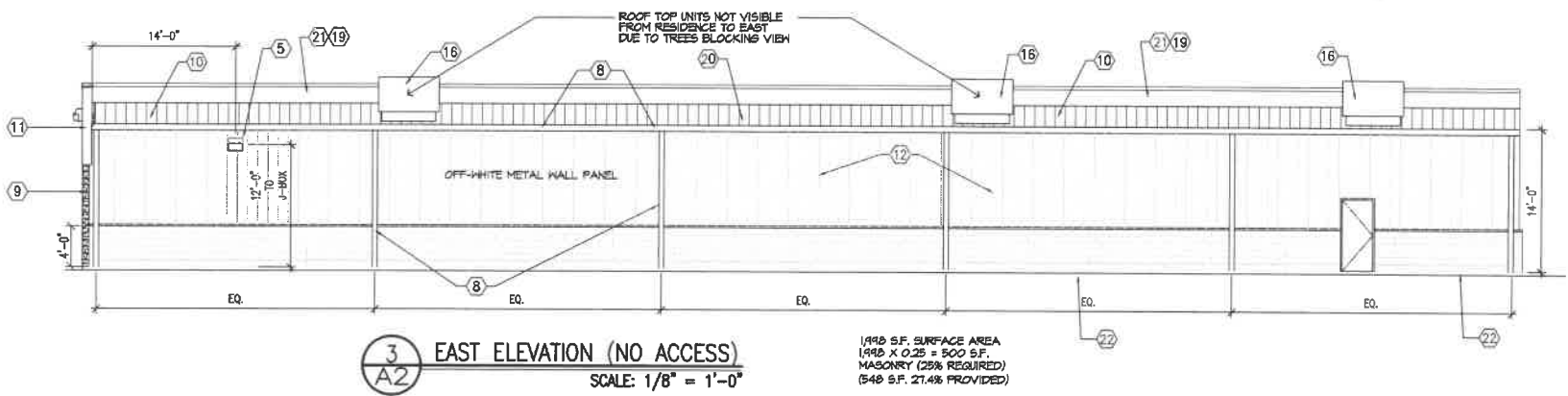
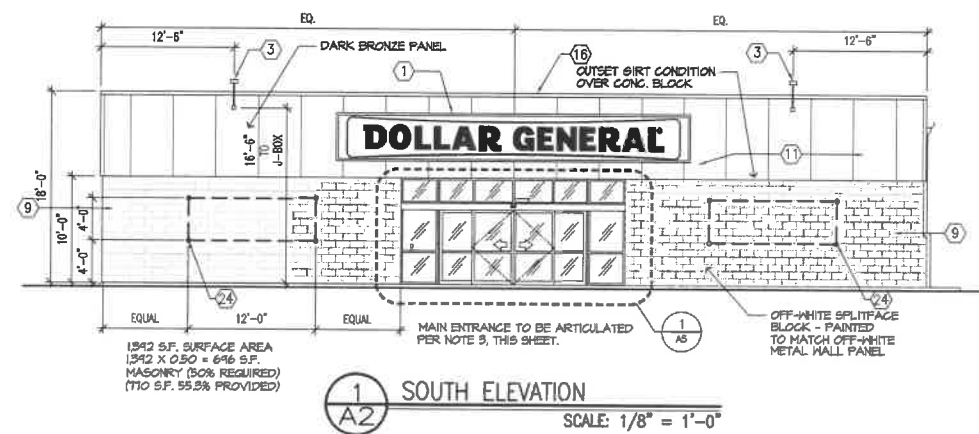
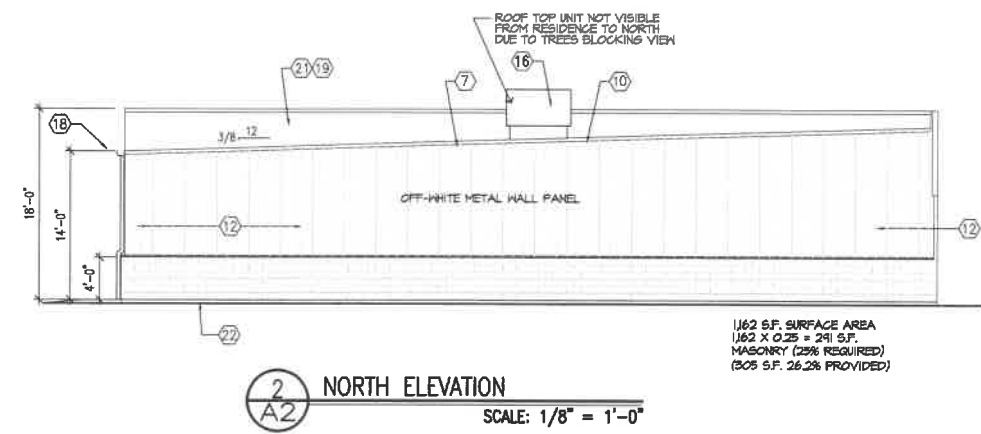


FINISHES

EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SELECTION UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.

GUTTERS: DOWN SPOUTS  
 TRIM AND REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)  
 ARCHITECTURAL BLOCK AT BUILDING FACADE TO BE PRE-FINISHED OR PAINTED (2 COATS - LOKON XP MASONRY COATING A249400 SERIES) TO MATCH THE METAL WALL PANEL  
 FLAT METAL SOFFIT AT STOREFRONT VESTIBULE  
 BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY  
 STOREFRONT SYSTEM  
 STANDING SEAM METAL ROOF PANELS  
 INTERIOR SALES AND RECEIVING FLOOR LINER PANELS

PEMB VENDOR	VP BUILDINGS ATTN: RANDY SPEARS 205-607-8176				STAR BUILDING SYSTEMS ATTN: JEFF HORN 888-654-8899			NUCOR BUILDING SYSTEMS ATTN: BOB BARRY 315-622-4440			BIG BEE STEEL BUILDINGS ATTN: KEVIN BUSLER 800-633-3378			CHIEF BUILDINGS ATTN: ERIN SULLIVAN 800-845-1787			PREFERRED COLORS IF ALTERNATE EXTERIOR MATERIALS ARE USED INSTEAD OF METAL PANELS					
	COOL WHITE	BECK DARK BRONZE	BRONZE	POLAR WHITE	POLAR WHITE	MEDIUM BRONZE	TYNAR 500	BRONZE	POLAR WHITE	DAKALUMINE	DAKALUMINE	DAKALUMINE	BRONZE	POLAR WHITE	DAKALUMINE	FRAMERITE		ANTIQUE BRONZE	BRONZE	POLAR WHITE	DAKALUMINE	BROWN WALLS



ELEVATION KEYED NOTES

- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- NOT USED.
- FLOOD LIGHT. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- WALL PACK. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- TRIM - SEE FINISH SCHEDULE FOR COLOR.
- GUTTER AND DOWNSPOUT - SEE FINISH SCHEDULE FOR COLOR.
- 4" SPLIT FACE CONCRETE MASONRY UNIT.
- STANDING SEAM METAL ROOF.
- PRE-FINISHED METAL WALL PANELS FOR FASCIA AND PARAPET OVER ENTRANCE, REVERSE RIB PROFILE.
- PRE-FINISHED METAL WALL PANELS FOR SIDE AND REAR. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0".
- VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
- DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
- NOT USED.
- HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.
- MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- PARAPET BEYOND.
- IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
- EXTEND PARAPET WALL UP AS NEEDED TO SCREEN ROOF MOUNTED EQUIPMENT IF REQUIRED BY LOCAL ORDINANCE.
- FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
- NOT USED.
- 1/2" DIAMETER X 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. TOTAL OF 8 BOLTS.

RETAIL STORES ARE A PERMITTED USE IN C-1 (COTTAGE COMMERCIAL ZONING). THE ZONING REQUIRES:

- 50% MASONRY / GLASS ON STREET FACING FACADES. 25% OR AT LEAST 25 LIN. FT. BUILDING ON SIDES OTHER (2) SIDES.
- ROOF TOP UNITS SCREENED FROM STREET VIEWS (IF ADJACENT TO RESIDENTIAL USES) (WE ARE REQUESTING OMITTING THIS REQUIREMENT SINCE NEIGHBORING LOTS HAVE TREES BLOCKING VIEWS OF THE ROOFTOP UNITS)
- BECAUSE THE BUILDING FRONT ELEVATION FACES BAYFIELD STREET, THAT ELEVATION NEEDS TO BE ARTICULATED WITH A MIN. 8" DEEP BUMP-OUT AT LONG SIDES OF THE BUILDING BREAKING IT INTO DISTINCT PLANES OF 500 S.F. OR LESS, FILASTERS, ETC. (WE THINK THE SOUTH ELEVATION MEETS THIS REQUIREMENT WITH THE RECESSED ENTRANCE).
- BECAUSE THE PROPERTY IS ON BAYFIELD STREET, THE ENTRANCE MUST BE CLEARLY DEFINED WITH CANOPIES OR INDENTED HALL A MINIMUM OF 8" (OUR BUILDING IS 16"). (WE MEET THIS REQUIREMENT WITH THE RECESSED ENTRANCE).

**TO BE ADDRESSED:**

DO WE NEED PROPERTY OWNER TO SUBMIT OR CO-SIGNER ON APPLICATION THE OWNER OF THE SUBJECT PROPERTY MAY SUBMIT AN APPLICATION FOR ARCHITECTURAL REVIEW.

1-154 REVIEW PROCEDURE

- SUBMITTAL OF APPLICATION MATERIALS. THE APPLICANT SHALL SUBMIT A COMPLETED APPLICATION AND OTHER REQUIRED MATERIALS TO THE ZONING ADMINISTRATOR ALONG WITH THE APPLICATION FEE AS MAY BE ESTABLISHED BY THE COMMON COUNCIL.
- STAFF REVIEW WITHIN 30 CALENDAR DAYS OF SUBMITTAL, THE ZONING ADMINISTRATOR SHALL EITHER PLACE THE MATTER ON THE AGENDA FOR THE MEETING AT WHICH THE MATTER WILL BE CONSIDERED ALLOWING FOR PROPER PUBLIC NOTICE OR MAKE A DETERMINATION THAT THE APPLICATION IS INCOMPLETE...

ARE WE ON THE AGENDA?

(3) MEETINGS ALLOWING FOR PROPER NOTICE THE PLAN COMMISSION SHALL CONSIDER THE APPLICATION AT A REGULAR OR SPECIAL MEETING.

PRELIMINARY - NOT FOR CONSTRUCTION

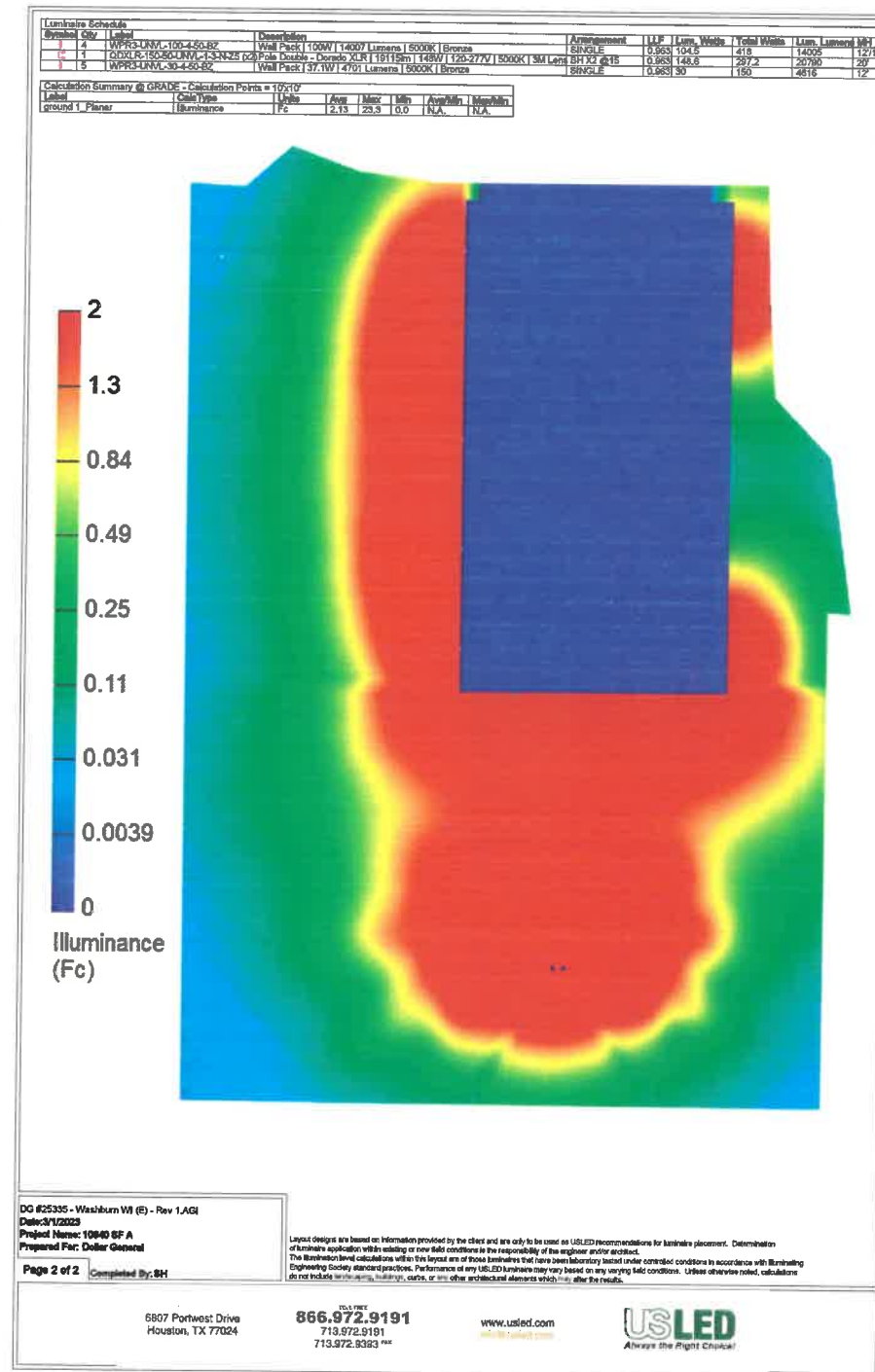
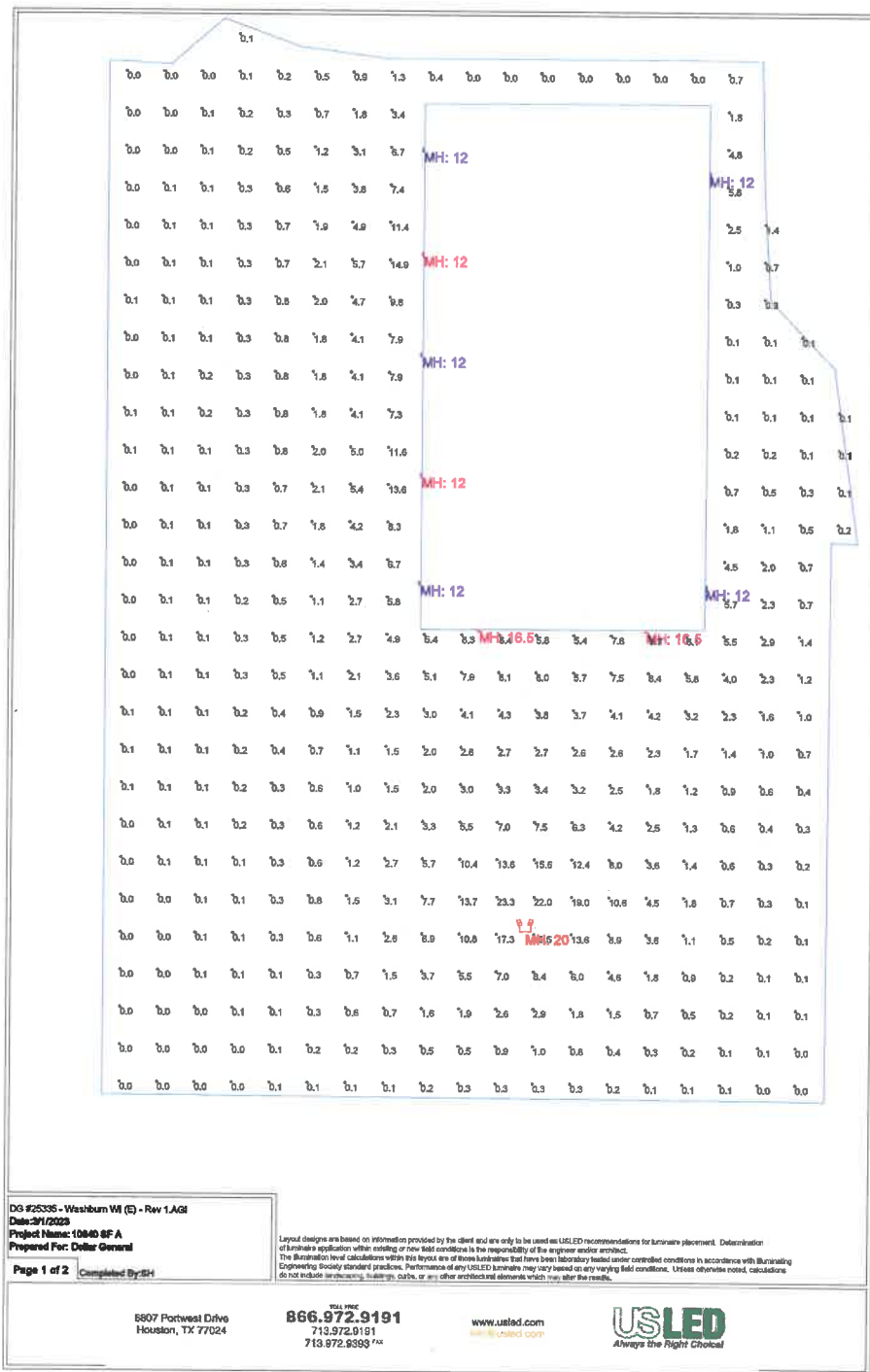
REV. NO.	DATE	DESCRIPTION

Architect:  
**Daniel J. Meissner**  
**AIA, LLC** [danielmeissnerarch@gmail.com](mailto:danielmeissnerarch@gmail.com)  
 1230 E. Calumet Street, Appleton, WI  
 920.428.932

Design Consultant:  
**CONE**  
 325 E. KALB AVE.  
 GREEN BAY, WISCONSIN  
 (920) 860-4660  
[info@conecorp.com](mailto:info@conecorp.com)

PROPOSED NEW RETAIL STORE FOR  
**DOLLAR GENERAL**  
 STORE #25335 TYPE 'A PLUS'  
 CORNER W. BAYFIELD ST. + 11TH AVE WEST  
 CITY OF WASHBURN, BAYFIELD CTY., WI

DATE: 2/21/23  
 SHEET: **A02**  
 PROJECT NUMBER: DG-22121



KEYWORDS

CHECKED: JTL  
 DESIGNED: GMC  
 DATE: 02/28/2023  
 PROJECT NO. 22.138

**PHOTOMETRIC DESIGN**

**DGI-WASHBURN, LLC**  
**DOLLAR GENERAL**  
**CITY OF WASHBURN**  
**BAYFIELD CO., WISCONSIN**

Civil Engineering  
 Land Surveying  
 Landscape Architecture  
 4941 Wirschling Court  
 Stevens Point, WI 54481  
 715.344.9999 (PH) 715.344.9922 (FX)

**POB**  
 Point of Beginning

SHEET

POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT IN AND TO THESE PLANS, DRAWINGS AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, REUSE, DISSEMINATION OR OTHER DOCUMENTS OR INFORMATION OF THIS NATURE MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.  
 © 2023 POINT OF BEGINNING, INC.



# New Build Product Information

*Data and Install Guides*

# QubePAK Regal 3

## Architectural Outdoor LED Wall Pack



### Key Features

- Modern LED replacement for traditional fluorescent or HID fixtures.
- Elegant yet rugged construction effortlessly integrates with existing architecture.
- Adjustable, full-cutoff design with a tilt mechanism that allows for precise aiming.
- Night sky friendly: eliminates light pollution and minimizes glare.
- Industry leading 10-Year warranty.

### Electrical

- 120-277VAC. 0-10V dimming standard. <sup>2</sup>
- System power factor >90% and THD <20%.
- Photocell/motion sensor available.
- Operating temperature: -40°C to +40°C (-40°F to +104°F)

### Mounting

- Luminaire is ready to be surface mounted.

### Construction

- Robust die-cast aluminum housing protects integral components from harsh environments and optimizes thermal management.
- Housing is protected by a corrosion resistant bronze powder coat finish.
- IP65 rated enclosure prevents intrusion from environmental elements that could degrade performance.

### Optics

- Type II or Type IV optical distribution.
- Industry leading LEDs with 3000K, 4000K, and 5000K CCT (minimum 70 CRI).
- Lumen Maintenance: 100,000 hours (L70) <sup>1</sup>

### Warranty

- Backed by US LED's industry leading 10-year warranty.

Project	Date
---------	------

Catalog Number	Type
----------------	------

### Product Performance Summary

Lumen Output	Up to 14,007 lumens
Efficacy	Up to 142 LPW
CRI	≥ 70 CRI
Available CCT	3000K, 4000K & 5000K
Warranty	10-Year Warranty

### Product Overview

The QubePAK Regal 3 LED wall pack is designed to easily integrate into any existing architecture and provide superior illumination. With two optical distributions, the QubePAK Regal 3 provides a complete site-wide solution for commercial exterior applications. Its elegant aesthetics combined with first-class performance make it a popular choice with specifiers and lighting designers.

### Product Applications

- Perimeter Areas
- Building Exteriors
- Security Lighting
- Wall Washing
- Parking Lots
- Educational Facilities
- Business Campuses
- Industrial Facilities
- Mall/Retail Exteriors
- General Lighting

### Product Certifications/Approvals

- UL Listed
- Complies with UL1598 and CSA C22.2
- DLC Premium Listed
- Suitable for Wet Locations
- IP65 Rated Enclosure
- RoHS Compliant



Example: WPR3-UNVL-37W-2-50-BZ

### Ordering Information

Series	Input Voltage	Power	Optics	CCT	Finish
UNVL	120-277V	37 37W <sup>2</sup>	2 Type 2	30 3000K	BZ Bronze
		58 58W	4 Type 4	40 4000K	
		70 70W		50 5000K	
		100 100W			

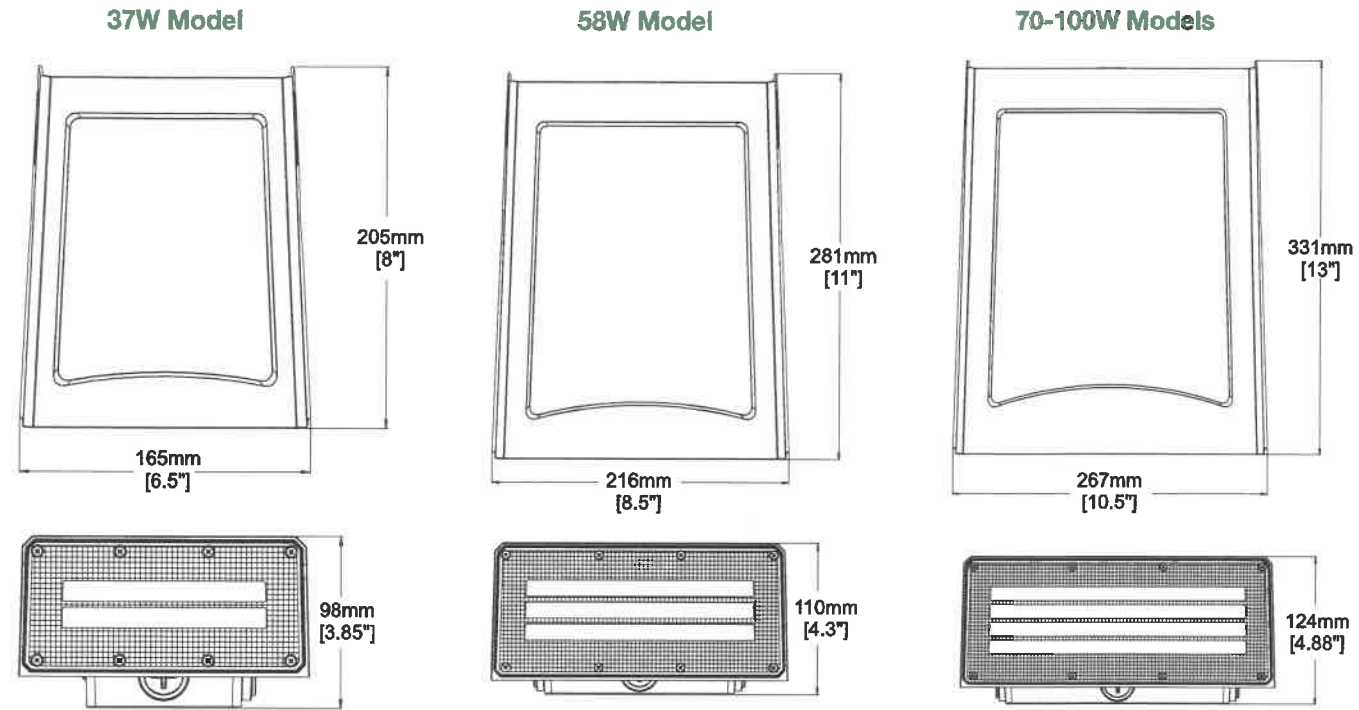
1. US LED product 'Lifetimes' refer only to the LED light engine, not the power source, and are based on the Illuminating Engineering Society's TM21 Projected Lumen Maintenance methodology at a 25° C / 77° F ambient temperature. The lifetimes are solely meant to be a guide for expected LED degradation and not a warranty or predictive of their actual life, which can be affected by ambient temperatures and other factors.  
2. 37W model is non-dimmable.

# QubePAK Regal3

## Architectural Outdoor LED Wall Pack



### Dimensions



Model	Net Weight
37W	2.87 lbs. (1.3kg)

Model	Net Weight
58W	4.63 lbs. (2.1kg)

Model	Net Weight
70-100W	5.95 lbs. (2.7kg)

### Performance Data

Model	Available CCT	System Level Power	Delivered Lumens	Efficacy	L70 Calculate Life
WPR3-UNVL-37-X-XX-BZ	3000K/4000K/5000K	37.1W	4,701 lm	126 LPW	100,000 Hours
WPR3-UNVL-58-X-XX-BZ	3000K/4000K/5000K	58.4W	7,695 lm	132 LPW	100,000 Hours
WPR3-UNVL-70-X-XX-BZ	3000K/4000K/5000K	71.8W	10,201 lm	142 LPW	100,000 Hours
WPR3-UNVL-100-X-XX-BZ	3000K/4000K/5000K	104.5W	14,007 lm	134 LPW	100,000 Hours

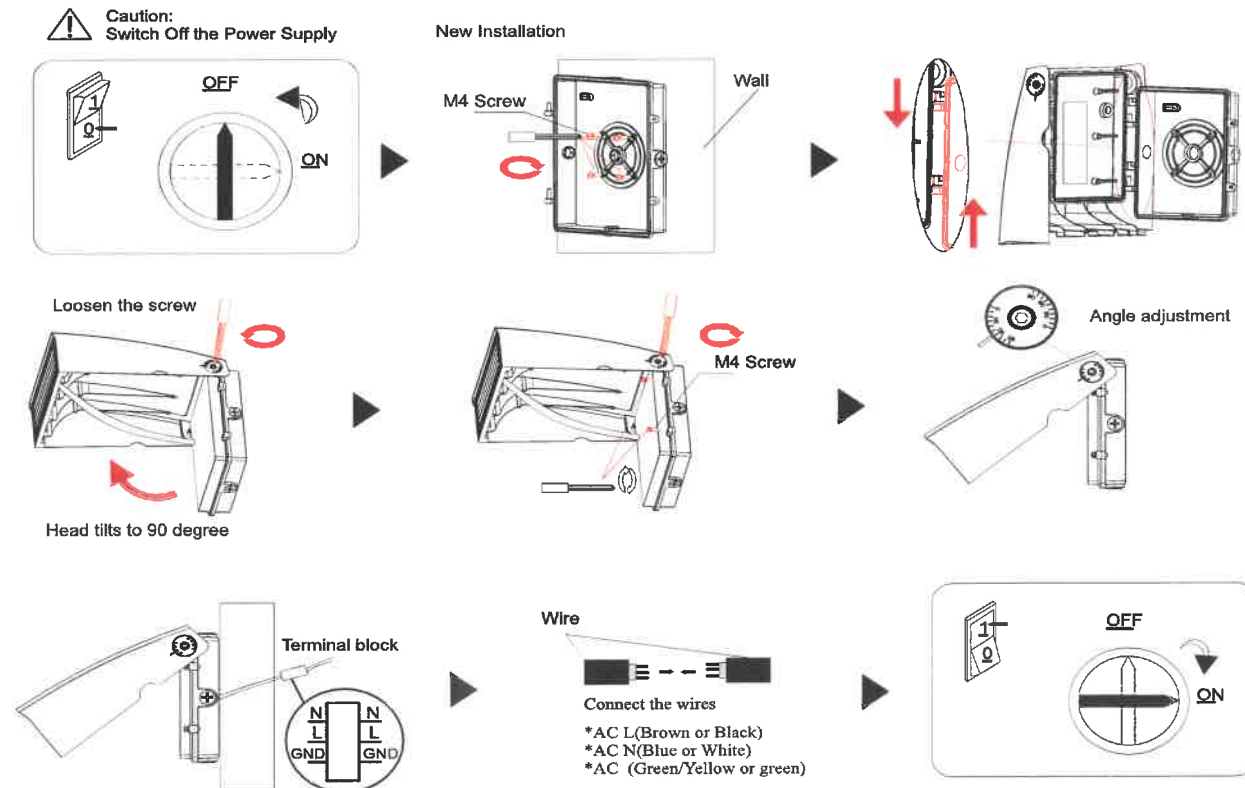
### WARNING



- The installation must only be performed by a licensed electrician.
- To prevent death, injury or damage to property, this product must be installed in accordance to National Electric Code (NFPA70 in the US or Canadian Electrical Code (CSA22.1) in Canada.
- Disconnect power before installing the product or servicing it.
- Wait until fixture has cooled down before installing or servicing the fixture.
- Make sure that the fixture is grounded.
- Modification to the WPR3 fixture voids its warranty and UL Listing.
- Caution - Risk of fire.
- Min. 75°C supply conductor.
- Suitable for wet locations.
- Suitable for operation in ambient not exceeding 50°C.

### INSTALLATION INSTRUCTIONS

1. Verify power is disabled.
2. Remove fixture from carton.
3. Loosen the two captive screws opposite the hinge side.
4. With hinge to the left, open cover approximately 120 degrees and slide cover away, to remove cover from the hinge pins.
5. Feed wires from line power through applicable conduit holes and mount fixture base to wall according to local codes using appropriate mounting hardware. Junction box, conduit, conduit fittings and mounting hardware are not supplied. Use fittings suitable for wet location (Type 4 or 4x). Use UL Listed fittings.
6. Slide cover onto base by aligning hinges.
7. Mate LED module wire connections.
8. Reconnect ground wire.
9. Close cover, use caution not to pinch wires, and secure with two screws opposite the hinge.
10. Adjust angle as appropriate.
11. Energize fixture.



Specifications and dimensions subject to change without notice.

# Dorado XLR

## Outdoor LED Area/Site Luminaire



### Key Features

- Outdoor applications benefit from superior photometric performance and uniformity.
- Low profile design provides a contemporary appearance and is night sky friendly.
- Precision molded optics are sealed to protect against environmental contaminants.
- Easy installation by one person in the field.
- Photocell and motion sensor accessories are available to be installed.

### Electrical

- 120-277V or 347-480V available.
- 0-10V dimming standard.
- 10kV surge protection standard.
- System power factor >90% and THD <20%.
- Operating temperature: -30°C to +40°C (-30°F to +104°F)

### Mounting

- Slip fitter, pole mount, or trunnion mounting options available.

### Construction

- Robust die-cast aluminum housing protects integral components from harsh environments and optimizes thermal management.
- Housing is protected by a corrosion resistant powder coat finish.
- Standard dark bronze finish. Custom colors available by request.
- IP66 rated enclosure prevents intrusion from environmental elements that could degrade performance.

### Optics

- IP67 rated LED light engine prevents dust or moisture from degrading performance.
- Precision molded optics available in Type II, Type III, Type IV, or Type V distributions.
- Industry leading LEDs with 3000K, 4000K, and 5000K CCT (minimum 70 CRI).
- Lumen Maintenance: >60,000 hours (L70)<sup>1</sup>

### Warranty

- Product is backed by US LED's Five-Year Warranty.

Project	Date
---------	------

Catalog Number	Type
----------------	------

### Product Performance Summary

Lumen Output	Up to 20,790 lumens
Efficacy	Up to 140 LPW
CRI	≥ 70 CRI
Available CCT	3000K, 4000K & 5000K
Warranty	Five-Year Warranty

### Product Overview

The Dorado XLR combines outstanding photometric performance and long-lasting quality. It's designed to provide a superior one-to-one solution for replacing existing legacy lighting technology. With multiple mounting options available, the Dorado XLR can get the light exactly where you need it in any outdoor application.

### Product Applications

- Auto Dealerships
- Parking Lots
- Educational Facilities
- Business Campuses
- Recreational Areas
- Mall/Retail Areas
- Commercial Exteriors
- Industrial Facilities
- Security Areas
- Site Pathway Areas

### Product Certifications

- ETL Listed for US & Canada
- Complies with UL1598 and CSA C22.2
- Suitable for Wet Locations
- IP66 Rated Enclosure
- RoHS Compliant



Example: QDXLR-150-50-UNVL-1-3-N-Z5

### Ordering Information

Series	Model	CCT	Input Voltage	Finish	Optics	Photocell	Mounting	Accessories								
QDXLR	150	150W	30	3000K	UNVL	120-277V	1	Bronze <sup>2</sup>	2	Type 2	N	No Photocell	DAM-A	Adjustable For Square Pole and Round Pole - 4" Nominal	BLS	Back Light Shield
			40	4000K	UNVH	347-480V			3	Type 3	PC	Photocell			HSS	House Side Shield
			50	5000K					4	Type 4					MS	Motion Sensor
									5	Type 5			SLI	Slip Fitter		
													TRU	Trunnion		
													SHA	For 2 3/8" Round Tenon		

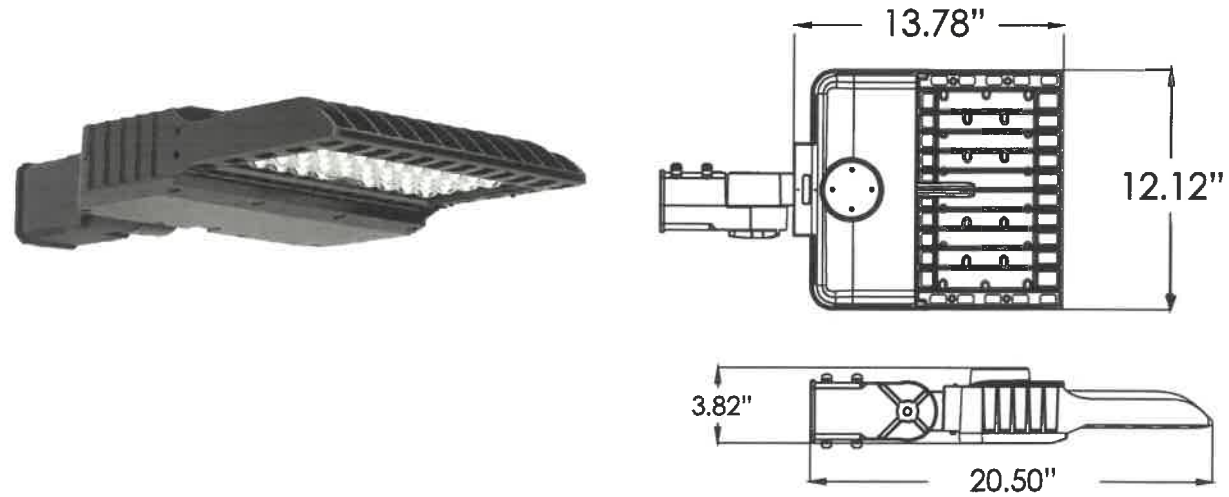
1. US LED product "lifetimes" refer only to the LED light engine, not the power source, and are based on the Illuminating Engineering Society's TM21 Reported Lumen Maintenance methodology at a 25° C / 77° F ambient temperature. The lifetimes are solely meant to be a guide for expected LED degradation and not a warranty or predictive of their actual life, which can be affected by ambient temperatures and other factors.  
2. Custom colors available upon request.

# Dorado XLR

## Outdoor LED Area/Site Luminaire



### Dimensions



Net Weight	EPA Rating
10.46 lbs.	0.36

EPA (FT. <sup>2</sup> )	Configuration	Weight (lbs.)
0.36	1	11.46
0.72	2@180	22.92
0.62	2@90	22.92
0.98	3@90	34.38
0.87	3@120	34.38
0.98	4@90	45.84



# Dorado XLR

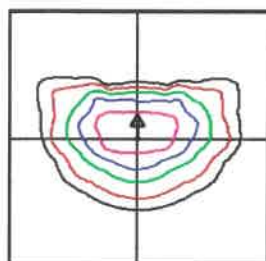
## Outdoor LED Area/Site Luminaire



### Optical Distributions

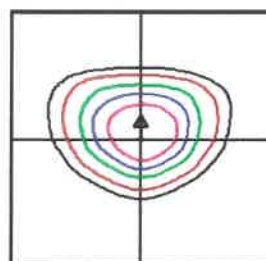
All photometric testing performed to IESNA LM-79 standards by a NVLAP® accredited testing facility. ISO footcandle plots below demonstrate examples of the general distribution patterns based on a 25' mounting height. Please visit [www.usled.com](http://www.usled.com) for complete specifications, IES files, and detailed photometric data.

**Type II Distribution**



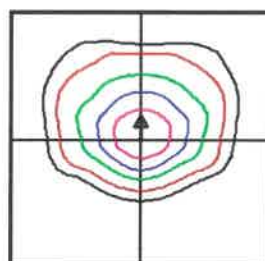
Type II distribution forms a wide, lateral asymmetric pattern typically used for applications needing narrow lighting. Examples might include car lot front rows, walkways, side streets, jogging paths, and entrances from the roadway.

**Type III Distribution**



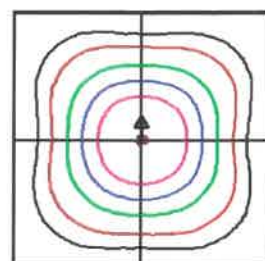
Type III distribution projects light evenly and equally forward on both sides in an "asymmetric" pattern. Commonly used in parking lots, wider roadways, and other applications where a larger area of lighting is required.

**Type IV Distribution**



Type IV distribution is intended to maximize the amount of light going forward in a longer "semicircular" pattern. This optic is used around the perimeters of parking lots where there is no desire for wasted light behind the pole. It's also used for sport applications and parking areas on the sides of buildings.

**Type V Distribution**



Type V distribution forms a symmetrical round or square pattern that allows the light to have the same intensity at all angles. Primarily used in parking lot interiors, crossroads, and roadway centers. It is also meant for large commercial parking lots where evenly distributed lighting is necessary.

### Performance Data

Model	CCT	System Level Power	Delivered Lumens	Efficacy	L70 Calculate Life
<b>150W</b>	3000K	148.6 W	18,570 Lm	125 LPW	>60,000 Hours
	4000K	148.6 W	19,680 Lm	132 LPW	>60,000 Hours
	5000K	148.6 W	20,790 Lm	140 LPW	>60,000 Hours

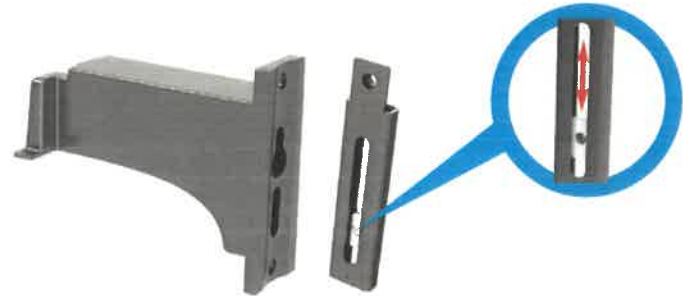
# Dorado XLR

Outdoor LED Area/Site Luminaire

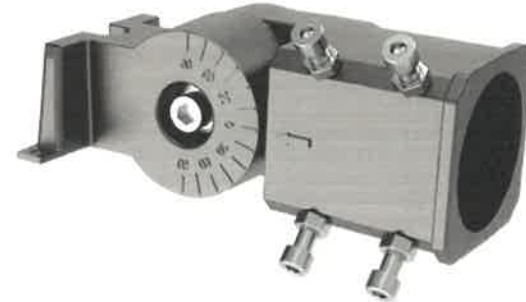


## Mounting Options

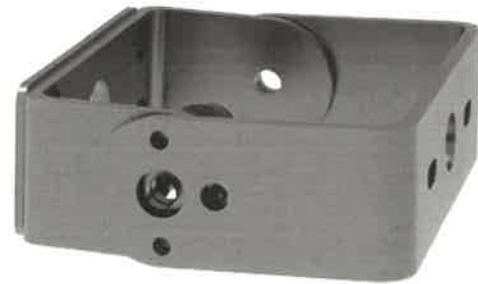
**DAM-A | Mount for Square Pole & Round Pole - 4" Nominal**



**SLI | Adjustable Slip Fitter Mount**



**TRU | Trunnion Mount**



**SHA | Mount For 2 3/8" Round Tenon**



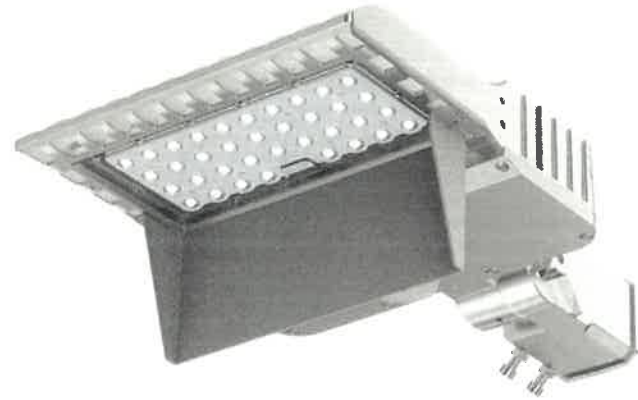
# Dorado XLR

Outdoor LED Area/Site Luminaire

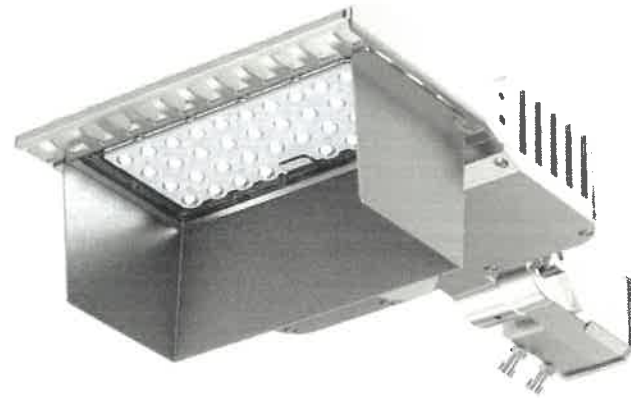


## Accessories

**BLS | Back Light Shield**

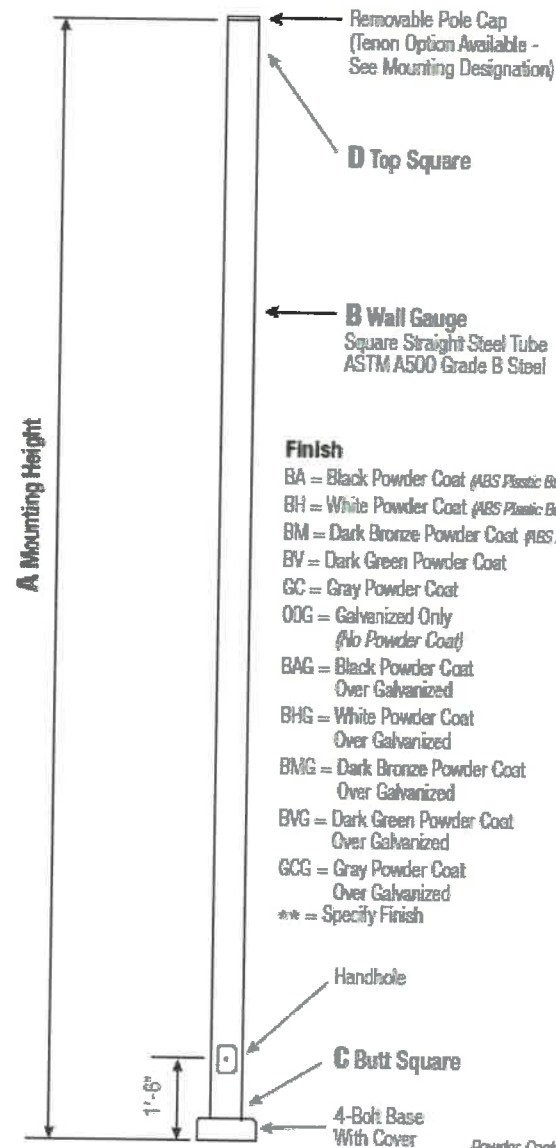


**HSS | House Side Shield**



# SSS

## Square Straight Steel Pole No Arm — 4-Bolt Base



### Finish

- BA = Black Powder Coat (ABS Plastic Base Cover)
- BH = White Powder Coat (ABS Plastic Base Cover)
- BM = Dark Bronze Powder Coat (ABS Plastic Base Cover)
- BV = Dark Green Powder Coat
- GC = Gray Powder Coat
- 00G = Galvanized Only (No Powder Coat)
- BAG = Black Powder Coat Over Galvanized
- BHG = White Powder Coat Over Galvanized
- BMG = Dark Bronze Powder Coat Over Galvanized
- BVG = Dark Green Powder Coat Over Galvanized
- GCG = Gray Powder Coat Over Galvanized
- \*\* = Specify Finish

**WARNING:**  
Do not install light pole without luminaire.

Powder Coated, Galvanized or Powder Coated over Galvanized Finish Per Customer Specification.

A Wt. Ht.	B Wall Gauge	C Butt Square	Top Lum. Wt.	Maximum EPA						Catalog Number
			90	100	110	120	130	140		
20	11	4	85	10.0	7.2	6.4	4.7	3.3	2.2	SSS20B4-4-***

C Butt Sq.	D Top Sq.	F Butt Dia. Dia.	G Base Sq.	H Butt Pkgs.	I Butt Size
4	4	8 - 9	8	3.75	.75 x 17 x 3

Dimensions in inches

CUSTOMER NAME: \_\_\_\_\_

PROJECT: \_\_\_\_\_ LOCATION: \_\_\_\_\_

NOTES: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

### SSS20B4-4

CATALOG NUMBER

FINISH

#### Pole

Pole shaft shall be weather-grade, cold-rolled, 11 gauge commercial quality carbon steel tubing conforming to ASTM A500 Grade B. All welds shall conform to AWS D1.2 using ERTOS-6 electrodes.

#### Base Style

4-Bolt Steel Plate Base Flange of fabricated hot rolled carbon steel conforming to ASTM A36 or equivalent (36 ksi minimum yield) with 2-piece Base Cover and attaching hardware. Base Cover will be fabricated from ABS plastic or metal materials.

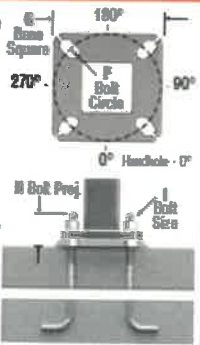


#### Handhole

Reinforced, 3" x 5" Handhole with Cover, Stainless Steel Screw and Backbar. A Grounding Provision incorporating a tapped 1/2" - 13NC hole will be welded to the handhole frame.

#### Anchorage

Anchorage Kit will include four (4) L-shaped Steel Anchor Bolts conforming to AASHTO M314-90 Grade 55. Ten inches (10") of threaded end will be galvanized per ASTM A153. Kits will contain eight (8) Hex Nuts, four (4) Lock Washers, and eight (8) Flat Washers (all components Galvanized Steel). A bolt circle template will be provided.

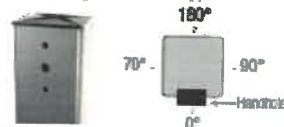


#### Vibration Damper

If determined necessary by Hapco, a top-mount, field installed First Mode Vibration Damper will be provided. Customer specification of the damper is available.

#### Mounting Designation

Side Drill Mount - For Side Drill Mount applications specify luminaire type, quantity and orientation. A luminaire drilling template must be supplied at time of order.



Tenon Mount - For Tenon Mount applications specify both Tenon diameter (2.375", 2.875", 3.5", 4", etc.) and length (3", 4", 5", 6", etc.).



#### EPA Notes:

Effective Projected Area (EPA) in square feet. EPA's calculated using wind velocity (mph) indicated in accordance with 2009 AASHTO LTS-5 using a 25 year design life. Maximum EPA is based on the luminaire weight shown. Increased luminaire weight may reduce the maximum EPA. If weight is exceeded, or if other design life or code is required, please consult the factory.

# USLED

Always the Right Choice!

# Mounting Options



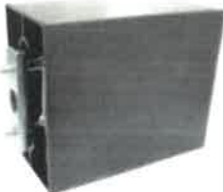
Slip-Fit Mount or S-Mount option



US-4-V-SingleTA, 4" single square vertical tenon



US-Double-S-180-4-BZ, Twin square vertical tenon for 4" Square pole. Two 2 3/8" vertical tenons



PS-MOUNT-BZ POLE MOUNT

**CITY OF WASHBURN**  
119 Washington Avenue  
P.O. Box 638  
Washburn, WI 54891



715-373-6160  
715-373-6161  
FAX 715-373-6148

To: Honorable Mayor and Plan Commission Members

From: Scott J. Kluver, Administrator

Re: Property Inventory and "For Sale" List Review and Recommendation

Date: March 7, 2023

The property inventory list changes have been reviewed by the other Committees of the City and the staff. Two comments have been received.

The first comment is from the Parks Committee wondering if there has been any environmental impact study that has been done on Lot 2 as that is zoned industrial and has steep ravines. The answer is there has not been such a study done to my knowledge. In the past there was a plan that was created as to how to make buildable parcels in that area which sought to keep the ravines intact, but that was the only activity that I am aware of.

The second comment is from the Harbor Commission on Lot 48 at the intersection of Central Avenue and Harbor View Drive. While the Harbor Commission does not have an objection to Lot 48 being on the list, they object to the current zoning of the property which is not supportive of the Marina. The Harbor Commission will be requesting that the Council take the necessary steps to re-zone the property for indoor boat storage.

The Plan Commission can now take action on the proposed changes to the list, given the comments above. Once the final list is recommended, a public hearing will need to be noticed prior to final action by the Council. Please let me know if you have any questions regarding this matter.

**CITY OF WASHBURN**  
119 Washington Avenue  
P.O. Box 638  
Washburn, WI 54891



715-373-6160  
715-373-6161  
FAX 715-373-6148

To: Committees and Department Heads

From: Scott J. Kluver, Administrator

Re: Review of Property Inventory and "For Sale" List

Date: January 24, 2023

Periodically, it is necessary to review the City property inventory and "For Sale" list. Enclosed you will find a copy of the current property inventory map, a copy of the proposed property inventory map, a memo outlining the changes, and other documents related to the proposed changes, and the ordinance outlining the process.

This is your time to speak up. If you do not like something or want to recommend a change, please let me know by March 6, 2023. Any of your comments will go to the March 16 Plan Commission meeting for consideration.

**CITY OF WASHBURN**  
119 Washington Avenue  
P.O. Box 638  
Washburn, WI 54891



715-373-6160  
715-373-6161  
FAX 715-373-6148

To: Honorable Mayor and Plan Commission Members

From: Scott J. Kluver, <sup>SJK</sup> Administrator

Re: Review of Property Inventory and "For Sale" List

Date: January 11, 2023

The time has come to review the property inventory and "For Sale" list. While this is supposed to be done every year, about every other year has been sufficient. There have been a few changes with properties being added and subtracted from the inventory. The current map is dated May 21, 2021. The new proposed map is dated December 22, 2022. The differences between the two are as follows:

Lot 2 – A little smaller as a portion of this property was sold.

Lot 24 – This property was sold as part of a land swap in that area. Lot 25 will need to have a small adjustment that is not yet indicated.

Lot 33 – This property was expanded as a donation to the City. It is part of the old railroad grade and recreational trail.

Lot 34 – Is in the process of being sold.

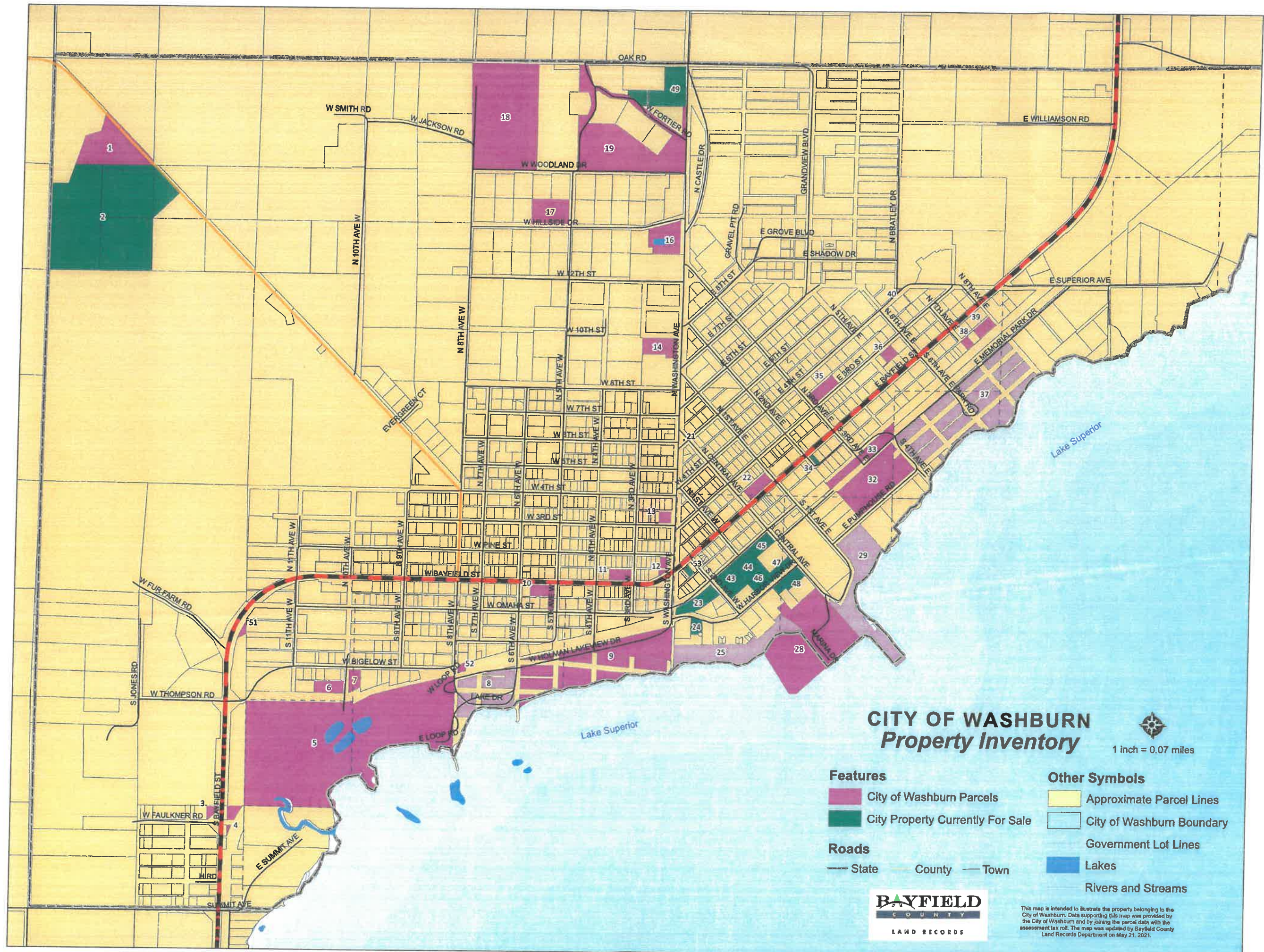
Lot 52 – Change color from purple to green to add to "For Sale" list. A portion of lot 52 has been used to reconfigure the connection of Holman Lakeview Drive with Bigelow St. This is part of the detour route for the STH 13 project in 2024. The remainder of the lot is desired to be transferred to the adjacent property owner. A draft certified survey map is included to show the proposed reconfiguration of the lot. On that map "Parcel 1" would be the portion that would be added to the "For Sale" list.

Lot 53 – (Brokedown building) has been sold.

Please let me know if you have any additional proposed changes to the listing. This list will need to be distributed to the other committees and department heads for comment prior the Plan Commission making a final recommendation. After that, a public hearing will be held along with a vote by the Council.



Current Map



### CITY OF WASHBURN Property Inventory



1 inch = 0.07 miles

**Features**

- City of Washburn Parcels
- City Property Currently For Sale

**Roads**

- State
- County
- Town

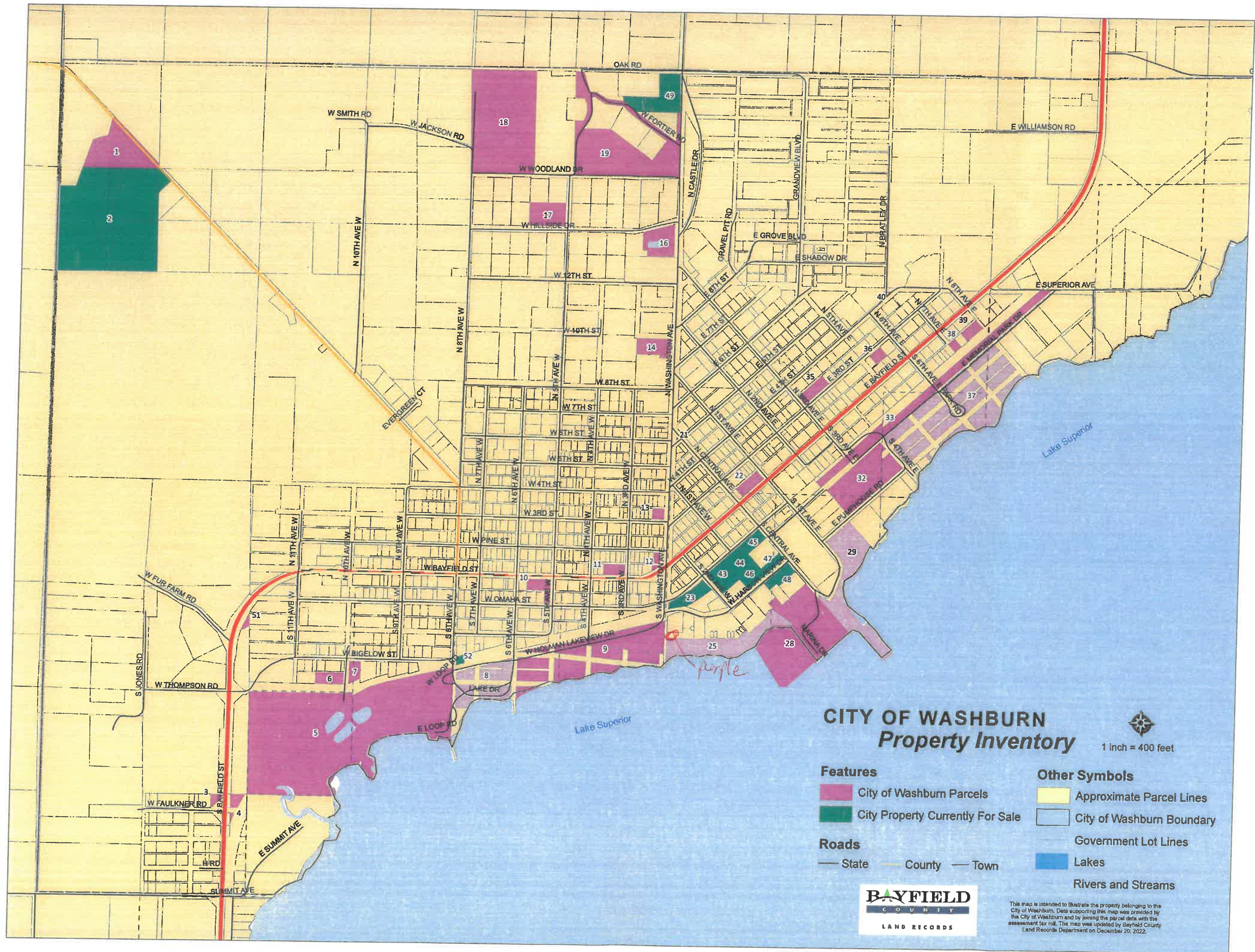
**Other Symbols**

- Approximate Parcel Lines
- City of Washburn Boundary
- Government Lot Lines
- Lakes
- Rivers and Streams



This map is intended to illustrate the property belonging to the City of Washburn. Data supporting this map was provided by the City of Washburn and by joining the parcel data with the assessment tax roll. The map was updated by Bayfield County Land Records Department on May 21, 2021.

*Proposed Map*



### CITY OF WASHBURN Property Inventory

1 inch = 400 feet

- |                                  |                           |
|----------------------------------|---------------------------|
| <b>Features</b>                  | <b>Other Symbols</b>      |
| City of Washburn Parcels         | Approximate Parcel Lines  |
| City Property Currently For Sale | City of Washburn Boundary |
| <b>Roads</b>                     | Government Lot Lines      |
| State                            | Lakes                     |
| County                           | Rivers and Streams        |
| Town                             |                           |



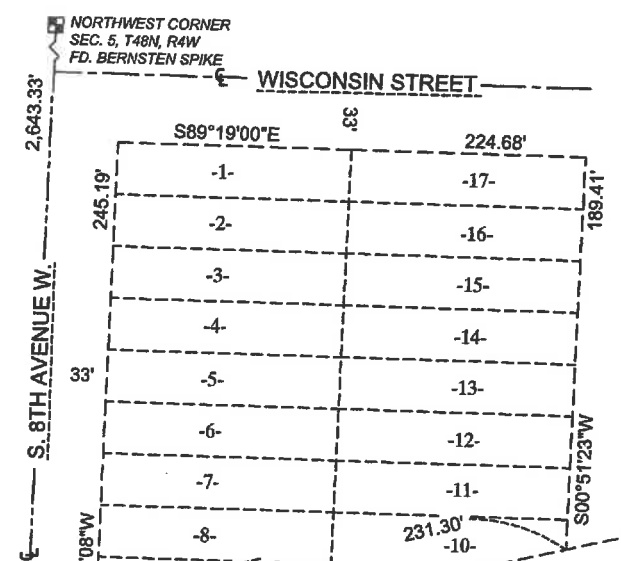
This map is intended to illustrate the property belonging to the City of Washburn. Data supporting this map was provided by the City of Washburn and by joining the parcel data with the assessment tax roll. The map was updated by Bayfield County Land Records Department on December 20, 2022.

# BAYFIELD COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A PARCEL OF LAND LOCATED WITHIN THE ABANDONED RAILROAD  
RIGHT OF WAY, LOCATED ADJACENT TO LOT 9, BLOCK 3 OF THE  
ORIGINAL TOWNSITE OF WASHBURN, SECTION 5, TOWNSHIP 48  
NORTH, RANGE 4 WEST, CITY OF WASHBURN, BAYFIELD COUNTY, WI.



BEARINGS ARE GRID BASED  
WCCS - BAYFIELD COUNTY WITH  
THE WEST LINE OF THE NORTHWEST 1/4  
MEASURED TO BEAR N00°46'08"E



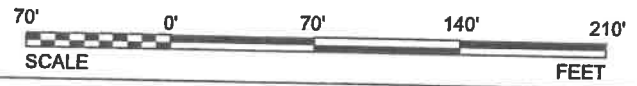
**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N00°46'08"E	20.75'
L2	S00°46'08"W	65.43'
L3	N76°43'45"E	34.02'

**CURVE TABLE**

CURVE	CHORD BEARING	CHORD DISTANCE	ARC LENGTH	RADIUS	CENTRAL ANGLE
C1	N79°39'24"W	108.22'	88.38'	207.97'	24°20'54"

**LEGEND**  
 ○ - SET 1 1/4" O.D. x 18" IRON PIPE  
 WEIGHING 1.68 LBS PER LIN. FOOT  
 ● - FD. 1" O.D. IRON PIPE



**Pine Ridge Land Surveying, LLC.**  
 Professional Land Surveying Services  
*Value & Quality in a Timely Manner...*  
 PATRICK A. MCKUEN, PLS  
 1424 1/2 Lake Shore Dr. W.  
 Ashland, Wisconsin  
 Phone (715) 682-2969  
 WWW.PINERIDGESURVEYING.COM  
 PROJECT NO. C.O.W.23-WASHBURN  
 SHEET 1 OF 2 SHEETS

PARCEL 1  
 P.O.B.  
 4,134 Sq. Ft.  
 0.09 Acres

WEST 1/4 CORNER  
 SEC. 5, T48N, R41W  
 FD. 1 1/4" IRON PIPE

NORTHWEST CORNER  
 SEC. 5, T48N, R41W  
 FD. BERNSTEIN SPIKE

**BAYFIELD COUNTY  
CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

A PARCEL OF LAND LOCATED WITHIN THE ABANDONED RAILROAD  
RIGHT OF WAY, LOCATED ADJACENT TO LOT 9, BLOCK 3 OF THE  
ORIGINAL TOWNSITE OF WASHBURN, SECTION 5, TOWNSHIP 48  
NORTH, RANGE 4 WEST, CITY OF WASHBURN, BAYFIELD COUNTY, WI.

Surveyor's Certificate

I, Patrick A. McKuen, Professional Land Surveyor S-2992, hereby certify that I have surveyed, divided and mapped; A parcel of land located within the abandoned railroad right of way, located adjacent to Lot 9, Block 3 of the Original Townsite of Washburn, Section 5, Township 48 North, Range 4 West, City of Washburn, Bayfield County, WI more particularly described as follows:

Commencing at the West  $\frac{1}{4}$  Corner of said section; Thence N00°46'08"E along the west line of the NW  $\frac{1}{4}$  of said section a distance of 515.03 feet to the intersection with the northerly right of way of the abandoned Chicago & Northwestern Railroad; Thence N76°43'45"E along said right of way a distance of 34.02 feet to the intersection of the east right of way of S. 8th Ave. W. which is the Point of Beginning; Thence N76°43'45"E and continuing along said northerly right of way a distance of 110.00 feet; Thence S00°46'08"W a distance of 65.43 feet to the northerly right of way of a proposed roadway; Thence continuing along said northerly right of way of the proposed roadway 88.38 feet along a curve to the left, said curve having a radius of 207.97 feet, a central angle of 24°20'54" and a chord which bears N79°39'24"W a distance of 108.22 feet to the intersection with the east right of way of S. 8th Ave. W.; Thence N00°46'08"E along said east right of way a distance of 20.75 feet to the intersection with the northerly right of way of the abandoned Chicago & Northwestern railroad which is the Point of Beginning.

That the above described parcel of land contains 4,134 square feet or 0.09 acres.

That I have made this map at the direction of Scott Kluver, Agent for said lands.

That said parcel is subject to any easements, restrictions and right-of-ways of record.

That I have fully complied with the provisions of Section 236.34 of Wisconsin Statutes and with the subdivision regulations of the City of Washburn in surveying, dividing and mapping said parcel.

That this map correctly and accurately depicts the exterior boundaries of said parcel and the division thereof made.

dated this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Pine Ridge Land Surveying  
Patrick A. McKuen  
WI PLS S-2992

CITY OF WASHBURN ZONING APPROVAL CERTIFICATE

I, SCOTT KLUVER, CITY OF WASHBURN ZONING DIRECTOR,  
DO HEREBY APPROVE THIS BAYFIELD COUNTY CERTIFIED SURVEY MAP

SIGNED: \_\_\_\_\_  
SCOTT KLUVER

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

**Pine Ridge Land Surveying, LLC.**  
Professional Land Surveying Services  
*Value & Quality in a Timely Manner.*  
PATRICK A. MCKUEN, PLS  
1424 1/2 Lake Shore Dr. W.  
Ashland, Wisconsin  
Phone (715) 682-2969  
WWW.PINERIDGESURVEYING.COM  
PROJECT NO. C.O.W.23-WASHBURN  
SHEET 2 OF 2 SHEETS

CITY OF WASHBURN  
119 Washington Avenue  
P.O. Box 638  
Washburn, WI 54891



715-373-6160  
715-373-6161  
FAX 715-373-6148

To: Honorable Mayor and City Council Members  
From: Scott J. Kluver, <sup>SSK</sup> Administrator  
Re: Request to Transfer Portion of Lot 52 to Megan Collins  
Date: December 1, 2022

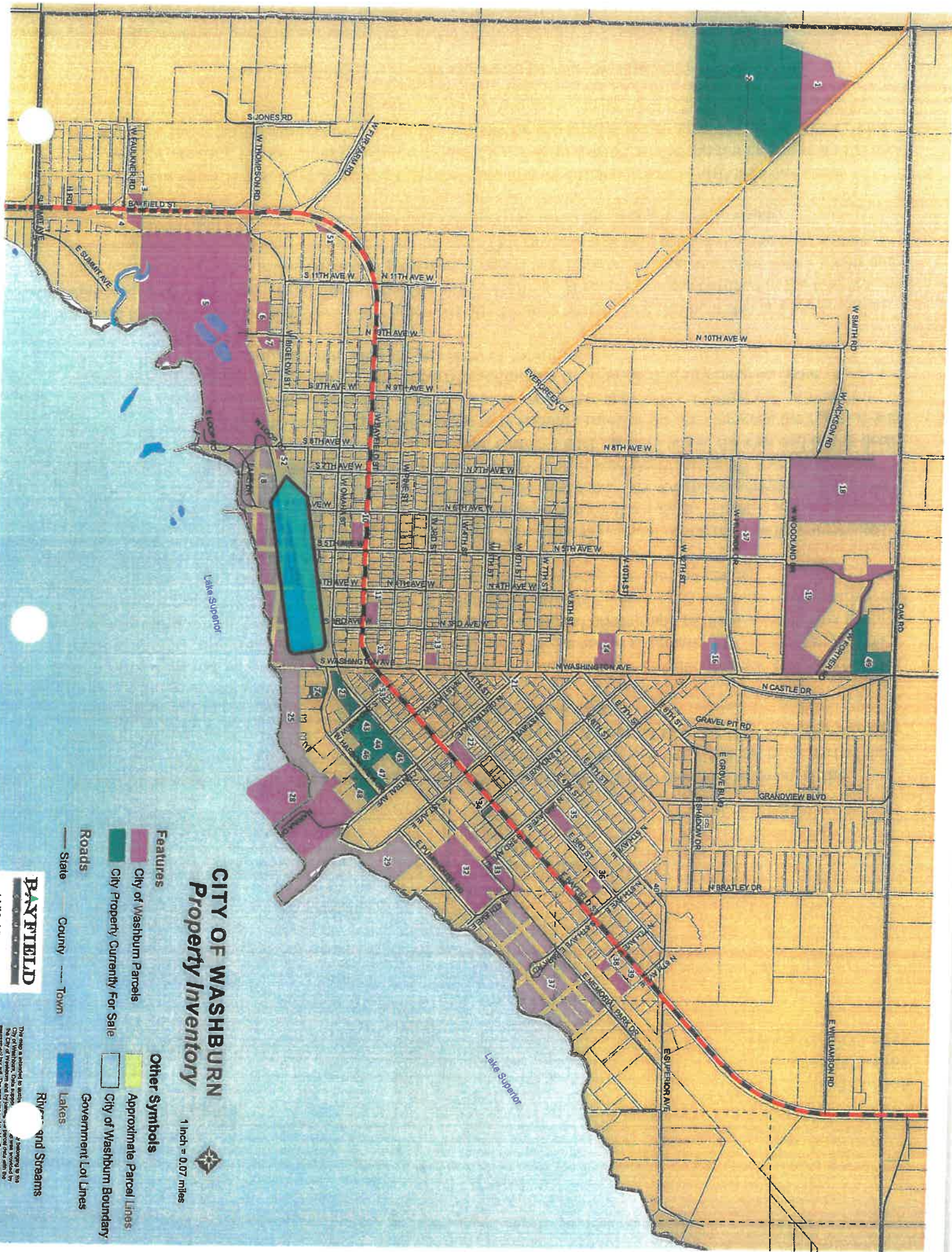
As you are aware, staff have been working on the redesign and construction of a new roadway at the intersection of Holman Lakeview Drive and Bigelow Street at 8<sup>th</sup> Avenue West. This has been part of the detour planning related to Phase 1 of the Bayfield Street Project. As part of this, the City has been utilizing a significant portion of its Lot 52 for the placement of the new roadway.

When this area was surveyed prior to the placement of the road, it was discovered that Ms. Collin's home is partially over the lot line. About a foot or two of the deck of the house is actually on City property. You will note the property line stake on the far-left side of the enclosed photograph of the property. This is not Ms. Collin's fault, it is an issue of the proper placement of the home whenever it was built. Ms. Collins, and the previous owners, have been taking care of that property assuming she/they owned it.

Referencing the overhead view from Ayres which also shows the placement of the road being constructed, you will note Lot 52 and the property line which goes through Ms. Collin's deck. There is also a curved line below that which indicates the right-of-way limit of the new road. My rough measurements show that there is about 20 feet between the right-of-way line and Ms. Collin's property line at 8<sup>th</sup> Avenue, 25 feet between the right-of-way line and the west end of Ms. Collin's deck, and 35 feet at the east end of the deck. It is my recommendation to take the necessary steps to eventually transfer the area between the right-of-way line and Ms. Collin's property line to Ms. Collins. Transferring this area to Ms. Collins will provide the appropriate setback that is needed for the property to eliminate the non-conformity/trespass issue. Staff have no desire to maintain this area after the roadway is completed.

As this location is not on the City's "For Sale" list, the Council should first decide if this is a location that they would like to consider selling/transferring to Ms. Collins. If so, the process outlined in the City's Land Sale ordinance must be followed, and if approved, a parcel will need to be created at least with a meets and bounds description, possibly with a certified survey. This process will take several months to complete. Once it is done and a parcel is created, the City can then act upon the property sale/transfer.

Please let me know if you have any questions related to this recommendation. I will note that costs involved for creating the lot should be borne by the City. While a sale/transfer can not be completed at this meeting, for the record, I am recommending the transfer be considered for minimal/no cost to Ms. Collins.



# CITY OF WASHBURN Property Inventory

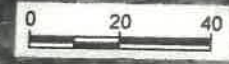
1 inch = 0.07 miles

- Features**
  - City of Washburn Parcels
  - City Property Currently For Sale
- Other Symbols**
  - Approximate Parcel Lines
  - City of Washburn Boundary
  - Government Lot Lines
- Roads**
  - State
  - County
  - Town
- Rivers and Streams**
  - Lakes



This map is intended to assist in the understanding of the City of Washburn and its property. It is not a legal document and should not be used as such. The City of Washburn and its property are not responsible for any errors or omissions on this map. The City of Washburn and its property are not responsible for any damages or losses resulting from the use of this map.

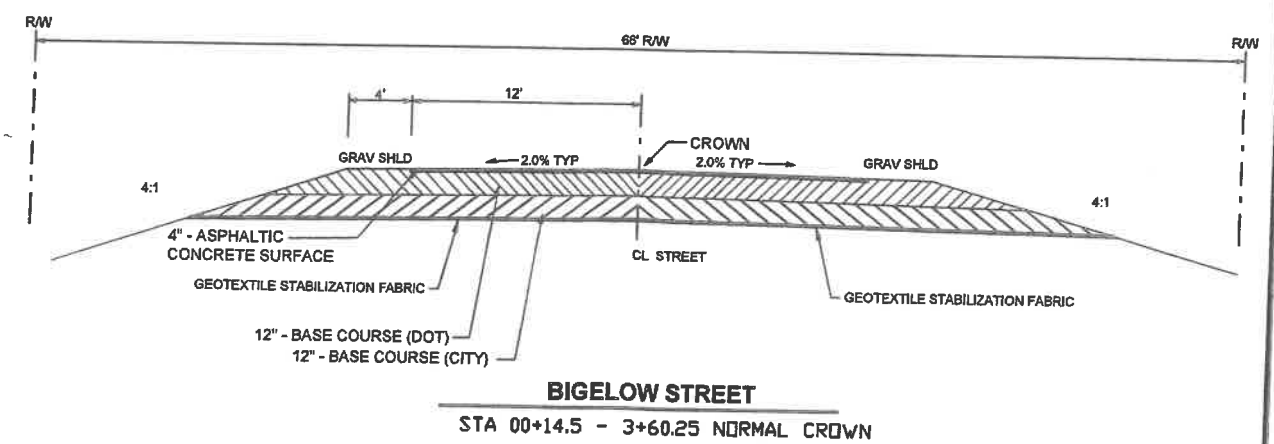




Lot 52

BP: 0+00.00

3+00



11/20/2022 11:00 AM 10230 Washburn City 0223-1795-00 Bigelow Street Washburn, WI 54701 715.534.3181

DES BY	MCS						
DR BY	MGN	PROJ NO	23-1795.00				
CHK BY	AYRES	DATE	JUNE 2022	NO	DATE	REVISION	NO DATE REVISION

BIGELOW STREET  
WASHBURN, WISCONSIN



STREET PLAN

SHEET NO.  
2



## Title 3 ▶ Chapter 6

---

### Sale of City-Owned Property

<b>3-6-1</b>	Findings and Purpose
<b>3-6-2</b>	Definitions
<b>3-6-3</b>	Sale of Listed Properties
<b>3-6-4</b>	Creation of List
<b>3-6-5</b>	Changes to the List
<b>3-6-6</b>	Sale of Property Included on List
<b>3-6-7</b>	Requests for Land Donation
<b>3-6-8</b>	Vacation of Streets and Alleys
<b>3-6-9</b>	General Provisions

#### **Sec. 3-6-1 Findings and Purpose.**

The Common Council finds that the sale of real property owned by the City of Washburn is in the City's interests when such lands are properly designated as available for sale and when such sales are carried out in a fashion that promotes the common good. The purpose of this Chapter is to establish comprehensive procedures for identifying real property owned by the City that is suitable for sale and for processing such sales.

#### **Sec. 3-6-2 Definitions.**

The following definitions shall be applicable in this Chapter:

- (a) **List of Properties Available for Sale.** The list created and maintained pursuant to this Chapter, and approved by the Common Council, and may be referred to as the "list."
- (b) **Real Property.** Land and any permanent improvements thereon, except that it does not include any improvement sold on the condition that it be removed from City-owned land, and it does not include any parcel within any City-designated business, commercial or industrial park or City-owned residential subdivision for which the City has adopted specific lease or sale procedures, but it does include any transfer to or from the City's Redevelopment Authority and any transfer pursuant to the provisions of Sections 66.1331 through 66.1337, Wis. Stats.

### **Sec. 3-6-3 Sale of Listed Properties.**

The City may sell any real property included on the list. The City may not sell any real property that is not included on the list.

### **Sec. 3-6-4 Creation of List.**

- (a) No later than six (6) months after the passage and publication of this Chapter, the Plan Commission shall recommend to the Common Council parcels of real property to be included on the list.
- (b) In recommending a parcel to be included on the list, the Plan Commission shall take into account all factors relevant to the parcel, including but not limited to the following:
  - (1) The location of the parcel, including the uses of real property near the parcel.
  - (2) The current and past uses of the parcel.
  - (3) The zoning of the parcel.
  - (4) An estimate of the value of the parcel.
  - (5) The potential for future municipal uses of the parcel.
  - (6) Interest expressed in the parcel by potential purchasers.
  - (7) Any special conditions that should be attached to the sale of the property.
- (c) Before recommending that a parcel be included on the list, the Plan Commission shall notify the following departments and shall offer them a reasonable time to file a written objection to the parcel's inclusion on the list. Any department filing such an objection shall state the reason for the objection:
  - (1) Police Department.
  - (2) Fire Department.
  - (3) Ambulance Service.
  - (4) Public Works Department.
  - (5) Harbor Commission.
  - (6) Recreation Department.
  - (7) Redevelopment Authority.
  - (8) Housing Authority.
- (d) The list recommended by the Plan Commission may be modified by the Common Council provided that the addition of any parcel shall be first referred to the Plan Commission for recommendation. The Common Council shall conduct a public hearing on the list prior to a vote on its adoption. The public hearing shall require a Class I notice published in the official newspaper of the City a minimum of ten (10) calendar days prior to the scheduled hearing.
- (e) A current copy of the list shall be posted at City Hall and published no less frequently than once each year in the official newspaper of the City.

**Sec. 3-6-5 Changes To The List.**

- (a) **Regular Review.** During the second quarter of each calendar year, the Plan Commission shall review the list and recommend any additions, deletions or other changes to the list, using the same factors and procedures as set out in Section 3-6-4. Any such recommendation shall be referred to the Common Council for public hearing as set forth in Section 3-6-4(d) prior to a vote on its approval.
- (b) **Referrals.** The Mayor, Common Council, City Administrator, or the Plan Commission on its own motion may refer any parcel to the Plan Commission for its recommendation as to inclusion on the list or deletion from the list based on the factors as set forth in Section 3-6-4(b). Any such recommendation shall be referred to the Common Council for public hearing as set forth in Section 3-6-4(d) prior to a vote on its approval.
- (c) **Requests.** Any party with an interest in purchasing a parcel of real property that does not appear on the list may request the Plan Commission to recommend inclusion of the parcel on the list, based on the factors as set forth in Section 3-6-4(b). The Plan Commission shall provide notice as provided under Sec. 3-6-4(c) before making any such recommendation. Any such recommendation shall be referred to the Common Council for public hearing as set forth in Section 3-6-4(d) prior to a vote on its approval. Any party making such a request shall be required to deposit with the City Treasurer a sum sufficient to pay for the actual costs of considering the recommendation, including but not limited to copy, postage, publication and appraisal costs.
- (d) **Properties Purchased for Redevelopment.** Any property acquired by the City for the express purpose of redevelopment shall, upon acquisition, be placed on the list. A property is "acquired by the City for the express purpose of redevelopment" if the motion or resolution approving the acquisition expressly states that the property is being acquired for a general or specific redevelopment purpose.

**Sec. 3-6-6 Sale of Property Included on List.**

- (a) **Negotiation Authority.** The City Administrator is authorized to negotiate the sale of any parcel included on the list, subject to any conditions attached to the parcel's listing, and subject to final approval by the Common Council.
- (b) **Establishment of Fair Market Value.** No property shall be disposed of without an appraisal unless otherwise directed by the Common Council. This provision shall not prevent the Council from entering into a sale of property for terms as determined by the Common Council that may include a sale price of less than fair market value.
- (c) **Sale Documents.** The City Attorney shall prepare all documents related to the property disposition.
- (d) **Property Survey.** A certified survey map may be required for any parcel sold or donated prior to closing.

**3-6-6**

- (e) **Retention of Utility Easements.** If applicable, the City of Washburn will retain all rights and easements for the operation, maintenance, repair, replacement, and extension of municipal utilities across the City-owned property to be sold including the rights of ingress and egress for municipal employees, agents, and contractors and the City Attorney shall insure such rights are retained in all deeds and leases that are prepared and executed.
- (f) **Waiting Period.** No parcel shall be sold less than thirty (30) days after placement on the list pursuant to Sections 3-6-4 or 3-6-5.

**Sec. 3-6-7 Requests for Land Donation.**

- (a) Any party seeking the donation of municipal lands shall include in its written request:
  - (1) Proof of the tax-exempt status of the party.
  - (2) The reason the land should be donated.
  - (3) The public purpose for which the land is being sought.
  - (4) The intended use for the donated land including the anticipated construction dates, types of services to be offered, the expected number of users of the service, and anticipated neighborhood impact.
- (b) Any request for a donation of City-owned lands shall be referred to the Plan Commission for consideration and recommendation using the same factors and procedures as set out in Section 3-6-4. Any such recommendation shall be referred to the Common Council for public hearing as set forth in Sec. 3-6-4(d) prior to a vote on its approval.

**Sec. 3-6-8 Vacation of Streets and Alleys.**

Unless the Common Council determines, after receiving the recommendation of the Plan Commission, that the public interest does not so require, the City shall retain utility easements to all vacated streets, alleys and other public ways. Absent such determination, any motion to vacate, and all recorded vacation documents, shall explicitly state that:

*"The City of Washburn retains all rights for the operation, maintenance, repair, replacement or extension of municipal utilities within the vacated property including the right of ingress and egress for its employees, agents and contractors, and the benefiting property owner shall be prohibited from creating any improvement, constructing any building or structure, or planting any vegetation that will interfere with this right retained by the City."*

**Sec. 3-6-9 General Provisions.**

- (a) **Severability.** If any section, subsection, sentence, clause, phrase, or portion of this Chapter is for any reason held invalid or unconstitutional, such portion shall be deemed a separate, distinct and independent provision and such ruling shall not affect the validity of the remaining portions of this Chapter.
- (b) **Contravening Ordinances and Resolutions Repealed.** All ordinances or resolutions or parts of ordinances or resolutions contravening the provisions of this Chapter are hereby repealed.