

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

This meeting may have members participating via tele or web conferencing. Public participants can listen to the proceedings by utilizing a computer or smart phone and using the link <https://us02web.zoom.us/j/89798506304?pwd=UUpqaFkvbkdBbFN6ZldjZTF4VmFWUT09> or by calling 1 (877) 853-5247 (Toll Free) and entering Webinar ID: 897 9850 6304 and entering passcode 951808 as opposed to being present for the meeting. Limited seating will be available at the meeting and guests are asked to keep a six-foot distance from one another.

NOTICE OF PLAN COMMISSION MEETING

DATE: Thursday, January 20, 2022
TIME: 5:30 PM
PLACE: Washburn City Hall

AGENDA:

- Call to Order/Roll Call
- Approval of Minutes of December 16, 2021
- Discussion and Approval of Draw #1 Façade Loan, 901 West Bayfield Street, Santa Leyenda Inmueble, LLC, Applicant.
- Discussion and Action on Architectural, Site Plan, and Plan of Operation Approval for Expansion Project, I-1 Zoning District, Washburn Iron Works, 112 E. Bayfield Street, Taylor Pearson, Petitioner
- Discussion on Draft Ordinance Change- Regulations of Outdoor Kitchen/Living Space
- Continued Discussion and Action on Comprehensive Plan Re-Write Project –Review of Land Use Maps and Policies
- Adjourn

December 16, 2021

CITY OF WASHBURN PLAN COMMISSION MEETING

5:30PM Washburn City Hall & Remote Video Conferencing

COMMISSION MEMBERS: Dave Anderson, Felix Kalinowski (late), Leo Ketchum-Fish, Mary Motiff, Matt Simoneau, Nicolas Suminski

ABSENT: Vacancy

MUNICIPAL PERSONNEL: Scott Kluver City Administrator, Tammy DeMars City Treasurer/Deputy Clerk

Meeting called to order at 5:30pm by Motiff attendance as recorded above with Kalinowski arriving at 5:36pm.

Approval of Minutes – November 16, 2021, Minutes – Motion by Suminski to approve the minutes of November 16, 2021, second by Anderson. Motion carried 5-0.

Public Hearing – Moved by Ketchum-Fish to open floor for public hearing, 2nd by Anderson. Motion carried 5-0

Conditional Use Permit Application Request for Accessory Dwelling Unit – To construct and utilize an accessory dwelling unit within the provisions of the zoning code at the property located at 705 Evergreen CT., zoned R-2, - Orrion Oreskovich, Petitioner – Ryan Rusch, 847 County Hwy C, although he isn't apposed to the accessory dwelling, he would like to see conditions placed on the CUP that requires him to follow city code and zoning ordinance in regards to cleaning up the property and keeping equipment inside. Dale Brevak, property owner across from Oreskovich, supports the accessory dwelling unit and feels Orrion Oreskovich is a good respectful neighbor and has the property screened well so it is hardly visible from the road. Orrion Oreskovich-petitioner states he has a permit and is in the process of building the garage for the purpose of storing his equipment.

Moved by Anderson to close the floor for the public hearing, second by Suminski. Motion carried 6-0.

Discussion and Recommendation on Conditional Use Permit Application for Accessory Dwelling Unit at 705 Evergreen Ct., Property Zoned R-2, Orrion Oreskovich, Petitioner – Ketchum-Fish moves to recommend approval of conditional use permit for accessory dwelling unit at 705 Evergreen Ct. with some conditions to be determined, second by Suminski. Basis of decision Section 7-55 Article 7 reviewed; 1) Parcel size is adequate; 2) Use is compatible with current residential use; 3) Location is acceptable; 4) No effects known; 5) Proposed use is suitable; 6) No know effects on the natural environment; 7) N/A; 8) Residential use has no effect; 9) No other factors. Ketchum-Fish amends his motion to include the conditions that applicant must adhere to all applicable codes and ordinances related to his property prior to occupancy permit. Suminski accepts amendment. Motion carried 6-0

Discussion and Action of Façade Loan Application, 901 West Bayfield Street, Santa Leyenda Inmueble, LLC, Applicant – Greta Blancarte present via zoom. Motion by Ketchum-Fish to approve the façade loan application for Santa Leyenda Inmueble, LLC in the amount of \$10,000.00, second by Suminski. Applicant appears to have meet all requirements of loan. Motion carries 6-0

Discussion and Action on Architectural Review-Façade Changes in C-2 Zoning District, 406 W. Bayfield Street, Artist Square Gallery, John & Susan Lince, and Bradley Lemire Applicants – John and Susan Lince-Hopkins present via zoom. Motion by Anderson to approve façade changes at 406 W. Bayfield Street, for framing shop, second by Ketchum-Fish. Applicants are changing existing garage into frame shop, the two overhead doors will be removed replaced by single entry door, and double swinging door. Architectural Standards review; 1) Siding will be wood -T-111, similar to the main structure; 2) N/A; 3) Entrance does face Bayfield St.; 4) N/A; 5) Entrances are clearly recognizable 6) There is no Rooftop equipment; 7) No fencing; 8) Material on rest of structure is also wood; 9) Overhead doors are being removed; 10) No HVAC equipment proposed, but if added would need to be screened; 11) Complies. Original motion carries 6-0.

Discussion on Conceptual Regulations of Outdoor Kitchen/Living Space – Ketchum-Fish moves to open floor, second by Suminski. Motion carries 6-0. Kluver explains that we have had an inquiry about regulations on these outdoor kitchen/living spaces and is asking the Commission to give some guidance. Zack Yepma, 101 Thompson Rd, addressed the Commission as he has recently moved to town and is a stone mason. He has built a few of these and knows this is becoming a trend and would like to eventually put one in his yard. Discussion on if permit should be need, should it be considered part of the primary structure or considered an accessory structure, what set back should be followed. Kluver will ask Zoning consultant to help him draft regulations based on the discussion and bring it back for review.

Continued Discussion and Action on Comprehensive Plan Re-Write Project – Review of Land Use Maps and Policies – Kluver reminding the Commission that we need to look at things overall to see the whole picture and what it is you want, to do this you need to make land use decisions and policies to help maintain these things. Our zoning ordinance is cumbersome it went from 80 some pages

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715-373-6160
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To: Honorable Mayor and Plan Commission Members
From: Scott J. Kluver, Administrator
Re: Façade Loan Payment for Santa Leyenda Inmueble at 901 W. Bayfield St.
Date: January 12, 2022

Please find invoices for the work completed on the Santa Leyenda Inmueble, LLC property at 901 W. Bayfield Street. The project included replacement of the mansard roof sheeting, replacement of the exterior lighting, and replacement of doors and broken windows. I have reviewed the work and have provided the attached photos which show that the roof, lights, and window have been completed. If you are satisfied with the completed work, payment can be authorized to be release in the amount of \$10,000.

Please let me know if you have any questions on this matter.

Mark Zinnecker

INVOICE

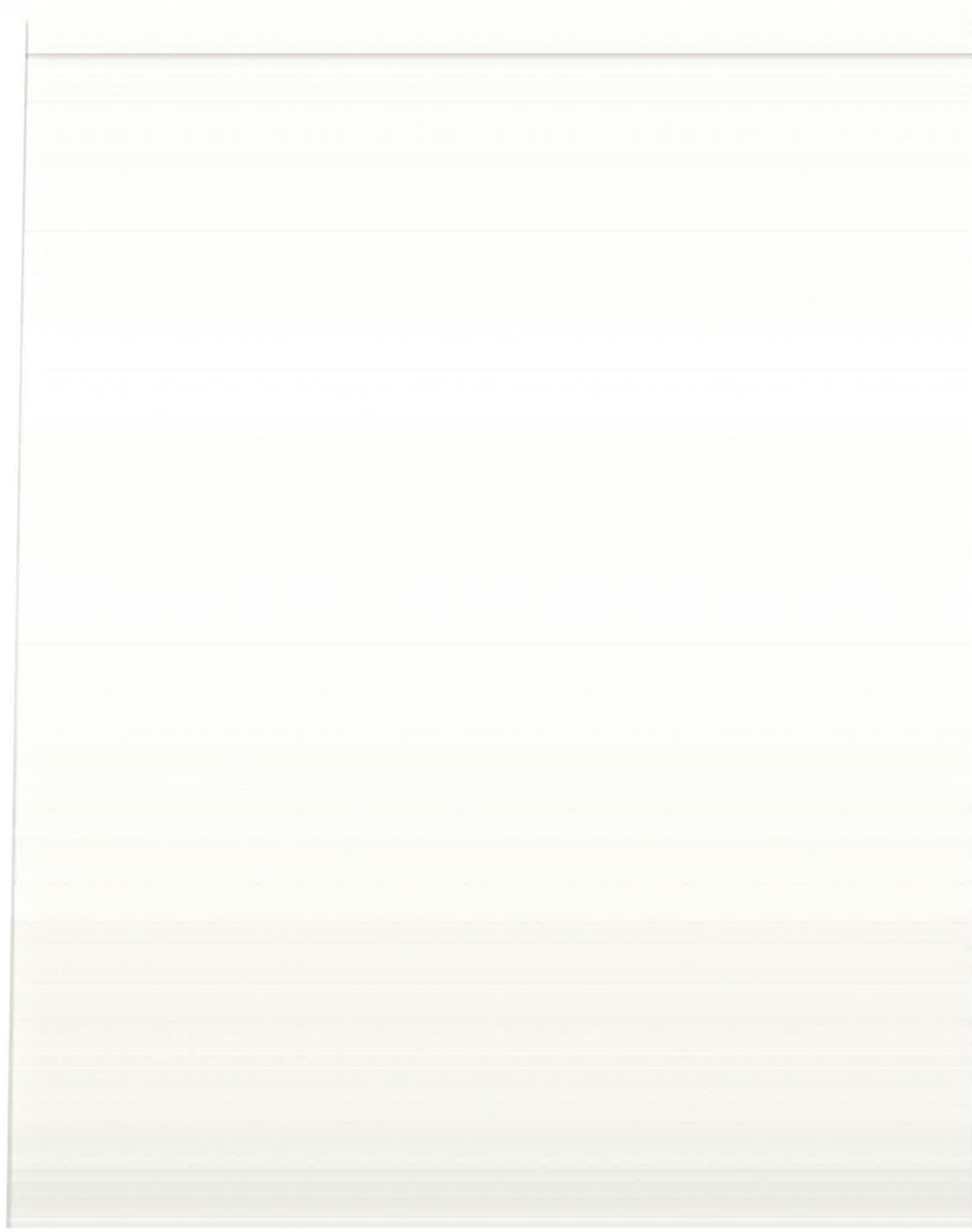
Ashland WI
715-209-5882
kmdzinnecker@yahoo.com

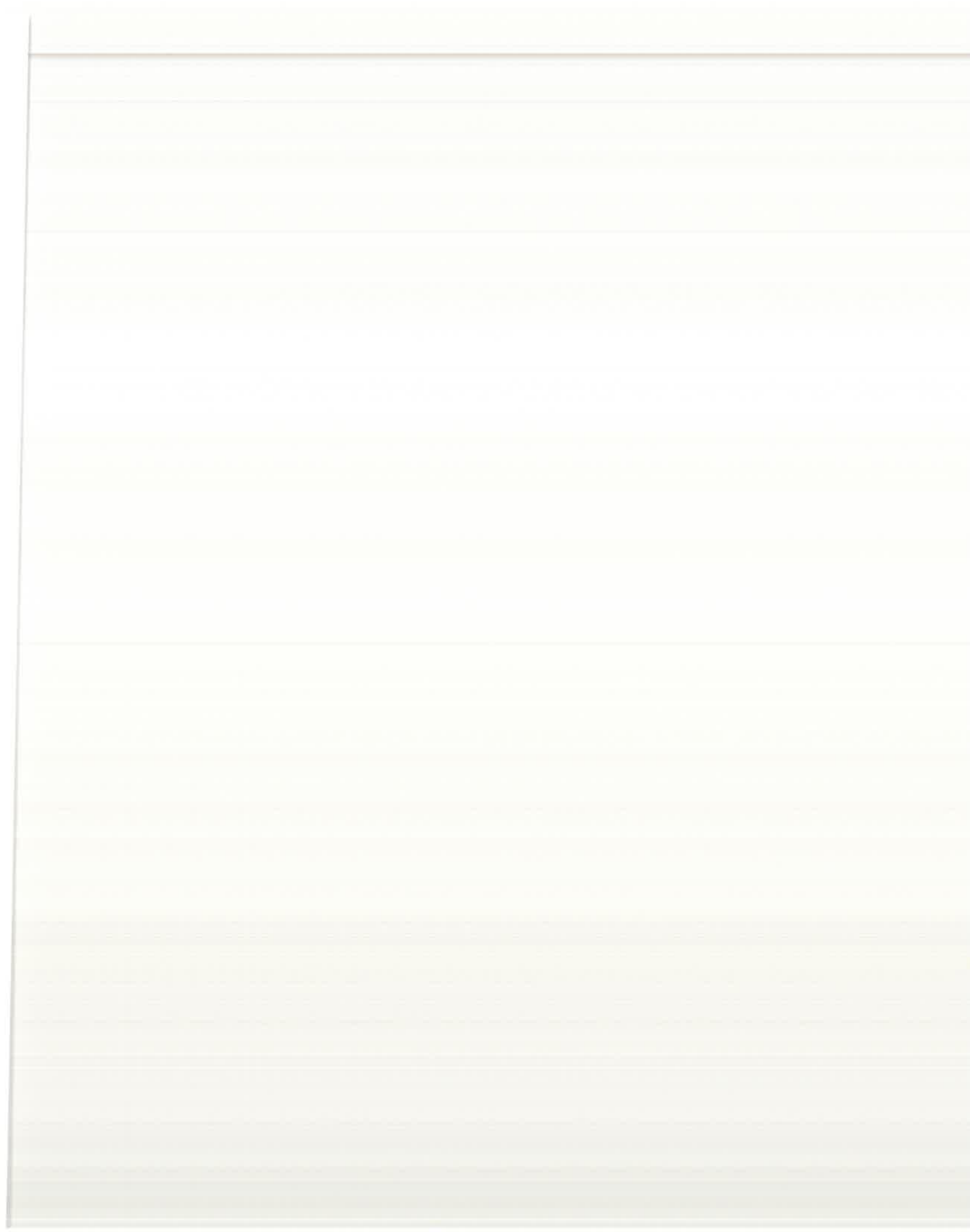
To:

Santa Lenyenda Inmueble
901 West Bayfield Street
Washburn WI 54891

Qty	Description	Labor Price	Labor & Materials
1	Ashland Building Products Cooler Base		\$742.90
1	True Value Power supply cable		\$34.39
1	Ashland Building Products North Wall repair material		\$189.10
1	ABC Arrow Roofing material		\$1,494.57
1	Olson's Building supply Roof closers		\$46.42
1	Sign framing		\$278.52
1	Labor		\$,1280.00
* Owner is responsible for the cost of a Dumpster or cost of removal of debris from job site.			
* Payment for materials will be due upon delivery of material, remaining balance will be due upon completion of project.			
		Subtotal	\$4,065.90
		Sales Tax	0
		Total	\$4,065.90

Thank you for your business!





City of Washburn

Downtown Building Facade Renovation Loan Program Policy Guidelines

- I. PURPOSE:** The City's intent in establishing this loan fund is to encourage downtown business owners to undertake business facade improvements. Physical improvements to structures downtown will assist in spurring economic vitality downtown. By improving the exteriors of commercial buildings downtown, the City will enhance the appearance of the downtown and the community as a whole overall. The resulting effect will be the attraction of new businesses to downtown and to the community as well as the retention and expansion of existing businesses.
- II. OBJECTIVES:** The Building Facade Renovation Loan Program has the following objectives.
- A. To renovate or rehabilitate commercial properties so as to prevent or eliminate deteriorating conditions.
 - B. To attract and retain businesses downtown.
 - C. To retain jobs and bring additional employment opportunities to the City.
 - D. To make use of funds the City has set aside for the enhancement of the City's downtown, which is deemed an asset of the City.
 - E. To spur activity which will provide return to the City by way of physical improvements accomplished which may not otherwise have occurred.
- III. PROJECT & APPLICANT ELIGIBILITY:**
- A. General and Designated Area:
The Façade Renovation Loan Program only applies to the exterior facades, signs and architectural features for properties on Bayfield Street between Fur Farm Road and 1st Avenue East that are 50 percent or more commercial and only to those exterior facades, signs and architectural features of such buildings that are visible from Bayfield Street.
 - B. Minimum Requirements:
 - 1. Projects shall occur within the established designated area.
 - 2. Projects must commence within six (6) months of approval and shall be completed within one (1) year of the grant approval date. In rare cases, likely due to extenuating circumstances, the Plan Commission may allow completion extensions upon request of the applicant. The Plan Commission/City of Washburn reserves the right to eliminate project funding if not completed within the specified time period and is not obligated to granting time extensions.
 - 3. Projects shall comply with all applicable City building and zoning standards and requirements.
 - 4. Concurrent applications from the same applicant, unless for separate properties, shall not be allowed. An applicant may apply for another

project after any existing project by the same applicant is completed to the satisfaction of the Plan Commission.

C. Eligible Activities Included but not limited to:

1. Repair/replacement of the original building's materials and decorative details.
2. Cleaning of exterior building surfaces.
3. Tuck pointing and masonry repair.
4. Painting of exterior building surfaces.
5. Repair/replacement or addition of entrances, doors, display windows, transoms, or windows.
6. Removal, repair/replacement of existing signs and awnings.
7. New signage and awnings.
8. Landscaping improvements.
9. Permanent exterior lighting.
10. Qualified professional design services.
11. Other activities as designated by the Plan Commission/City of Washburn.

D. Non-Eligible Activities Included but not limited to:

1. Interior improvements.
2. Purchase of property.
3. Construction of a new building.
4. Fixtures and equipment.
5. Removal without replacement of architecturally significant features and design elements.
6. Sidewalk repairs.
7. Correction of code violations.
8. Any roof repair or replacements, except in cases where a new roof "style" is a critical component of the façade restoration or replacement project.
9. Compensation for time and labor spent by applicant or members of applicant's immediate family. *(Note that one needn't be the building owner to apply.)*
10. Other activities as designated by the Plan Commission/City of Washburn.

IV. PROGRAM TERMS & CONDITIONS:

A. General Requirements

1. Applicants must include detailed drawings and specifications with application. Eight (8) copies of drawings/design plans must be submitted. The Plan Commission may require drawings to be submitted by an architect. The plans must include:
 - a. Detailed site plan using adequate scale to be easily and clearly understood. Ideally, said plan shall be drawn to a minimum scale of 1"= 100'.

- b. Elevations of any façade proposed to be altered, ideally drawn to scale at least 1/8"=1'; each elevation drawing should include notations of proposed materials, color, finishes and details. The drawing should clearly show proposed signage (if any). Perspective renderings of the proposed project and / or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.
 - c. Current condition photos to provide adequate "before and after" shots.
 - d. Construction / reconstruction time schedule, noting start and completion date.
 2. Applicants must submit at least one contractor proposal or estimate from supplier; however, it is suggested that the applicant pursue multiple proposals for their own protection and peace of mind. The Plan Commission retains the right to request additional proposals. The property owner is not required to utilize a contractor to have the work completed. The Plan Commission/City of Washburn does not assume any liability to the work of any contractor that is chosen by the property owner.
 3. Applicants, if tenants, must have the written permission and approval from the respective property owner.
 4. Applicants must take out the appropriate building or sign permits. Fee waivers shall not be allowed, unless approved by the Common Council. Loan funds cannot be used to pay for permit fees.
 5. Applicants who are delinquent with their property or personal tax, utility payments, or have outstanding municipal code violations are not eligible until said issues are resolved.
 6. Payment shall be made on a reimbursement basis upon completion of construction/installation.
 7. Minor changes to the project will require submittal and approval by the City Administrator. Significant project changes, as determined by City Administrator, will require approval of the Plan Commission.
 8. The Plan Commission/City of Washburn reserves the right to cancel any loan agreement if any of the conditions of the program guidelines and agreement are not met.
 9. Applicants shall provide a Certificate of Insurance with their application showing proof of property insurance for fire and all hazards. The City shall be designated a loss payee up to the amount of the loan.

B. Approval Authority

1. The Plan Commission will have the ultimate authority to approve or deny applications on a case-by-case basis and may impose certain design conditions on approved projects.

C. Expiration

The façade loan improvement program will expire if one of the following occurs:

1. When the funds have been spent, unless additional funding has been authorized by the City Council.
2. When the Plan Commission and/or City Council chooses to eliminate or amend the program.

V. **LOAN TERMS:** All loans granted under this program shall be subject to the following terms and conditions:

- A. The minimum loan granted under this program shall be \$2,000 and the maximum loan shall be \$10,000 per building.
 1. The Plan Commission reserves the right under this program to exceed the maximum loan amount of \$10,000 per building on a case by case basis when: the size of the building coupled with the proposed project would result in a significant impact on the downtown that would exceed the typical project under the program, and the project proposed goes beyond maintenance to improving the architectural value of the building to the downtown as determined by the Plan Commission.
- C. The loan shall be at 0% interest.
- D. The full balance of the loan shall be due immediately upon sale of the property or within seven (7) years of the approval date, whichever event happens first. The loan may not be assigned without the express written consent of both parties. The loan may be prepaid in whole or in part at any time.
- E. Loan approval shall expire six months following the date the Plan Commission approves the loan unless the project has commenced.
- F. Projects must be completed within one year of Plan Commission approval.
- G. Project participation may be limited based on the availability of program funds.
- H. Applicants will be required to sign a note and a mortgage as a condition for receiving loan funds. The mortgage will be recorded against the property at the Office of the Register of Deeds.

VI. **FAÇADE RENOVATION LOAN PROGRAM PROCEDURES:**

- A. Applicant meets with City staff for initial project discussion.
- B. Applicant submits grant application to Plan Commission, and required contractor proposal/quote to staff (according to Sec. IV.A.2. in these guidelines), containing all of the requirements specified in these guidelines. Applications must include detailed drawings and specifications. Eight (8) copies of drawings and specifications must be submitted. The Plan Commission may require drawings to be prepared by an architect.

- C. Plan Commission reviews plans and approves or denies loan request. If approved, the Plan Commission may place conditions on the proposed project.
- D. If denied, applicant may submit a revised application and repeat process.
- E. Applicant submits building and/or sign permit with final design plans as required by City code.
- F. Building Inspector reviews and approves any required permits.
- G. A "loan document" is drafted by City staff that identifies the terms of the agreement. All parties execute said letter. A note and mortgage are drafted which the applicant signs.
- H. Construction/Installation begins. Applicant has six (6) months from the execution date of the loan to begin implementation of approved improvements. Any plan changes would require approval according to Sec. IV.A.8 in these guidelines.
- I. Construction/Installation is completed within one (1) year of loan agreement signed.
- J. Applicant contacts Building Inspector to request project review to see if all code requirements have been met.
- K. Applicant provides itemized paid invoices for the project, and any outstanding bills which are also eligible for payment under the loan agreement, to City staff, along with the completed "Project Close-Out" section on the application form. While a construction lien waiver is not required, it is recommended that the applicant consider obtaining appropriate construction lien waiver(s) from the contractor(s) for the project.
- L. Applicants are allowed one partial payment for loans \$10,000 or less, and up to two partial payments for any loan above \$10,000. Plan Commission shall review the first partial payment and decide if subsequent payments shall also be reviewed by the Plan Commission or by staff.
- M. After Plan Commission approves reimbursement claim, the City Clerk forwards payment directly to the applicant.

Approved 102109

Revised 03/12/2014 (Extended western eligibility boundary).

Revised 08/17/2016 (Change Terms of Loan)


Revised 09/13/2017 (Delete WDA and Change to Plan Commission)

Revised 03/21/2019 (Allow for partial payments)

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To: Plan Commission Members
From: Scott J. Kluver, Administrator 
Re: Site Plan, Architectural Review, and Plan of Operation
Date: January 12, 2022

Enclosed you will find the materials from the Iron Works related to their proposed expansion, a 13,000 square foot building that would be placed behind the rear of the current building. A draft of the decision document has also been included, and you should review those provisions.

As far as the site plan, the plan has been reviewed for all applicable dimensional standards and for the site design, environmental and engineering, and general standards provisions in the code. I have found no issues with the plan. The site design section is included in your packet for your review as well. The applicable dimensional standards checked are:

Side Yard Setback – Complies as greater than existing (64 feet)
Rear Yard – Complies as greater than 25 feet (303 feet)
Max Building Height – Complies as less than 45 feet (34 feet)
Max Building Coverage – Complies as less than 75 percent (Building is less than 50 percent of total lot area)
Max Impervious Surface – Complies as less than 85 percent (Approx. 70 percent of area considered impervious, as impervious includes drive areas. Difficult to be exact with snow, but I am comfortable with this estimate for this project.)

This plan conforms to the special standards for manufacturing included in the code, and as this property is partially within the well-head protection district those provisions of Article 12 of the Zoning Code have been reviewed. There are no issues with the compliance of that article. *(Note: I did find a typo in the code in that article that should have been corrected. I have attached the correcting ordinance for the record.)*

As far as an updated Plan of Operation, there would be no significant changes to the operations of the facility from a zoning perspective so a new plan is not required.

Do know that a construction/post construction stormwater retention/detention plan will still need to be submitted as the construction will disturb more than 10,000 square feet of ground. This will be reviewed by staff prior to the zoning permit being granted.

Please let me know if you have any questions related to this review.

City of Washburn Plan Commission

ARCHITECTURAL REVIEW DECISION

Washburn Iron Works

Filing Date: December 29, 2021

Proper notice of hearing provided: Yes

Hearing Date: January 20, 2022

Applicant Name and Address:

Taylor Pearson

Washburn Iron Works

112 E. Bayfield Street

Washburn, WI 54891

Tax ID 33931 and 33345

DRAFT

1. **Decision:** The application for architectural review is ???

2. **Description of the Proposed Project:** The proposed project is to add and additional 100' x 130' steel building.

3. **Reasons for the Decision:** The Plan Commission must determine whether the project complies with all applicable design principles and standards:

General Architectural Standards:

- (1) Excluding residential buildings and Industrial Zoning Districts, all building exteriors facing a street, not including an alleyway, shall have at least 50 percent of the street face constructed with brick, decorative masonry, glass panel, or other appropriate similar finished façade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 25 feet along the sides of the structure that do not face a street or at least 25 percent of the that side wall distance, whichever is greater. **Not applicable as the property is located in an industrial zone.**
- (2) Outside of Industrial Zoning Districts, the appearance of any buildings with a front elevation or any building elevation facing Bayfield Street of more than 750 square feet in area shall be divided into distinct planes of 500 square feet or less. The following design features can be used to meet this provision (1) canopies or awnings; (2) arcades; (3) porches; (4) vertical wall offsets having a minimum depth of 8 inches and a minimum width of 10 feet; (5) horizontal offsets having a minimum depth of 2 feet; (6) pilasters having a minimum depth of 8 inches, a minimum width of 12 inches, and a minimum height of 80 percent of the wall height; (7) recessed areas for entryways and the like having a minimum depth of 8 inches; and (8) other suitable multidimensional design features. **N/A – Industrial zone.**
- (3) On any building on Bayfield Street, the front entrance of a building shall be encouraged to face Bayfield Street. When that does not occur, the Bayfield Street Elevation shall have the same, or similar, materials and designs as the front entrance of the building. Except for one or two-family residential buildings, when a building rake elevation faces Bayfield Street the roof line must be hidden behind the façade facing Bayfield Street. **The additional building will not front Bayfield Street, it will be behind the existing structure.**

City of Washburn Plan Commission

- (4) Oversized fenestration elements which tend to create a monumental scale shall not be used unless specifically required by the type of building or relationship to its surroundings. **This facility is already a large industrial complex for the City of Washburn.**
 - (5) Building entrances must be clearly recognizable from parking lots and pedestrian circulation routes. **The addition will not have additional public entrances.**
 - (6) Rooftop mechanical equipment shall be positioned so it is not readily visible from a public street or an abutting property in a residential zoning district or in a planned development district that allows residential uses. Rooftop mechanical equipment may be placed in an enclosure or screened from view provided such enclosure or screening is used as an element of the building's architecture. **The rooftop will have exhaust fans that should not project more than one foot. Given the building height of 34 feet, the exhaust projections should not be visible from ground level.**
 - (7) Fencing shall complement the appearance of buildings onsite. **No Fencing**
 - (8) The exterior building materials of an accessory building shall be the same as or similar to those used on the principal building. **Addition will be part of primary structure.**
 - (9) Overhead doors shall not face a public street. The Plan Commission may permit overhead doors to face a public street, but only when it has made a finding that there is no feasible alternative location for such doors. Consistent with the requirements in Article 7, the Plan Commission may approve a special exception to allow an overhead door to face a public street when there is no feasible alternative. **Overhead doors will not directly face a public street.**
 - (10) HVAC (heating, ventilating, air conditioning) equipment shall be screened from view. No HVAC shall create a noise level of more than 50 decibels as measured on a dB(A) scale at the nearest existing adjacent residence. **Air intake fans will be away from residential areas and should not be a concern. Exhaust fans on the roof should not be a concern from a sound perspective.**
 - (11) When trash, garbage and recyclable materials are stored out-of-doors, such materials shall be concealed or suitably screened from public view. A brick or stone wall, wood fence, chain-link fence with slats, and/or landscaping shall be used to totally obstruct vision into the storage areas. Any wall, fence and gate, and/or vegetative screening shall be installed or erected to a height at least 1'- 6" above the highest point of the dumpster as generally depicted below. **Complies.**
4. List of Conditions Imposed: **None.**
 5. If one or more conditions of approval are imposed, the property owner must sign this decision document and return it to the Zoning Administrator for his signature and as acceptance of the conditions of this decision.
 6. This decision may be appealed to the Common Council of the City of Washburn within 30 days of receipt of this decision by filing a written statement of appeal stating the grounds for such appeal.
 7. Any person aggrieved by this decision may also appeal this decision and any work done by the Applicant as authorized by this approval is done at the applicant's own risk.

CONSTRUCTION PERMIT APPLICATION

Permit Request: Remodeling Windows Doors Roofing Siding Plumbing/HVAC
 New Construction Deck Flat Work Electrical Other

Complete the following with name, address, (house # and mailing address) & telephone

Owner WASHBURN IRON WORKS E-Mail T.pearson@washburnironworks.com
 Construction Contractor NORTHWEST BUILDERS Phone 715-373-2661
 Address 2063 17th AVE RICE LAKE WI 54818 Phone 715-234-7666
 Excavation Contractor _____ License # _____
 Address _____ Phone: _____ License # _____

Owner is ultimately responsible for all code compliance related to the work on which this permit is issued.

PROJECT INFORMATION

Site Address 112 E. RAYFIELD ST Pin # 04-291-2-48-04-05-1 05-001-64000
 RE Tax ID # 33345 AND 33931 Zoning District INDUSTRIAL II Lot Area APPROX 5 ACRES

Description of work 100'x130' BUILDING ADDITION STEEL BUILDING AND SIDING/ROOF

Estimated Project Cost \$1,000,000

NEW CONSTRUCTION	Area Involved	Water & Sewer: <u>EXISTING</u>
Building Height <u>34'</u>	Basement _____ sq ft	Water <input type="checkbox"/> Municipal or <input type="checkbox"/> Private Well
<input type="checkbox"/> 1-story <input type="checkbox"/> Other _____	Living Area _____ sq ft	Sewer <input type="checkbox"/> Municipal or <input type="checkbox"/> Septic
<input type="checkbox"/> 2-story <input type="checkbox"/> Basement	Garage _____ sq ft	Permit Numbers _____
	Total <u>13,000</u> sq ft	<u>POSSIBLE NEW LATERALS</u>

Additional permits that may not be covered by this application: Driveways; Sewer; Water, Demolition, Sidewalks

I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the State of Wisconsin or the City of Washburn; and certify that all of the above information is accurate. If I am an owner applying for an erosion control or construction permit, I have read the cautionary statement regarding contractor financial responsibility on the reverse side of this application form.

Applicant Signature [Signature] Date 12-21-2021

CONDITIONS OF APPROVAL This permit is issued pursuant to the following conditions. Failure to comply with these conditions may result in suspension or revocation of this permit or other penalty.

See Attached Condition Letter

NOTES	<u>FEES (per Title 15 Municipal Code)</u>		PERMIT ISSUED BY: DATE ISSUED _____ PERMIT NO. _____
	<input type="checkbox"/> Remodeling <input type="checkbox"/> New Construction <input type="checkbox"/> Fence <input type="checkbox"/> Flat Work <input type="checkbox"/> Siding <input type="checkbox"/> Roofing <input type="checkbox"/> Driveway	<input type="checkbox"/> Demolition <input type="checkbox"/> Deck <input type="checkbox"/> Shelter <input type="checkbox"/> _____ <input type="checkbox"/> Early Start TOTAL _____	

tdemars@cityofwashburn.org

From: Taylor Pearson <t.pearson@washburnironworks.com>
Sent: Wednesday, December 29, 2021 2:38 PM
To: tdemars@cityofwashburn.org
Subject: RE: Permit

Tammy,

Because some of the buildings predate 1976 when my grandfather purchased the buildings we do not have an exact figure on square footage, but we believe it to be 52,700 based upon our measurements. The addition would make our facility 65,700.

Regarding the Architectural standards:

1. Rooftop equipment besides exhaust fans are currently not planned. We are working through the exhaust fan details now, there may be 6-8 of them typical projections from adjacent roof surface is about 1 foot. Likely not visible from a street unless far away (couple blocks) due to the height of the building. These would be consistent with our other buildings, I believe most people don't see our existing roof top vents from adjacent streets.
2. Overhead doors will face vacated Memorial Park Drive as well as the skating rink, so they will not face the streets unless pump house road or 3rd avenue are considered, but those are quite a distance from the new building and have other properties between the addition and the street.
3. No HVAC in the "typical" sense is planned for this building. Air supply fans will be on an exterior wall but not near a residence so the decibel reading should not be concerning. Exhaust fans at the ceiling as previously noted. Both the wall and roof fans are to move air throughout the facility during the summer months.
4. We will utilize our current trash/garbage/recycling, which is currently screened from public view.

I don't have much else to add off the top of my head – the building is part of executing on the development agreement that we signed with the city – so most people are already probably familiar with the idea that this application would be forthcoming.

I will plan on attending the plan commission meeting so that I can answer any other questions that may arise.

Taylor Pearson
Corporate President
Washburn Iron Works, Inc.
Phone 715-373-2661
Fax 715-373-2663
t.pearson@washburnironworks.com
washburnironworks.com
ISO 9001:2015 CERTIFIED

CURRENT CASTING LEAD TIME 12 WEEKS DEPENDING ON PART CONFIGURATION, CLASS OF IRON, AND UNIT. PLEASE ASK IF YOU WOULD LIKE EXPEDITES.

CURRENT SURCHARGES:

GRAY IRON 30/35 = \$0.19/POUND
GRAY IRON 40 - \$0.30/POUND
654512 DUCTILE = \$0.20/POUND
805506 DUCTILE = \$0.22/POUND
1007003 DUCTILE = \$0.45/POUND

(a) **Purposes.** Vision triangles are established at the intersection of existing and proposed roadways to help ensure that motorists are able to see pedestrians and cross traffic.

(b) **Establishment.** A vision triangle is formed by two lines along the right-of-way for the distances listed below and a chord connecting the end of those two lines (Exhibit 8-8).

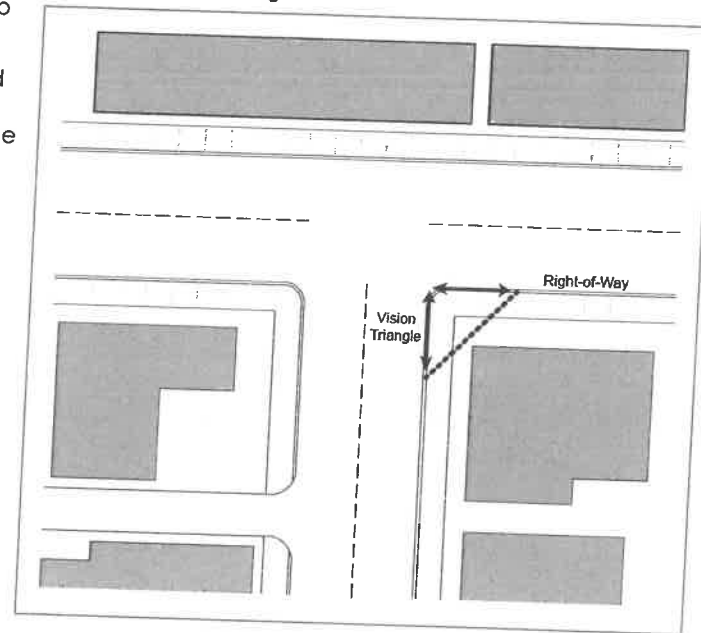
- (1) 10 feet along an alley
- (2) 15 feet along a local street
- (3) 40 feet along all other roadways

(c) **Applicability.** This section applies to all new development, except in the C-3 zoning district. Furthermore, the zoning administrator may, on a case-by-case basis, allow a lesser standard in those zoning districts where reduced or no building setbacks are encouraged or required.

(a) **Requirements of other jurisdictions.** When one or both of the roadways at an intersection are under the control of the county, state, or federal government, development shall comply with the requirements imposed by the jurisdiction with authority. In all cases, the requirement imposing the largest vision triangle shall control.

(b) **Permissible use.** The area in a vision triangle shall be kept unobstructed from 3 feet to 10 feet above the elevation of the centerline of the intersection, except for traffic signs, public utility poles, single-stem tree trunks without branches, and similar features as determined by the zoning administrator.

Exhibit 8-8. Vision triangle



8-77 to 8-90 Reserved

**DIVISION 5
RESERVED**

8-91 to 8-120

**DIVISION 6
ENVIRONMENTAL AND ENGINEERING**

Sections

8-121 Site restrictions	8-126 Stormwater control
8-122 Building grade	8-127 Noxious odors
8-123 Sanitation and water supply	8-128 Air pollution
8-124 Preservation of topography	8-129 Noise
8-125 Erosion and sedimentation control	8-130 Wastewater discharges

8-121 Site restrictions

If the zoning administrator determines that a parcel of land, whether vacant, partially developed, or fully developed, contains one or more development constraints that would preclude the normal use of the parcel for a use that is otherwise permitted in the zoning district in which it is located, he or she shall render a written determination that states the best available facts related to the development constraint and other information as may be appropriate. Examples of development constraints include threatened/endangered species, unfavorable topography, rock formations, shallow depth to bedrock, unstable or otherwise unsuitable soils,

stormwater runoff, inadequate drainage, erosion susceptibility, high groundwater, or any other constraint that is harmful to the public health, safety, and welfare. Once such a determination has been made, the zoning administrator, building inspector, or other governmental official or body shall not issue a development order or other approval authorizing the development in the area subject to the development constraint. The property owner shall have the right to appeal such administrative decision consistent with the procedures and requirements in Article 7. The zoning administrator may reconsider his or her determination at any time and render a new determination if new or additional facts become known or if the facts upon which the determination was made are not accurate.

8-122 Building grade

The first floor of a building that is erected or otherwise placed on a lot shall be set at a grade approved by the city building inspector. In establishing the building's grade, the building inspector should consider the grade of other buildings in the immediate area, effects on drainage, and safe vehicular access. If the building, in whole or in part, is located within the 100-year floodplain, the first floor elevation shall comply with requirements set forth in Article 9.

8-123 Sanitation and water supply

A land use involving human use or occupancy shall be served by safe and adequate facilities for water supply and sewage disposal.

8-124 Preservation of topography

(a) **Purpose.** The purpose of this section is to protect the property owner from possible damage due to change in the existing grade of adjoining lands, and to aid in preserving and protecting the natural beauty and character of the landscape.

(b) **Standard.** No change in the existing topography of any land shall be made which would result in increasing any portion of the slope to a ratio greater than 3 horizontal to 1 vertical, within a distance of 20 feet from the property line, or which would alter existing drainage or topography as to adversely affect the adjoining property, except with the approval of the Plan Commission consistent with the procedures and requirements in Division 12 of Article 7.

In no case shall any slope exceed the normal angle of slippage of the material involved, and all slopes shall be protected against erosion. If slopes up to 1½ horizontal to 1 vertical are approved by the Plan Commission, these slopes shall be protected against slippage and erosion by the use of retaining walls.

8-125 Erosion and sedimentation control

Any land-disturbing activity authorized by this chapter shall comply with applicable erosion control regulations as may be adopted by the City.

8-126 Stormwater control

Any land-disturbing activity authorized by this chapter shall comply with applicable stormwater management regulations as may be adopted by the City.

8-127 Noxious odors

In addition to any regulations relating to noxious odors in this chapter, all land uses shall comply with the standards for noxious odors in s. 11-6-3(h) of the municipal code.

8-128 Air pollution

In addition to any regulations relating to air pollution in this chapter, all land uses shall comply with the standards for air pollution in s. 11-6-3(1) of the municipal code.

8-129 Noise

In addition to any regulations relating to noise in this chapter, all land uses shall comply with the standards for noise in s. 11-2-6 of the municipal code.

8-130 Wastewater discharges

In addition to any regulations relating to wastewater discharges in this chapter, all land uses shall comply with the standards for wastewater discharges in s. 9-2-5(h) of the municipal code.

8-131 to 8-140 Reserved

**DIVISION 7
GENERAL STANDARDS**

Sections

8-141 Licensing with City	8-145 Compliance with building codes
8-142 Licensing with state agencies	8-146 Fire and explosions
8-143 Special provisions for residential land uses	8-147 Tree and shrub removal
8-144 Driveways	

8-141 Licensing with City

In addition to meeting the requirements contained in this article, land uses shall also meet any licensing requirements as may be established by the City.

8-142 Licensing with state agencies

If a land use or any related activity requires a license from the state, or its agent, to operate, such license shall be obtained prior to the establishment of such use and maintained for the life of the use or until the state, or its agent, no longer requires such license.

8-143 Special provisions for residential land uses

(a) **Use of a recreational vehicle for occupancy.** No mobile home or recreational vehicle shall be used for habitation for more than 14 days per calendar year with no more than 5 consecutive days.

(b) **On-site storage of a recreational vehicle.** No more than two recreational vehicles may be kept on a residential property. A recreational vehicle that is not stored within a building shall be licensed by the state of Wisconsin or any other state. A recreational vehicle shall not be stored in a building setback as established for the zoning district in which the parcel is located.

(c) **Parking of a commercial vehicle as an ancillary residential use.** One panel truck or one pickup truck that is used for business purposes and/or personal use may be parked on a residential property. Larger trucks may be allowed as a conditional use (See Exhibit 8-1).

(d) **Residential parking.** Parking of vehicles accessory to a residential use shall be limited to those actually used by the residents, or for the temporary parking of guests.

(e) **Occupancy.** A dwelling unit shall not be occupied by more than one household unit.

(f) **Plumbing fixtures in detached accessory buildings.** A detached nonresidential building may have a toilet and a lavatory sink in a single room (i.e., a half-bath), and one sink. If the detached building is directly related to an outdoor swimming pool or an outdoor sauna, such building may also have a standup shower. Bath tubs are prohibited in all accessory buildings.

8-144 Driveways

(a) **Generally.** Every residence shall have a driveway that connects the dwelling unit to a public or private street. The driveway shall be suitable for automobile use, and provide adequate slope, width, and overhead clearance to allow uninhibited access by emergency vehicles and equipment.

(b) **Standards.** A driveway shall comply with the requirements set forth in Chapter 3 in Title 6 of the municipal code.

8-145 Compliance with building codes

A building shall comply with all applicable building codes for the intended use.

8-146 Fire and explosions

Any land use involving materials which could decompose by detonation shall be located at least 400 feet from a property in a residential or commercial zoning district or a planned development district, except that this standard shall not apply to the storage or usage for normal residential or business purposes. All activities and storage of flammable and explosive materials at any point shall be provided with adequate safety and fire fighting devices consistent with all fire prevention codes of the state of Wisconsin.

8-147 Tree and shrub removal

Within the R-1, R-2, and R-6 zoning districts, no more than 50 percent of the natural vegetation (cumulative) may be removed from a parcel for construction of a principal building, accessory buildings, driveway area, and containment areas and structures for pets and domestic livestock as may be allowed.

8-148 to 8-160 Reserved

**DIVISION 8
SITE DESIGN**

Sections

8-161 Legislative findings	8-163 General site design principles
8-162 Applicability	8-164 Specific design principles

8-161 Legislative findings

The Common Council makes the following legislative findings regarding the site design requirements in this chapter:

- (1) The design and layout of a site, including principal and accessory buildings, pedestrian routes, parking areas, access drives, building service areas, docking and loading areas, outdoor lighting, signage, stormwater management facilities, and other site features, can have a substantial and long-lasting effect on the utility of the subject property and on surrounding properties and the overall character of a community.
- (2) The requirements in this section are intended to provide meaningful guidance to applicants, design professionals, and public officials.
- (3) The requirements in this section are intended to promote the public health, safety, and welfare and are reasonably related to the public purpose of achieving an attractive, functional, and prosperous community.

8-162 Applicability

Those land uses designated as requiring site plan review in the land-use matrix (Exhibit 8-1) must comply with the requirements in this division.

8-163 General site design principles

Development subject to review under this division shall adhere to the following design principles along with other requirements that may apply:

- (1) A building shall be arranged on the site so as to not impede traffic accessibility and circulation to or from adjacent streets and adjoining sites developed with similar nonresidential uses.
- (2) The front of the building shall be generally parallel to the street or a public area, such as a courtyard, plaza, or the like.
- (3) Cross accesses shall be provided between adjoining commercial parcels whenever it is feasible to do so.

- (4) A docking or loading area for a commercial, institutional, or industrial building shall be easily accessible to service vehicles, partitioned from the on-site parking area, and designed to serve multiple establishments and tenants, when possible. Partitioning from view may be accomplished by (a) integrating such area into the overall design of the building (e.g., inside of the building or use of architectural extension of a building wall), (b) using a fence; a berm; landscaping, above what is otherwise required in this chapter; other suitable feature; or (c) any combination thereof.
- (5) Existing natural resources and topographic features on the site shall be preserved to the greatest extent possible while affording a reasonable use of the property.
- (6) The project shall not create any hazard.
- (7) The project shall be designed to avoid existing hazards, whether manmade or natural, and if avoidance is not possible, to mitigate the effects of the hazard to a satisfactory level necessary to protect the public health, safety, and welfare.
- (8) Parking areas and pedestrian routes located on the site shall be designed to promote safety and efficient traffic flow.

Amendment(s):

- 1. Ordinance 18-006, adopted October 8, 2018

8-164 Specific design requirements

In addition to the principles enumerated in this division, projects shall be designed to comply with all other development standards in this chapter that may apply.

8-165 to 8-180 Reserved

**DIVISION 9
GENERAL ARCHITECTURAL STANDARDS**

Sections

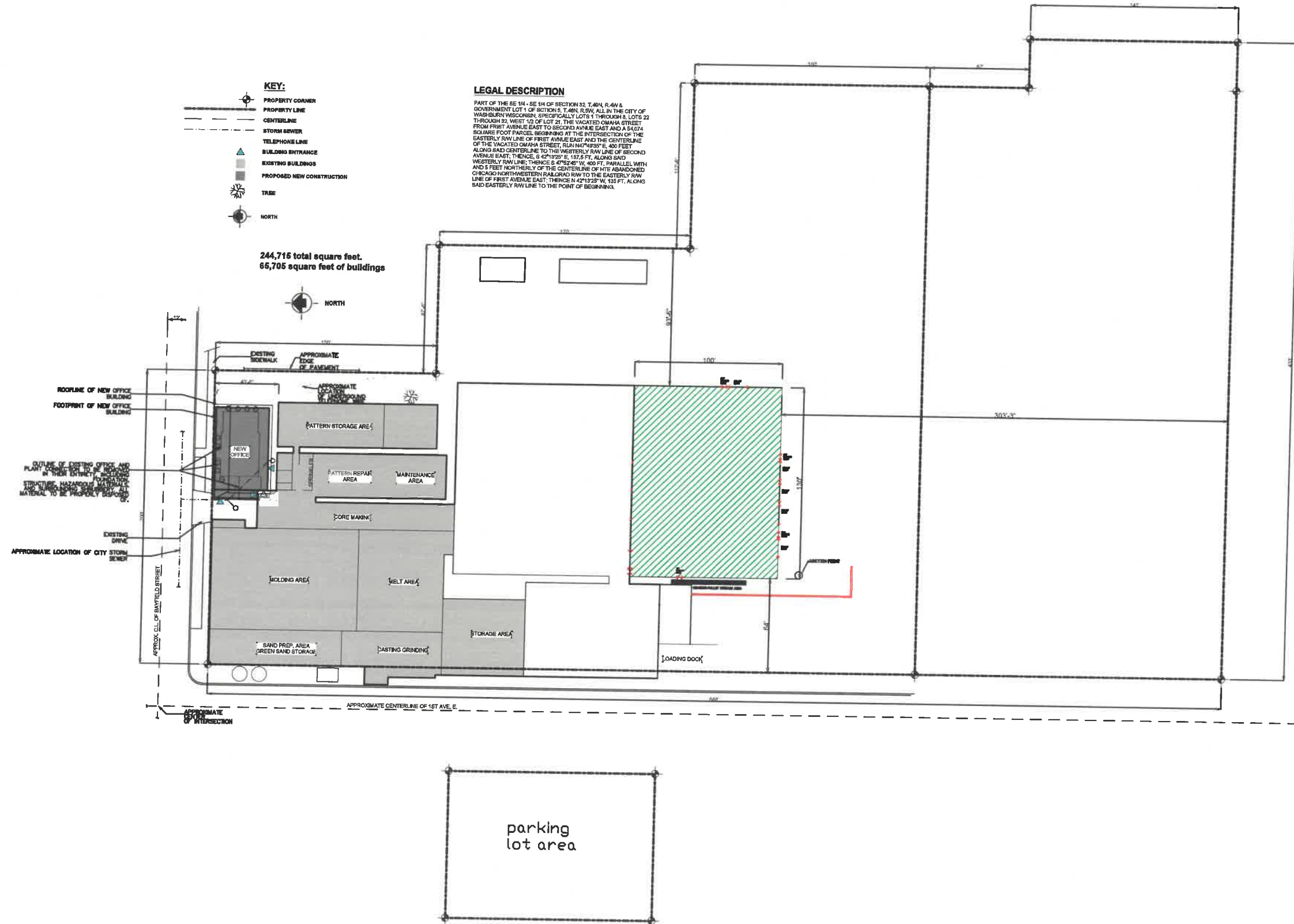
8-181	Legislative findings	8-183	Architectural standards
8-182	Applicability	8-184	Additional standards in the Downtown Design Overlay district

8-181 Legislative findings

The Common Council makes the following legislative findings regarding the architectural requirements in this article:

- (1) The outward design appearance of a building can have a substantial and long-lasting effect on surrounding properties and the overall character of a community.
- (2) Buildings and especially those within a largely developed area should fit into the context in which they occur.
- (3) Architectural design standards should allow for a variety architectural styles and be flexible to the greatest extent possible.
- (4) The standards in this section are intended to provide meaningful guidance to applicants, design professionals, and public officials.
- (5) This section is not intended to limit or infringe upon reasonable accommodations to afford a person with disabilities equal opportunity to use and enjoy a building.
- (6) The standards in this section are intended to promote the public health, safety, and welfare and are reasonably related to the public purpose of achieving an attractive, functional, and prosperous community.

Set Backs

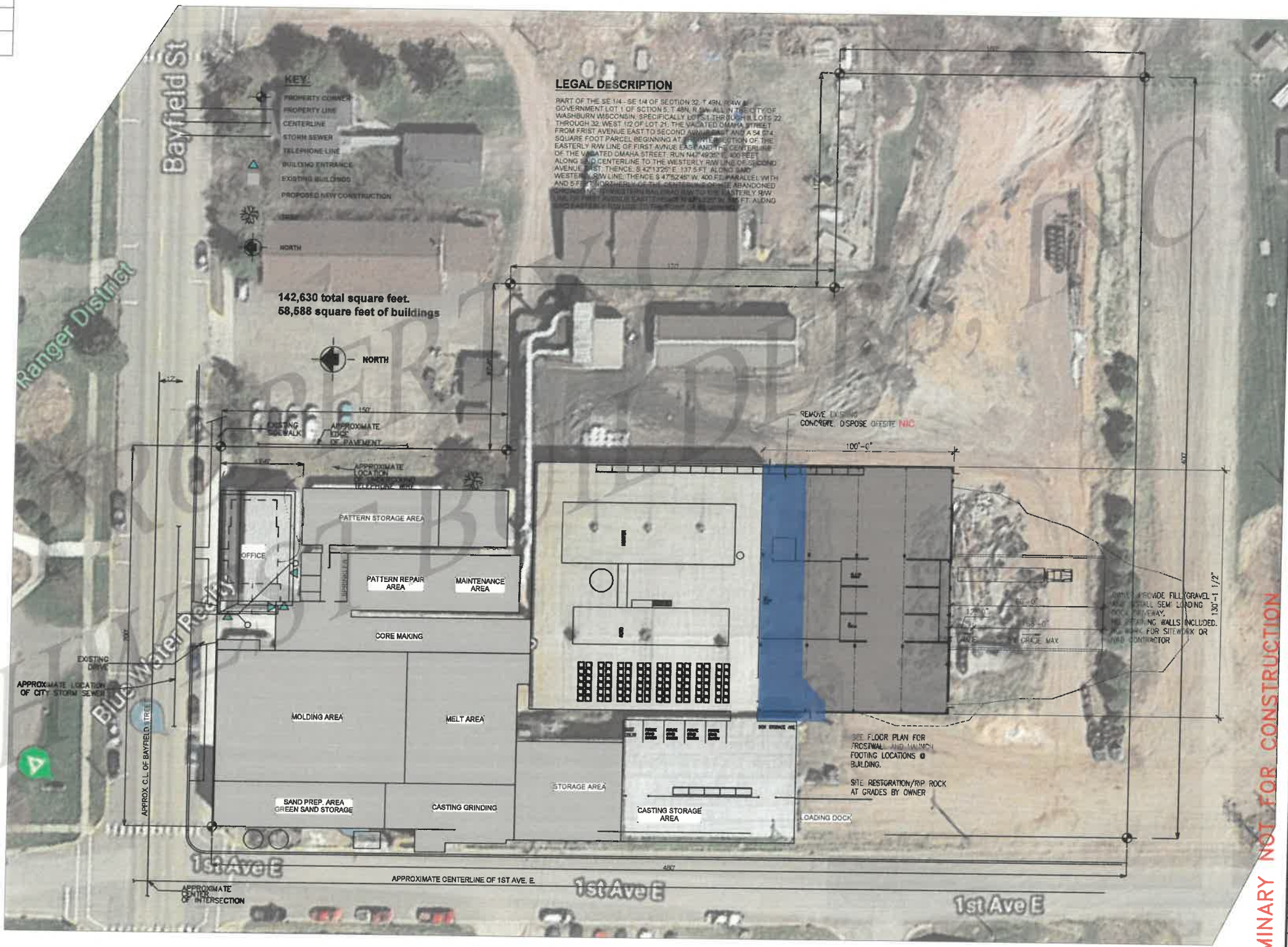


PROPOSED ADDITION: WASHBURN IRON WORKS WASHBURN, WI

SHEET #	SHEET TITLE
G101	SITE PLAN
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS/ BUILDING SECTION

DESIGN/BUILD
NWB
GENERAL CONTRACTOR

Northwest Builders, Inc.
2063 17 1/2 Ave.
Rice Lake, WI 54868
Phone: (715) 234-7066
Fax: (715) 234-9378
www.nwbuildersinc.com



142,630 total square feet.
58,588 square feet of buildings

LEGAL DESCRIPTION

PART OF THE SE 1/4 - SE 1/4 OF SECTION 22, T 48N, R 9W, ALL IN THE CITY OF WASHBURN, WISCONSIN, SPECIFICALLY LOTS 1 THROUGH 12, WEST 1/2 OF LOT 21, THE VACATED OMAHA STREET FROM FIRST AVENUE EAST TO SECOND AVENUE EAST AND A 54,774 SQUARE FOOT PARCEL BEGINNING AT THE INTERSECTION OF THE EASTERLY RAW LINE OF FIRST AVENUE EAST AND THE CENTERLINE OF THE VACATED OMAHA STREET, RUN N 4° 42' 00" E, 400 FEET ALONG SAID CENTERLINE TO THE WESTERLY RAW LINE OF SECOND AVENUE EAST, THENCE S 42° 13' 25" E, 137.5 FEET ALONG SAID WESTERLY RAW LINE, THENCE S 47° 52' 45" W, 400 FEET PARALLEL WITH AND 5 FEET NORTHWESTERLY OF THE CENTERLINE OF SAID ABANDONED OMAHA STREET, TERMINAL BOUNDARY TO THE WESTERLY RAW LINE OF FIRST AVENUE EAST, THENCE N 42° 22' 00" W, 400 FEET PARALLEL WITH AND 5 FEET NORTHWESTERLY OF THE CENTERLINE OF SAID ABANDONED OMAHA STREET TO THE POINT OF BEGINNING.

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED ADDITION:
WASHBURN IRON WORKS
WASHBURN, WI

DATE REVISION	15 MAY 2018
REVISED	BID SET
DESIGNED BY	DRO
PROJECT NO.	18-xxx
DATE TITLE	SITE PLAN
DRAWN BY	G101

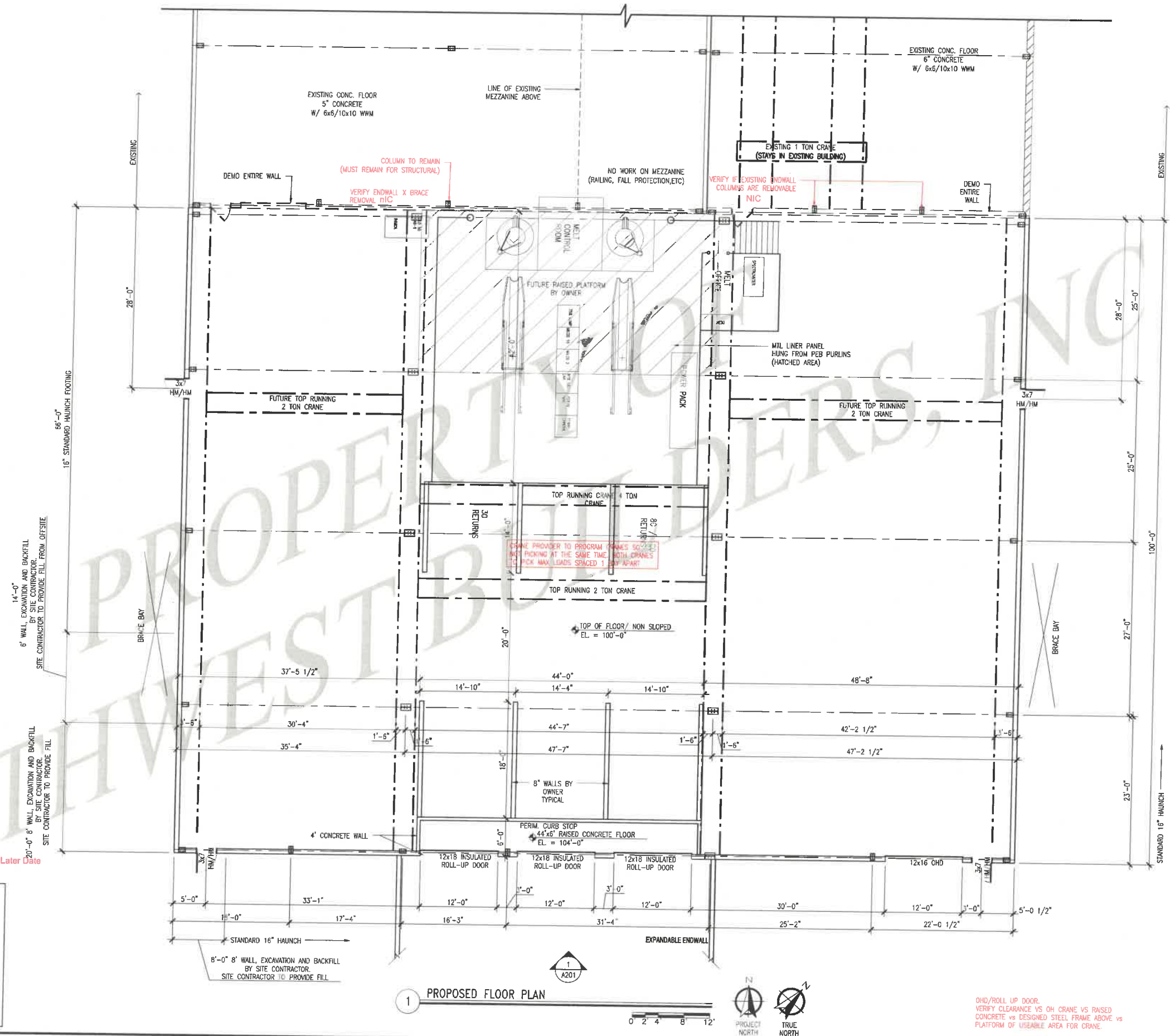
1 SITE PLAN

0 7.5 15 30 45'



NORTHWEST BUILDERS, INC.

PRELIMINARY NOT FOR CONSTRUCTION

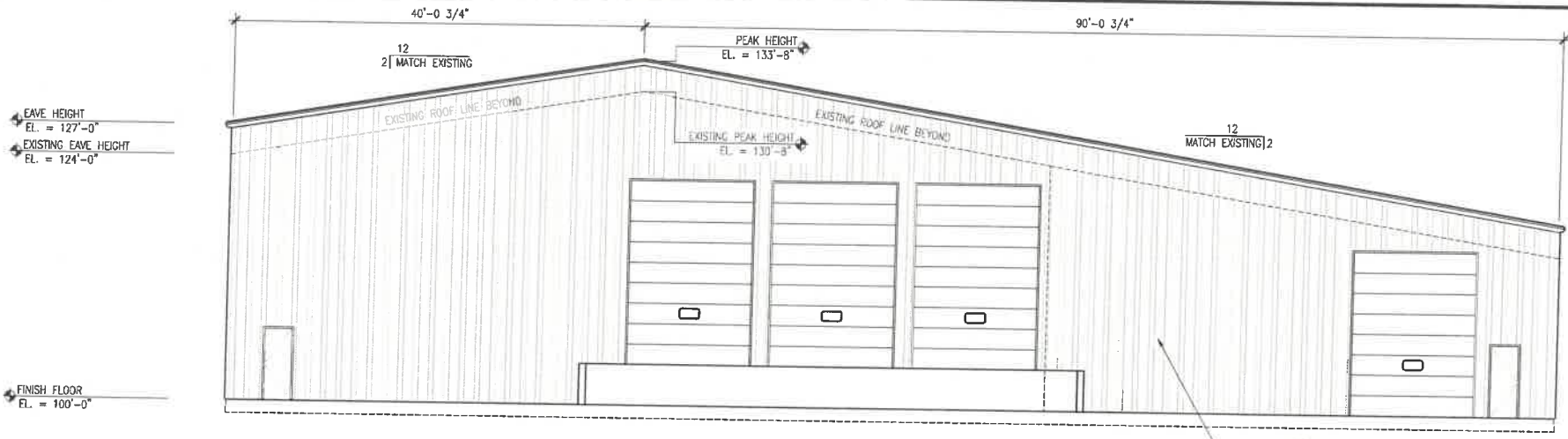


GENERAL PLAN NOTES:
 1) FIRE SUPPRESSION/HVAC/ELECTRICAL/PLUMBING BY OWNER
 2) EXTERIOR CONCRETE SLABS BY OWNER TO MEET ADA CODE
 3) PROPOSAL AND PLAN DEPENDENT ON STATE APPROVAL
 (4) NO UTILITY RELOCATION INCLUDED
 (5) NWB TO PROVIDE (5) 4x4 ROOF CURBS ONLY, NO TOP, SIZES TBD BY OWNERS SUBCONTRACTOR *Not in Contract TO Figure Out at Later Date*
 NWB PROVIDE (4) 4x4 WALL PENETRATIONS, NO LOUVERS OR HVAC INCLUDED, SIZES TBD BY OWNERS SUBCONTRACTORS *Not in Contract TO Figure Out at Later Date*

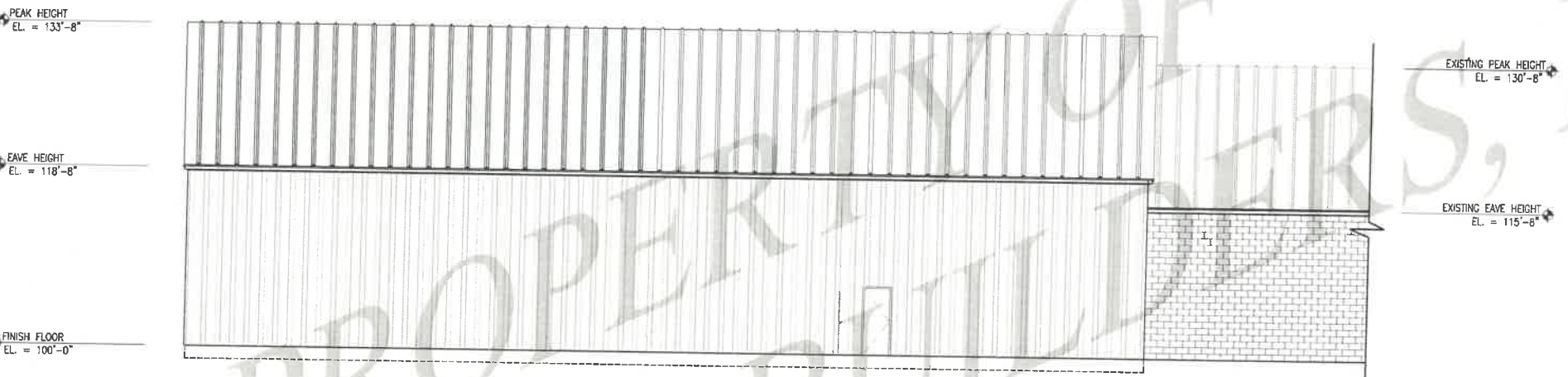
TYPICAL FLOOR CONSTRUCTION:
 6\"/>
 16\"/>
 -FINISH GRADE TO BE POUR READY
 -FINAL COMPACTED GRADE TO BE WITHIN .05\"/>
 -ENTIRE AREA TO HAVE MIN OF 4\"/>
 -ENTIRE AREA TO HAVE MIN OF 18\"/>
 -EXCAVATE BACKFILL AND COMPACT PAD FOOTINGS UNDER COLUMNS
 -INTERIOR COLUMNS FIGURE 605X 24\"/>
 -EXTERIOR COLUMNS FIGURE 60X 16\"/>
 -NWB SHALL EXCAVATE PERIMETER HAUNCH FOOTING
 -SITE CONTRACTOR TO BACKFILL AND COMPACT

1 PROPOSED FLOOR PLAN
 0 2 4 8 12'

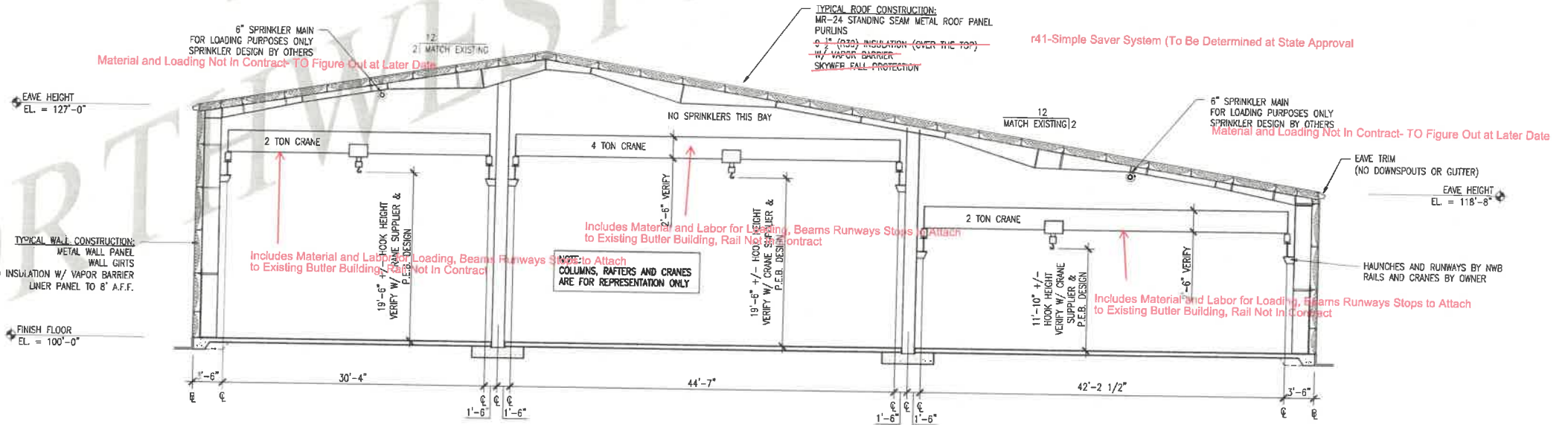
OHD/ROLL UP DOOR.
 VERIFY CLEARANCE VS OH CRANE VS RAISED CONCRETE VS DESIGNED STEEL FRAME ABOVE VS PLATFORM OF USABLE AREA FOR CRANE.



1 SOUTH ELEVATION



2 EAST ELEVATION



3 TYPICAL BUILDING SECTION



DESIGN/BUILD
NWB
GENERAL CONTRACTOR
Northwest Builders, Inc.
2063 17 1/2 Ave.
Rice Lake, WI 54868
Phone: (715) 234-7066
Fax: (715) 234-9378
www.nwbuilderinc.com

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED ADDITION:
WASHBURN IRON WORKS
WASHBURN, WI

DATE ISSUED: 15 MAY 2018
SET TYPE: BID SET
DRAWN BY: DRO
PROJ. NO.: 18-xxx
SHEET TITLE: EXTERIOR ELEVATIONS/
BUILDING SECTION
SHEET NO.: A201

PROPERTY OF NORTHWEST BUILDERS, INC.

CITY OF WASHBURN

Ordinance No. 17-014

An ordinance adopted by the Common Council for the City of Washburn at its regular meeting of October 9, 2017, for the purpose of allowing safe land uses within a wellhead protection zone by amending Exhibit 12-1 (last entry) of the City's Zoning Code, Chapter 13, Washburn City Ordinances.

1. Amend the last entry of Exhibit 12-1 as follows:

Exhibit 12-1 Permitted Land Uses and Activities

...

Minimum separation between well and land use/activity: 800 feet

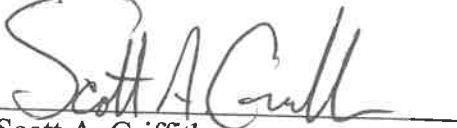
printing and duplicating businesses,
facilities involving manufacturing or industrial processes,
bus or truck terminals,
repair shops, excluding motor vehicle and small engine repair
salt storage buildings

Minimum separation between well and land use/activity: none


Institutional, commercial, and industrial land uses provided such use is connected to a municipal sanitary sewer service. , except that the following are strictly prohibited:
motor vehicle fuel stations,
vehicle repair establishments,
auto body repair,
solid waste disposal or handling facilities,
wastewater treatment facilities,
spray wastewater facilities,
junk yards or auto salvage yards,
bulk fertilizer and/or pesticide facilities,
asphalt products manufacturing,
dry cleaning businesses,
electroplating facilities,
exterminating businesses,
paint and coating manufacturing,
hazardous and/or toxic materials storage,
hazardous and/or toxic waste facilities,
radioactive waste facilities,

recycling facilities,
cemeteries,
underground storage tanks of any size,
and any other use determined by the zoning administrator to pose a high-risk of polluting
the groundwater.

2. Effective Date of Ordinance. This ordinance shall take effect upon passage
and publication.



Scott A. Griffiths
Mayor

Attest: 

Scott J. Kluver
City Clerk

Adopted: Oct. 9, 2017

Published: 10/9/17

Printers Affidavit of Publication

(State of Wisconsin)

vs.

(County of Ashland)

Karen Petras, being duly sworn, on oath, says that she is the Legal Notice Representative of the daily newspaper known as **The Daily Press** and published at Ashland in Ashland County and the State of Wisconsin, says that the annexed printed copy of:

Ordinance 17-014

Which forms part of this affidavit, was published in the said newspaper on the following dates:

10/19

And further, that the said printed notice so annexed was taken from the said **The Daily Press**, the newspaper in which the same was published.

By: Karen Petras
Karen Petras

Title: Legal Notice Representative

Subscribed and sworn to before me on this 17
of Oct 2017 AD

Karen A. Petras

Notary Public

My term expires on: February 3, 2019

FEES:

Inset of lines @ .7096 = \$ 86.57

Inset of lines @ .5605 = \$

Add Affidavit Fee = \$1.00

Total = \$ 87.57

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Plan Commission Members
From: Scott J. Kluver, ^{SK} Administrator
Re: Draft Ordinance for Residential Patios
Date: January 14, 2022

Enclosed you will find a conceptual ordinance related to the outdoor living areas/kitchens that were discussed last month. It has been redefined in this ordinance as a residential patio. This would apply to residential uses only, as commercial uses do have a separate provision that would apply to them, plus where alcohol is involved, there are separate provisions related to outdoor sales/beer gardens.

Only a zoning permit would be required for a residential patio. Please note the draft setback requirements, and other provisions to see if you find that acceptable.

If the Plan Commission finds this conceptual ordinance acceptable, or acceptable with a few adjustments, it can be reviewed legally and then go forward with the formal approval process which would start with a public hearing and consideration of a recommendation for approval in February.

Please let me know if you have any questions.

**CITY OF WASHBURN
Ordinance No. 22-**

An ordinance adopted by the Common Council for the City of Washburn at its regular meeting of , 2022 for the purpose of amending the City's Zoning Code (Chapter 13 of the Municipal Code) with regard to Residential Patios and other matters.

1. Amend Chapter 13, Article 3 by deleting the definition for Patio (#222) in Section 3-1 together with Exhibit 3-8. Reference numbers for any subsequent exhibits are to be renumbered accordingly.

2. Amend Chapter 13, Article 3 by including the following land use in Section 3-2 Land Use Definitions:

17.23.5 **Residential Patio** An outdoor area (i.e., not under roof) that is hard surfaced with concrete, pavers, or other similar surface and is intended for outdoor living/leisure. A residential patio may incorporate a pergola, fixed or moveable seating, a fixed or moveable table, an outdoor fireplace, an outdoor kitchen/food prep area and appliances, and similar amenities.

3. Amend Chapter 13, Article 8, Exhibit 8-1 Land Use Matrix by inserting the following into the table:

	Special Standards	Secondary Review	R-1	R-2	R-6	R-7	C-1	C-2	C-3	I-1	L-1	M	MUW
17.23.5 Residential Patio	8-543.5	ZP	P	P	P	P	P	P	P	-	-	-	P

4. Amend Chapter 13, Article 8, by inserting Section 9-543.5 to read as follows:

8-543.5 Residential Patio

(a) **Location.** A residential patio may only be located in the side or rear yard.

(b) **Setbacks.** The edge of the patio surface shall not be less than 10 feet to the rear lot line or 10 feet to the side-yard lot line. Any fixed improvements that constitute a structure shall comply with the building setback requirements established for the zoning district in which the subject property is located.

(c) **Buildings and related uses.** Any swimming pool or building that abuts or is surrounded by a residential patio is not considered a part of the residential patio and as such shall comply with all other requirements as applicable.

5. Effective Date of Ordinance. This ordinance shall take effect upon passage and publication.

washburnadmin@cityofwashburn.org

From: Tim Schwecke <tim.schwecke@civitekconsulting.com>
Sent: Thursday, January 13, 2022 4:26 PM
To: washburnadmin@cityofwashburn.org
Cc: 'Tammy Demars'
Subject: RE: Classification of Outdoor Kitchens
Attachments: Ordinance 2022-##- Outdoor patio.doc

Hi Scott,

Please find attached the draft ordinance for your review.

I ended up referring to it as Residential Patios, although Outdoor Living Areas would work.

Not having been part of your discussions, I'm taking something of a stab in the dark, especially with the development standards.

With that in mind, let me know if anything is missing or needs tweaking.

Be well,

Tim
(m) 920-728-2814

From: washburnadmin@cityofwashburn.org
Sent: Thursday, January 06, 2022 7:56 AM
To: 'Tim Schwecke' <tim.schwecke@civitekconsulting.com>
Subject: RE: Classification of Outdoor Kitchens

Tim,

If I could get something by next Thursday, we could discuss it in more detail at our January meeting. If they are good with it, it could start the formal approval process for our February meeting.

Scott Kluver
City of Washburn

From: Tim Schwecke <tim.schwecke@civitekconsulting.com>
Sent: Wednesday, January 5, 2022 3:35 PM
To: washburnadmin@cityofwashburn.org
Cc: 'Tammy Demars' <tdemars@cityofwashburn.org>
Subject: RE: Classification of Outdoor Kitchens

Scott,

Do you have any due dates in mind?

- Initial draft ____
- Final draft ____

Tim

From: washburnadmin@cityofwashburn.org
Sent: Wednesday, January 05, 2022 3:31 PM
To: 'Tim Schwecke' <tim.schwecke@civitekconsulting.com>
Cc: 'Tammy Demars' <tdemars@cityofwashburn.org>
Subject: RE: Classification of Outdoor Kitchens

Tim,

Please proceed with a draft as you had outlined below.

As much as I would love to get our codification project done, we would need about 10 times what we have received in order to make a dent in our projects.

Scott Kluver
City of Washburn

From: Tim Schwecke <tim.schwecke@civitekconsulting.com>
Sent: Tuesday, December 21, 2021 11:06 AM
To: washburnadmin@cityofwashburn.org
Cc: 'Tammy Demars' <tdemars@cityofwashburn.org>
Subject: RE: Classification of Outdoor Kitchens

Scott,

There is an accessory land use that may cover the commercial part of this. It could be tweaked if needed.



In a similar vein, a use for "Outdoor living area" can be added to Exhibit 8-1 (Land-Use Matrix). It would be part of the Accessory Land use section (series 17).

The revised table would look something like this, without the fill color fill.

17.21	Outdoor food and beverage service	8-541	SP, RQ, ZP	-	-	-	-	C	C	C	-	-	-	C
17.##	Outdoor living area	8-541.5	ZP	P	P	P	P	-	-	-	-	-	P	P
17.22	Play structure [7]	8-542	-	P	P	P	P	P	-	-	-	-	-	-

A definition for "Outdoor living area" would be added to Section 3-2. Such definition would state that this use is accessory to a residential use (SF, duplex, or MF).

Finally, a new section (8-541.5) would be created to list related development standards, like special setbacks.

Let me know if I can help draft the ordinance to do the above as briefly described.

Final thought; have you considered using some of the federal grant monies to codify the municipal code?

Tim
(m) 920-728-2814

From: washburnadmin@cityofwashburn.org
Sent: Tuesday, December 21, 2021 8:43 AM
To: 'Tim Schwecke' <tim.schwecke@civitekconsulting.com>
Cc: Tammy Demars <tdemars@cityofwashburn.org>
Subject: RE: Classification of Outdoor Kitchens

Tim,

In our initial discussion of this topic, we are looking for an ordinance that would accomplish the following:

Definition – outdoor living space with permanently placed structures

- Keep these out of the front yard (side yards not sure)
- Follow accessory structure setbacks
- Does not count as an accessory structure unless there is a roof
- Residential applications would be a standard zoning permit; commercial applications would require site plan review

That is all I have for now – do you have any examples that would fit this?

Scott Kluver
City of Washburn

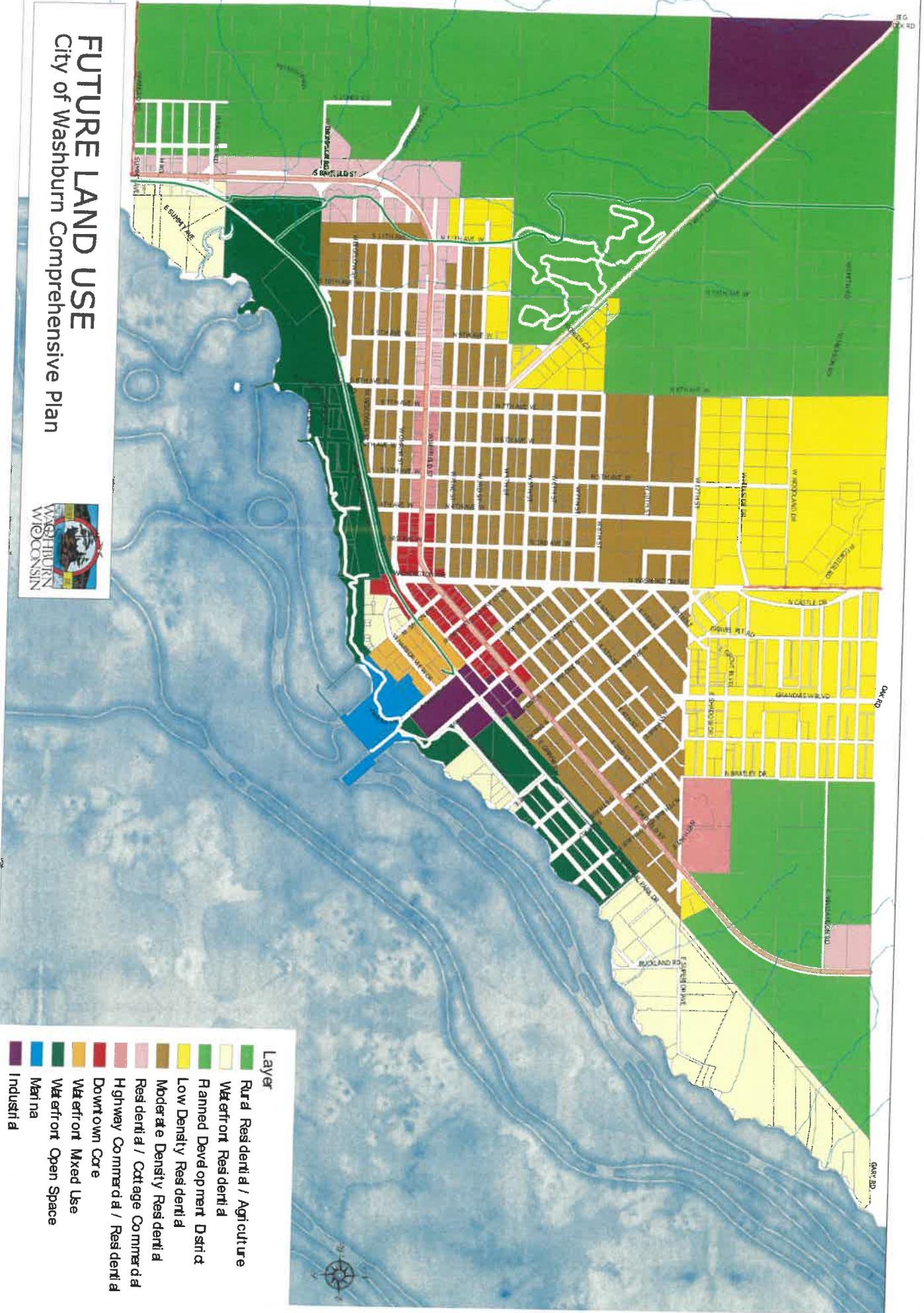
From: Tim Schwecke <tim.schwecke@civitekconsulting.com>
Sent: Thursday, December 2, 2021 1:55 PM
To: washburnadmin@cityofwashburn.org
Cc: 'Tammy Demars' <tdemars@cityofwashburn.org>
Subject: RE: Classification of Outdoor Kitchens

Scott,

There's been a huge increase in outdoor living areas especially in the last few years (no wonder).

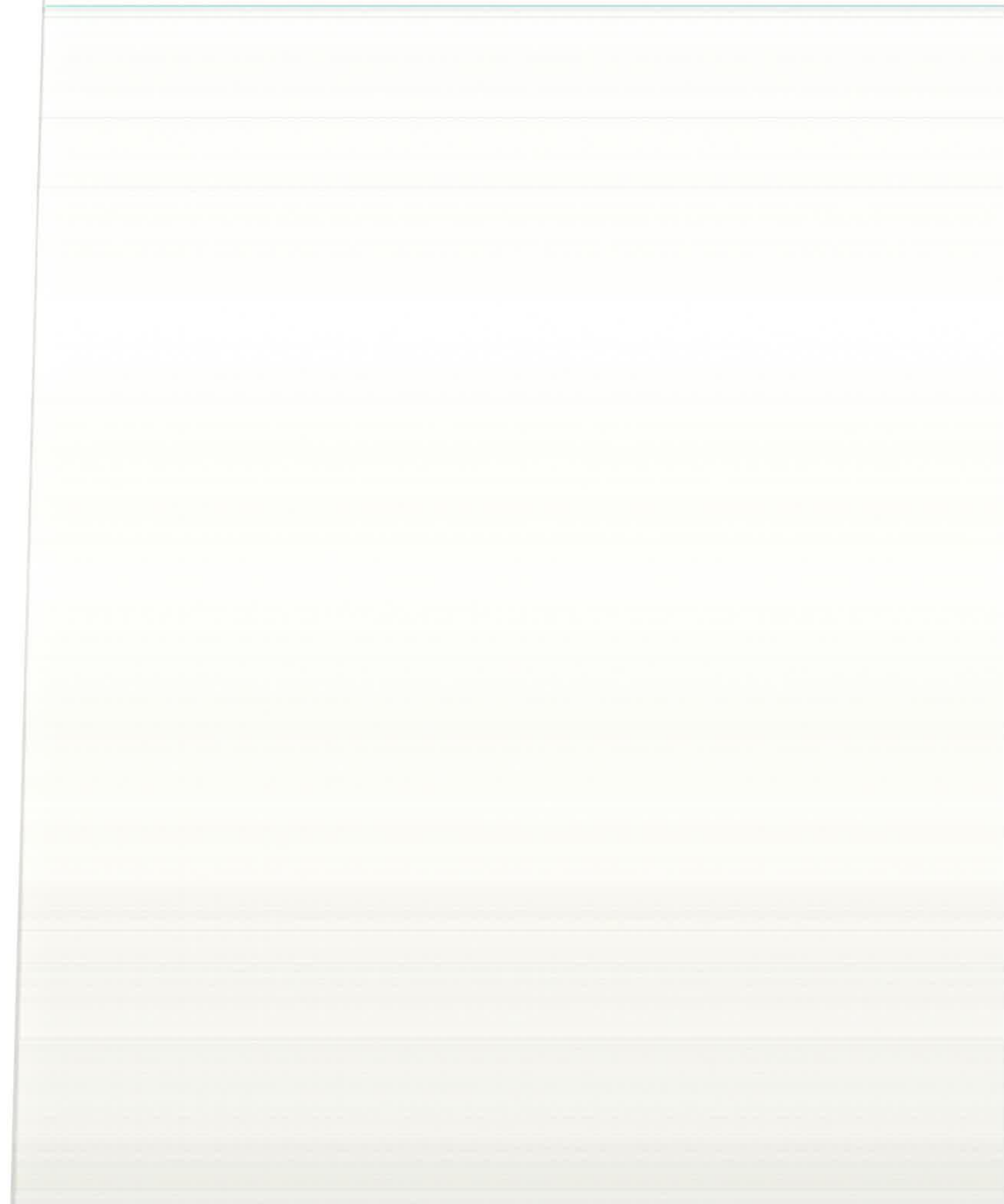
FUTURE LAND USE

City of Washburn Comprehensive Plan



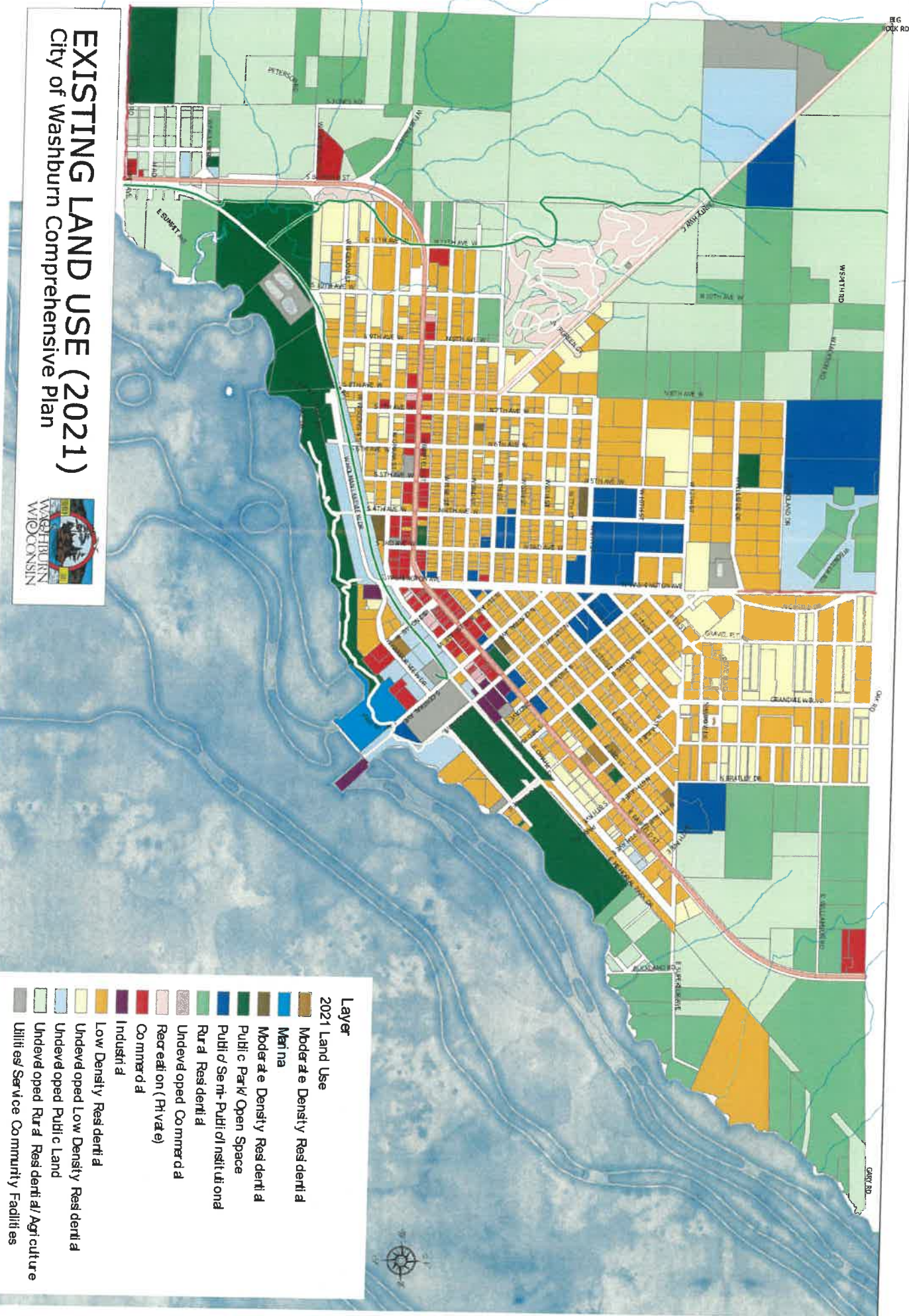
Layer

- Rural Residential / Agriculture
- Waterfront Residential
- Planned Development District
- Low Density Residential
- Moderate Density Residential
- Residential / Cottage Commercial
- Highway Commercial / Residential
- Downtown Core
- Waterfront Mixed Use
- Waterfront Open Space
- Marina
- Industrial

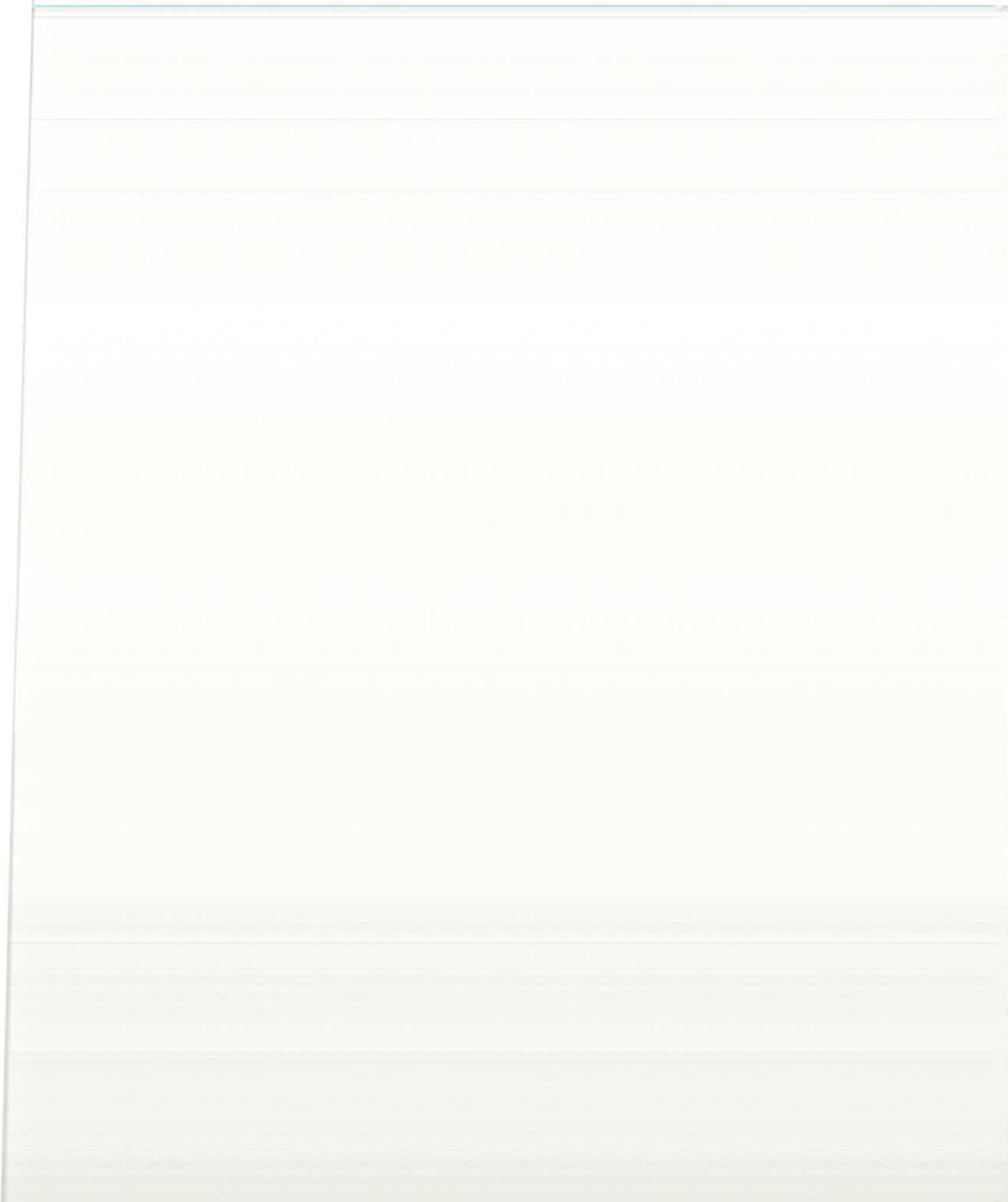


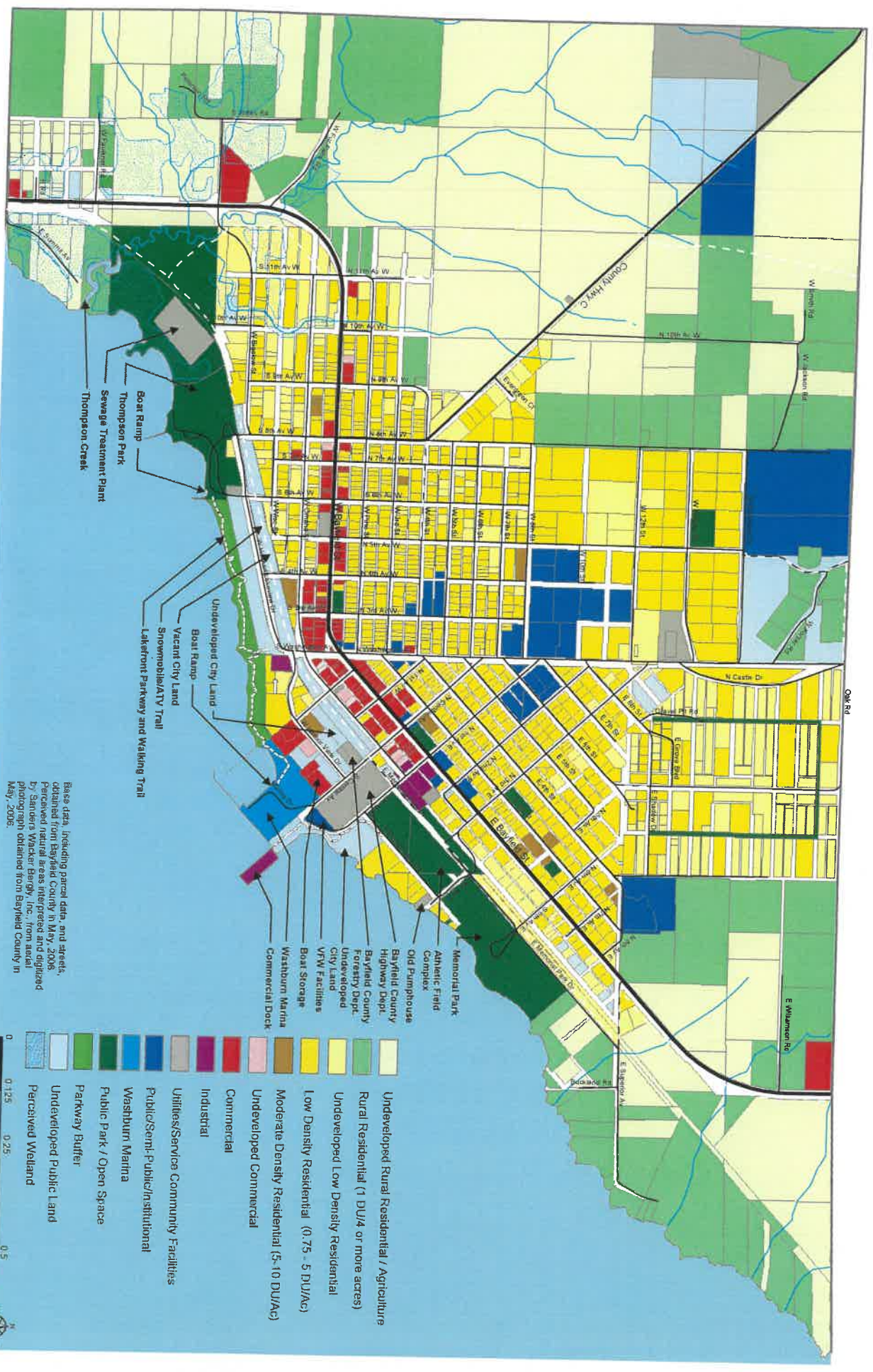
EXISTING LAND USE (2021)

City of Washburn Comprehensive Plan



Layer	2021 Land Use
	Moderate Density Residential
	Maina
	Moderate Density Residential
	Public Park/Open Space
	Public/Semi-Public Institutional
	Rural Residential
	Undeveloped Commercial
	Recreation (Private)
	Commercial
	Industrial
	Low Density Residential
	Undeveloped Low Density Residential
	Undeveloped Public Land
	Undeveloped Rural Residential/Agriculture
	Utilities/Service Community Facilities





City of Washburn, WI Comprehensive Plan 2007-2027
 Figure 4-1: Existing Waterfront Development Page 4-7

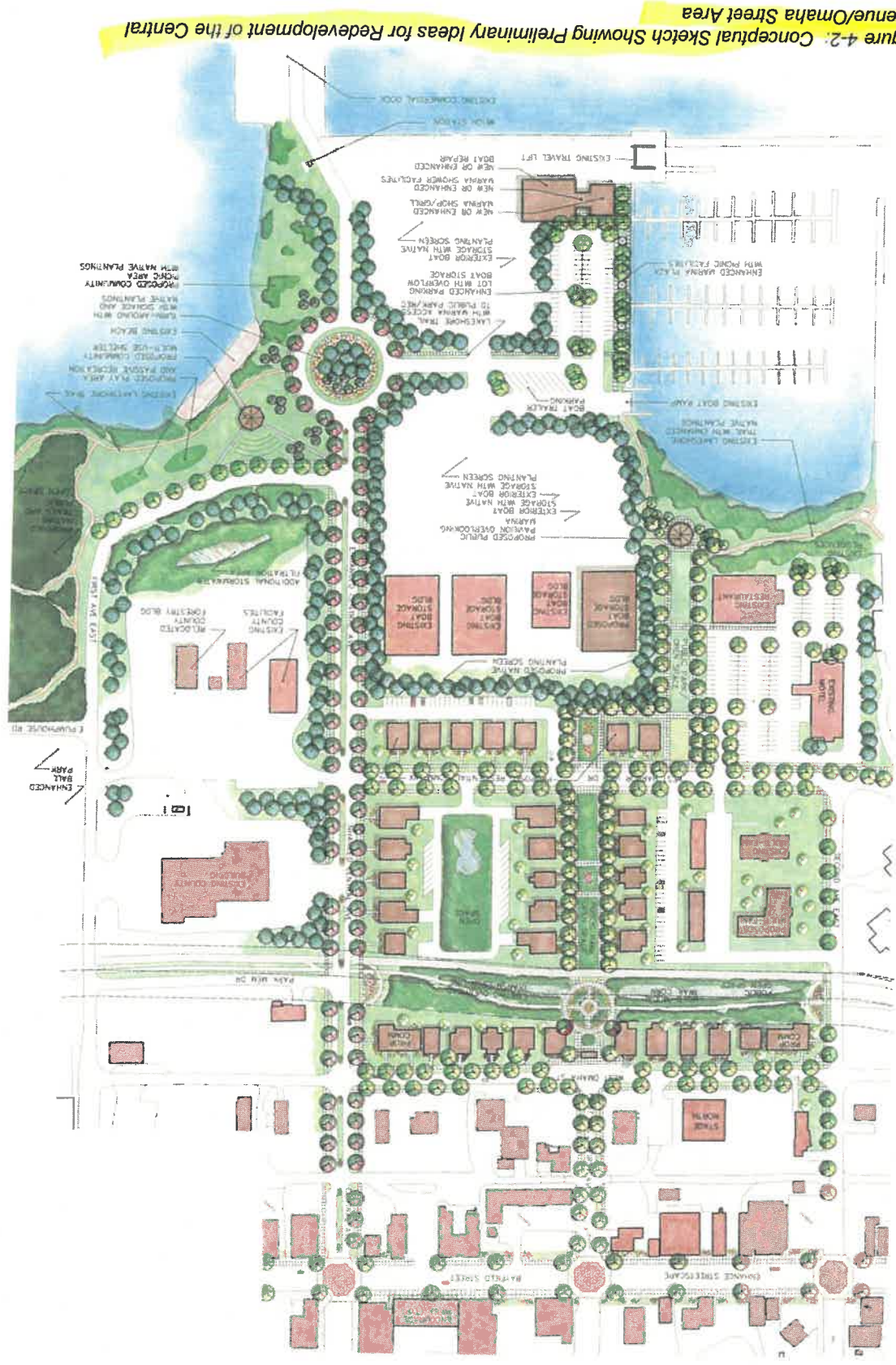


Figure 4-2: Conceptual Sketch Showing Preliminary Ideas for Redevelopment of the Central Avenue/Omaha Street Area

- Provide attractive and functional pedestrian walks that lead south from Bayfield Street to the waterfront. In addition, provide connections to an enhanced multi-modal trail and parkway that runs along the former railroad right-of-way.
- Strive to bury the existing three-phase power line in the former railroad right-of-way. However, the Plan can be implemented without burying the power line.
- Work with Bayfield County to relocate the existing Forestry Department facilities.
- Promote commercial development at the intersection of West Omaha Street and Central Avenue and the intersection of West Omaha Street and Second Avenue West.

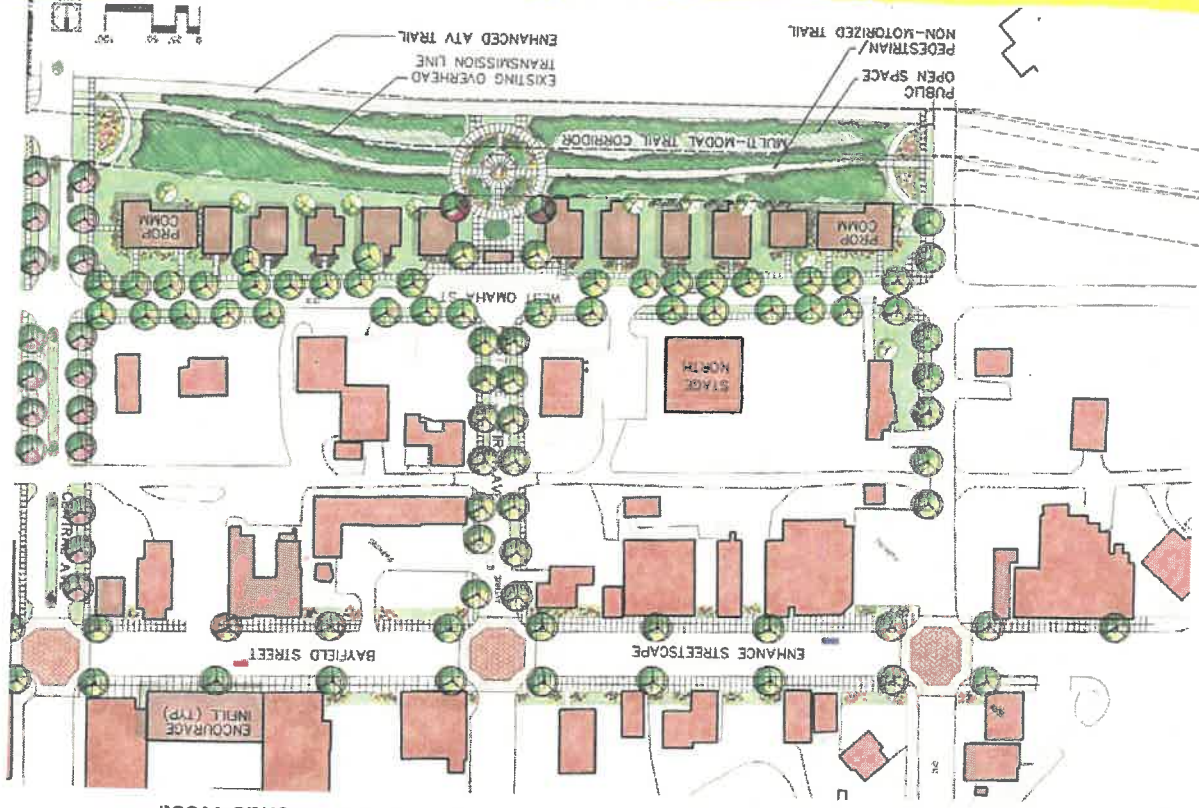


Figure 4-3: Conceptual Sketch Showing Preliminary Ideas for Redevelopment of Central Avenue from Bayfield Street to Omaha Street

The Plan envisions mixed-use development south of West Omaha Street and north of West Harbor View Drive (see Figure 4-4). This would give people an opportunity to live, work, and shop in an area that has convenient access to the amenities of the waterfront. Key elements of the Plan include the following:

- Promote mixed-use development that provides commercial uses at the street level with residential uses above. Typical commercial uses could include artist studios, graphic designers, architects, attorneys, dentists, gift shops, and coffee shops.

- Promote design guidelines or standards to guide development in a manner consistent with the vernacular architecture of Washburn. Promote sustainable building designs. Figure 4-5 shows an illustrative concept of how the buildings may appear.
- Promote sustainable site design that incorporates native plantings and low impact storm water design techniques.
- Promote pedestrian oriented development. Provide parking behind buildings, rather than in front of buildings.
- Explore the possibility of developing a public pedestrian mall that would help connect Bayfield Street to the waterfront. The pedestrian mall could be used for art shows, displays, and community events (see Figure 4-5).
- Work with Bayfield County to provide an attractive and effective landscaped screen between the Highway Department facilities and Central Avenue.
- Encourage development of this area as a master planned neighborhood, rather than allowing the area to develop piecemeal without a coordinated master plan.



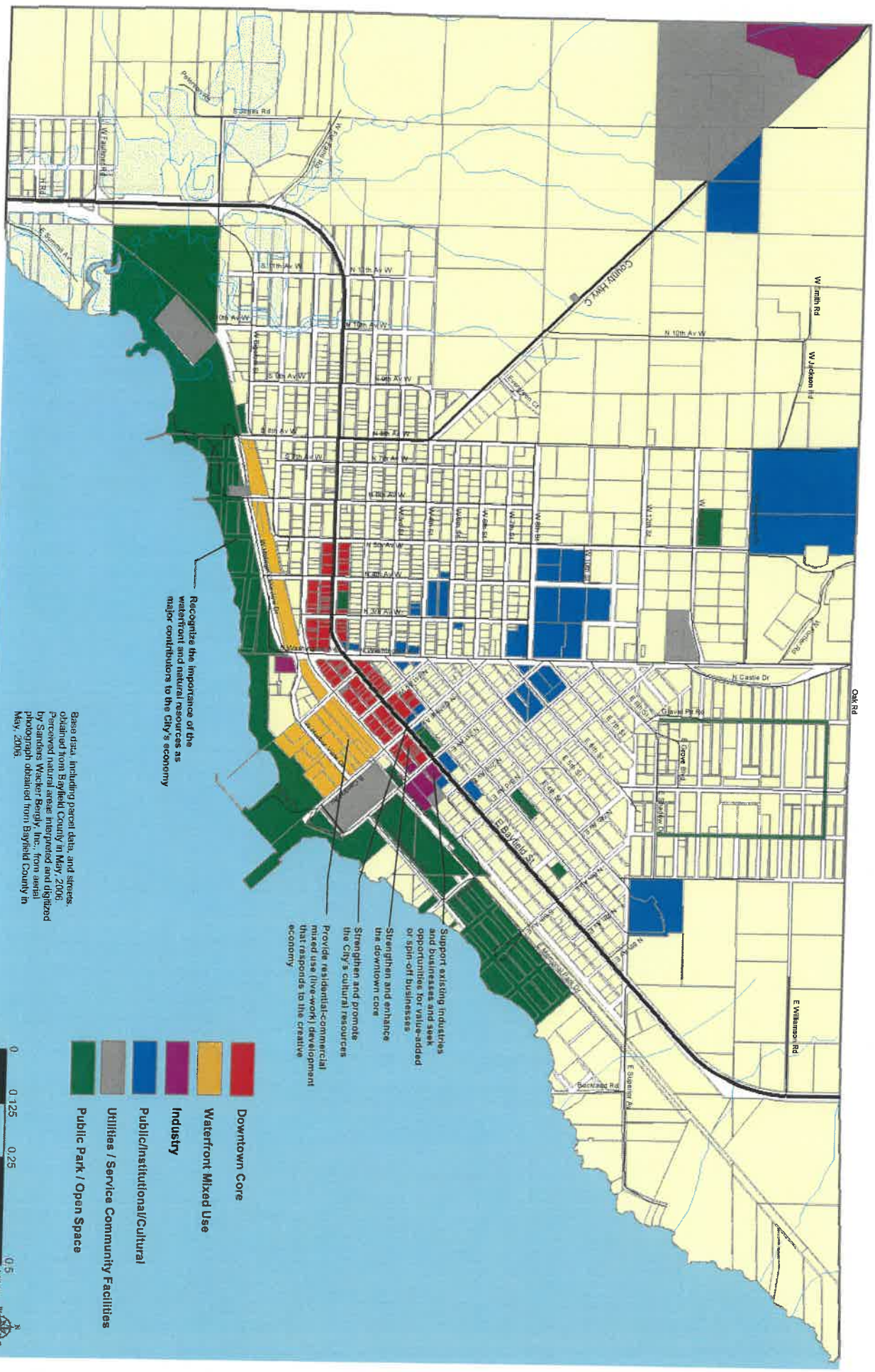
Figure 4-4: Conceptual Sketch Showing Preliminary Ideas for Redevelopment of Central Avenue from West Omaha Street to West Harbor Drive

The Plan supports the efforts of the Harbor Commission to enhance the Washburn Marina and provide appropriate use of the commercial dock (see Figure 4-9). Key elements of the Plan include the following:

- Provide a new or enhanced marina building. Develop and implement sustainable design guidelines or standards for the building.
- Enhance site organization to provide better definition and separation of the various uses and to improve the functionality of the site.
- Provide an attractive and safe route for the Lakefront Walking Trail.
- Provide landscaped screening of the outdoor storage areas and implement sustainable site design measures including low impact storm water design techniques.
- Maintain commercial use of the commercial dock, but shift the dock's access drive to the west to provide additional parkland and additional landscaped screening of the dock.



Figure 4-9: Conceptual Sketch Showing Preliminary Ideas for Enhancement of the Marina and Commercial Dock Area



City of Washburn, WI Comprehensive Plan 2007-2027
 Figure 9-1: Generalized Economic Development Plan
 Page 9-11



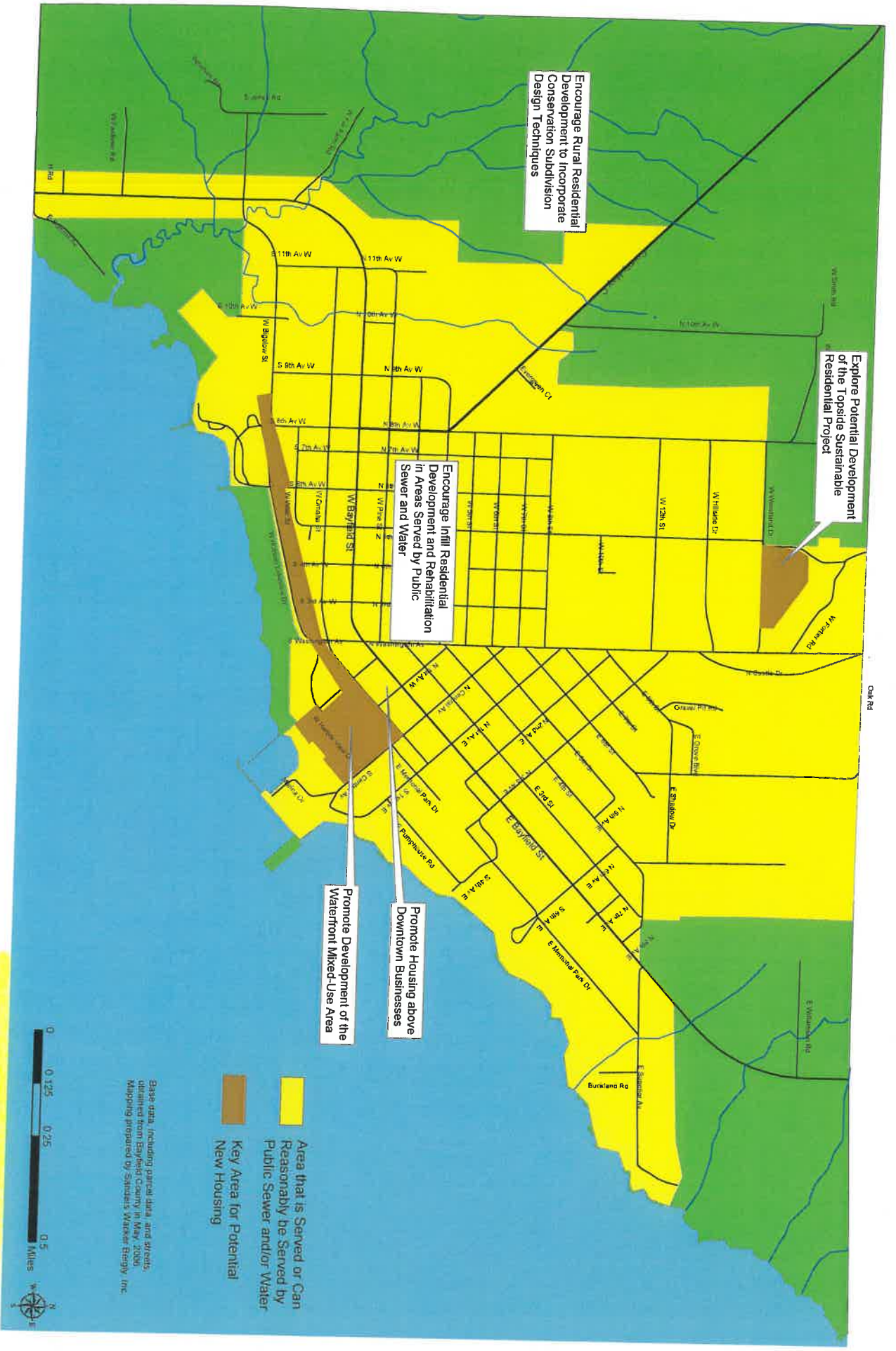
City of Washburn, WI Comprehensive Plan 2007-2027
 Figure 5-1: Existing Transportation - 2007 Page 5-3



City of Washburn, WI Comprehensive Plan 2007-2027
 Figure 5-2. General Transportation Plan Page 5-11



Base data, including parcel data, and streets obtained from Bayfield County in May, 2006



City of Washburn, WI Comprehensive Plan 2007-2027
 Figure 8-1: Generalized Housing Plan Page 8-13

LAND USE

Goal: Washburn's land use pattern promotes a strong, sustainable economy; respects natural resources; and meets human needs fairly and efficiently.
Objective 3.1: Use land in a manner that promotes a strong, sustainable economy.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
3.1.a	Minimize infrastructure and community services costs by encouraging development and redevelopment in areas currently served by municipal services.	CA, PC, M, CC, ZA	2007- Ongoing	
3.1.b	Promote well planned, mixed use development in the downtown core as a means to allow people to live, work, shop, and recreate in a relatively compact area, thereby creating a strong synergy between businesses and residents, minimizing public and private development and maintenance costs, and affording a high quality of life for those in the area.	CA, PC, M, CC, ZA	2007- Ongoing	downtown area and IMU waterfront - ID general location, text or map C3, MUW ZD's
3.1.c	Protect existing agricultural areas and other economically productive areas in the City from development that would hinder their economic productivity.	CA, PC, M, CC	2007- Ongoing	
3.1.d	Identify the needs of existing businesses and industries in relation to the needs of the overall community and develop plans and/or tool to help them succeed. This may include developing a plan to enhance the appearance of the downtown area and developing a plan to help existing businesses relocate or expand within the City.	CA, PC, M, CC, CE, ZA	2007- Ongoing	limit nonconform due to changes in code?
3.1.e	Develop a plan and performance standards to allow limited, light industry to develop in the area guided for mixed-use development.	CA, PC, M, CC, ZA	2007- Ongoing	

Objective 3.2: Use land in a manner that is sensitive to the protection of natural, cultural, and agricultural resources.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
3.2.a	Recognize that significant natural, cultural, and agricultural resources (especially coastal resources) in Washburn contribute significantly to the City's high quality of life and to the economy of Washburn. Consequently, develop a plan to identify, protect, and enhance these resources.	CA, PC, M, CC, PPS, ZA	2007- Ongoing	
3.2.b	Promote infill development and redevelopment on suitable land in the existing urban service area.	CA, PC, M, CC, ZA	2007- Ongoing	Define service area - extent of services
3.2.c	Allow limited, planned development outside the urban service area consistent with the City Ordinances. Encourage cluster development, conservation design, or other techniques that minimize adverse impacts on significant natural, cultural, and agricultural resources.	CA, PC, M, CC, CE, ZA	2007- Ongoing	

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
3.3.a	Provide an opportunity for the public to be involved in land use decisions. Relate land use decisions to the needs and desires of the community.	CA, PC, M, CC, ZA	2007-Ongoing	
3.3.b	Ensure that the City has adequate and appropriate land to meet the City's housing needs, including affordable and temporary housing.	CA, PC, M, CC, HA, ZA	2007-Ongoing	Relate to Housing
3.3.c	Balance the need to guide land for private development with the community's social and cultural needs for public open space, parks, community facilities, and other uses that are important for maintaining and enhancing a high quality of life in Washburn.	CA, PC, M, CC, PPPS, ZA	2007-Ongoing	
3.3.d	Promote compatible land uses that respect the rights of adjacent land uses.	CA, PC, M, CC, ZA	2007-Ongoing	

Objective 3.3: Use land in a manner that meets human needs fairly and efficiently.

WATERFRONT AND COASTAL RESOURCES

Goal: Washburn's waterfront promotes a strong and sustainable economy, protects and enhances natural resources, and provides public access and recreation opportunities to residents and visitors.

Objective 4.1: Use land in the waterfront in a manner that promotes a strong and sustainable economy.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
4.1.a	Enhance the Washburn Marina and provide appropriate use of the commercial dock.	CA, PC, M, CC, HC, ZA	2007-Ongoing	
4.1.b	Promote economic development near the waterfront for a well-planned, mixed-use development that allows people to live, work, and shop in an area that has convenient access to the amenities of the waterfront.	CA, PC, M, CC, CRC, HA, ZA	2007-Ongoing	Revisit
4.1.c	Promote and enhance public access and use of the waterfront.	CA, PC, CC, M, PPPS, ZA	2007-Ongoing	
4.1.d	Promote tourism and enhance downtown businesses by strengthening the connection of the downtown area to the waterfront.	CA, PC, M, CC, PPPS	2007-Ongoing	
4.1.f	Work with Bayfield County to enhance the function of the Highway Department facilities	CA, PC, MM, CC, ZA	2007-2009	

Objective 4.2: Protect and enhance the waterfront's natural resources.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
4.2.a	Implement best management practices to reduce erosion and sedimentation.	CA, PC, M, CC, PPPS, PW, ZA	2007-Ongoing	
4.2.b	Work to control exotic and invasive plant and animal species.	CA, PC, M, CC, PPPS, CE, ZA	2007-Ongoing	
4.2.c	Manage the landscape along the waterfront to protect and enhance the viewshed.	CA, PPPS, PC, M, CC, ZA	2007-Ongoing	

Objective 4.3: Provide public recreation opportunities and public access to the waterfront.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments

4.3.a	Develop and implement a plan for the public open space next to the commercial dock. Explore ways to link the public open space to the Athletic Fields Complex.	CA, CS, PPPS, ZA	2008-2010	Parks Commission
4.3.c	Work with various organizations and government agencies to promote waterfront events that meet the needs of residents and that help promote economic development.	CA, PPPS, M, CC	2007- Ongoing	
4.3.d	Explore opportunities to provide additional community gathering space and events facilities along the waterfront.	CA, PPPS, PC, M, CC	2008-2010	

TRANSPORTATION

Goal: Washburn has an integrated, multi-modal transportation system that provides healthy, safe, efficient, environmentally sensitive, and economical movement of people and goods.

Objective 5.1: Provide a functional, safe, accessible, and economical transportation system that meets the transportation needs of Washburn's residents, businesses, industries, and visitors.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
5.1.a	Integrate transportation and land use planning to help reduce transportation costs associated with conventional automobile-based development. For example, promote mixed-use development that allows residents to live, work, shop, and recreate within walking distance, thereby reducing the need for more roads, automobiles, and associated parking. Also, integrate park and ride opportunities, trails, walks, and the like into land use planning efforts, where appropriate.	CA, PC, BA, M, CC, ZA	2007- Ongoing	
5.1.b	Work with public, semi-public, and private transportation providers to ensure effective transportation services to businesses, residences, institutions, and other key areas in the City.	CA, BA, M, CC	2007- Ongoing	
5.1.c	Provide a functional and safe trail system in the City and to surrounding destinations, that provides a safe, cost, effective alternative to the road system.	CA, PPPS	2007- Ongoing	
5.1.d	Ensure continued use of the commercial dock as a means to transport goods to and from Washburn via watercraft.	HC, M, CC	2007- Ongoing	
5.1.e	Work closely with the government agencies and others regarding key issues relating to Highway 13, including the need to provide safe pedestrian crossings.	CA, PW	2007- Ongoing	
5.1.f	Ensure that Washburn's multi-modal transportation system is safe by separating incompatible modes of transportation. For example, separate motorized trails from pedestrian trails. Also, ensure safe crossings where roads and trails intersect.	CA, PW	2007- Ongoing	
5.1.g	Ensure that Washburn's multi-modal transportation system is consistent with the provisions of the American's with Disabilities Act (ADA).	PC, CA, BA	2007- Ongoing	

Objective 5.2: Provide an aesthetically pleasing transportation system that offers recreation and economic benefits.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
5.2.a	Seek highway beautification grants to provide enhanced entrance signs, informational/directional signs, landscaping, and streetcapping to beautify the Highway 13 corridor.	CA, M, CC	2007-2010	
5.2.b	Consider the unique character of a neighborhood and the environmental conditions of an area when planning, constructing, and maintaining transportation routes and facilities.	CA, M, CC, PW	2007- Ongoing	

5.2.c	Provide strong pedestrian links between the waterfront and the downtown core.	CA, PC, M, CC, PPPS, PW	2007-Ongoing	
5.2.d	Address issues and concerns that may arise relating to snowmobiling and ATV use on trails and along the waterfront.	CA, M, CC, PPPS	2007-Ongoing	
5.2.e	Expand Washburn's trail system and work with neighboring and overlapping jurisdictions to connect Washburn's trails and bicycle routes to surrounding communities and destinations. Support and promote the regional trail system as a tourist attraction.	PPPS, ZA	2007-Ongoing	
5.2.f	Encourage the creation of private businesses that can benefit from Washburn's transportation system (for example, a bicycle rental shop that caters to trail use, an electric rental car business adjacent to the marina or a park and ride, and so on).	BRLC, M, CC, ZA	2007-Ongoing	
5.2.g	Study the possibility of creating a public transportation node in Washburn with links to major cities in the Midwest. Coordinate with neighboring and overlapping jurisdictions and the major event providers. Market the sustainable transportation options available to visitors.	PC, CA, BA	2007-Ongoing	

Objective 5.3: Promote sustainable and healthy modes of transportation.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
5.3.a	Work towards converting conventional fossil fuel burning City vehicles to cleaner, healthier, and more efficient vehicles that reduce our reliance on fossil fuels and that have minimal adverse affect on the natural environment. Make City government an outstanding example of how to convert to sustainable and healthy modes of transportation.	CA, PW, M, CC	2007-Ongoing	
5.3.b	Promote efforts to reduce the use of single-occupancy, fossil fuel burning vehicles by promoting public transportation, carpooling, and non-motorized modes of transportation.	BA, M, CC	2007-Ongoing	
5.3.c	Promote land use planning that reduces our reliance on motorized modes of transportation and that encourages healthy modes of transportation including walking and bicycling.	PC, M, CC, ZA	2007-Ongoing	
5.3.d	Cooperate with Bay Area Rural Transit (BART) to provide local, regional, and national healthy, sustainable, transportation options.	BA, M, CC	2007-Ongoing	

UTILITIES AND COMMUNITY FACILITIES

Goal 1: Washburn provides cost effective, efficient delivery of community services and infrastructure that meet the needs of the community.

Objective 6.1: Plan and implement infrastructure extension, development, and maintenance of existing infrastructure in a cost-effective manner that increases property values, enhances livability, improves community attractiveness, and supports community public health.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.1.a	Work with property owners to provide public sewer and water service to those areas in the city that can be logically and sequentially served.	PW, CA, PC, M, CC	2007-Ongoing	
6.1.b	Discourage "leap-frog" development that would require premature extension of services to areas that cannot be logically and sequentially served.	PC, M, CC, ZA	2007-Ongoing	

6.1.c	Explore the possibility of burying existing above ground utilities (especially the three-phase power line adjacent to Holman Drive) and requiring new utilities in new developments to be placed underground.	PW, CA, PC, M, CC	2007- Ongoing	
6.1.d	Work with telecommunication providers and others to ensure that Washburn has the necessary telecommunication infrastructure to support the needs of current and future businesses, industries, schools, institutions, and homeowners.	PW, CA	2007- Ongoing	
6.1.e	Implement measures to retain and detain storm water onsite where feasible.	PW, CA, ZA	2007- Ongoing	

Objective 6.2: Promote energy conservation measures and cleaner forms of energy that reduce the City's dependence on imported energy.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.2.a	Support the efforts of energy providers, government agencies and programs, and others to inform residents about energy conservation measures.	M, CA	2007- Ongoing	
6.2.b	Implement energy conservation measures in all City community facilities as a means to showcase energy conservation measures and to set a positive example for residential, commercial, and industrial uses.	PW, CA	2007- Ongoing	
6.2.c	Encourage energy providers and others to provide financial incentives for businesses and homeowners to conserve energy.	CA, M	2007- Ongoing	
6.2.d	Work with energy providers, neighboring and overlapping jurisdictions, and others to explore options to provide clean, safe, and sustainable energy production in the Chequamegon Bay area.	CA, M	2007- Ongoing	

Objective 6.3: Ensure that the community continues to be served by adequate waste disposal and recycling facilities.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.3.a	Work with waste disposal providers to ensure that waste disposal needs throughout the City are met.	CA	2007- Ongoing	
6.3.b	Promote and encourage residents, businesses, industries, and institutions to reduce, reuse, and recycle products.	CA, M, CC, PW	2007- Ongoing	
6.3.c	Encourage new business and industry endeavors that can recycle and use waste products in Washburn, rather than shipping all waste products out of the City.	BRLC, CA, ZA	2007- Ongoing	

Objective 6.4: Ensure that the buildings, equipment, and staff associated with community services and facilities in Washburn are adequate to meet the needs of the community.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.4.a	Study the possibility of replacing the existing Public Works building on Highway 13 with a new Public Works building on existing City property adjacent to County Highway C in northwest Washburn. Explore the possibility of developing a joint facility with Bayfield County and/or surrounding towns. Incorporate green building techniques in any new development.	PW, CA, M, CC, CE, ZA	2007- Ongoing	
6.4.b	Evaluate the building and space needs associated with Washburn's community facilities. Develop plans to address concerns.	PW, CA, M, CC, CE	2007- Ongoing	

6.4.c	Plan and budget for City equipment replacement and repair as needed to provide the community with safe and efficient services. Consider energy efficiency and environmental responsibility when upgrading equipment.	PW, CA, CC	2007- Ongoing	
6.4.d	Work with neighboring and overlapping jurisdictions to explore the feasibility and efficiency of jointly purchasing and sharing equipment.	CA	2007- Ongoing	
6.4.e	Evaluate staffing needs and plan accordingly to ensure the safe and efficient delivery of community services.	CA	2007- Ongoing	

Goal 2: Washburn's community facilities and services contribute to the City's high quality of life.

Objective 6.5: Provide high quality recreational opportunities and facilities that meet the needs and desires of residents and visitors.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.5.a	Protect and enhance public open space along the waterfront.	PPPS	2007- Ongoing	
6.5.b	Develop master plans to enhance Thompson's West End Park and Memorial Park.	PPPS, PC, M, CC, ZA	2007- Ongoing	
6.5.c	Study the feasibility of creating a park on City land southeast of the athletic fields and northeast of the commercial dock.	PPPS, PC, CC, ZA	2007- Ongoing	
6.5.d	Work with the School District, overlapping and neighboring jurisdictions, and others to coordinate and share recreation facilities.	PPPS, CA, M, CC, RD	2007- Ongoing	
6.5.e	Provide a variety of summer and winter recreational activities in the park system.	PPPS, RD	2007- Ongoing	
6.5.f	Maintain the viability of the City's marina and explore ways to expand the marina as per the recommendations of the City's Waterfront Development Plan and the Harbor Commission's Strategic Plan.	HC, CA, PC, M, CC	2007- Ongoing	

Objective 6.6: Provide high quality cultural opportunities and facilities that meet the needs of residents and visitors.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.6.a	Ensure that the Washburn Library remains a vital and dynamic community resource.	LB, M, CC	2007- Ongoing	
6.6.b	Encourage and support additional day care centers and activity centers for people of all ages as per the needs of the community.	CA, M, CC	2007- Ongoing	
6.6.c	Promote the use of existing museums and interpretive trails in the downtown and waterfront areas.	CA, M, CC	2007- Ongoing	
6.6.d	Ensure that the Washburn Civic Center continues to be a vital community center. Explore opportunities to enhance the existing center or build a new center, possibly near Thompson's West End Park.	CA, PC, M, CC, PPPS	2007- Ongoing	
6.6.e	Explore opportunities to provide additional gathering spaces for community events like outdoor weddings, outdoor concerts, symposiums, and so on. Consider providing a community shelter/building near the marina and/or Thompson's West End Park.	PPPS, CA, ZA	2007- Ongoing	

Objective 6.7: Encourage citizen involvement and responsibility in community affairs.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
6.7.a	Actively solicit citizen participation in City affairs including committees, community events, public meetings, and the like.	M, CC	2007-Ongoing	
6.7.b	Work with schools and education programs to promote opportunities for youth to be involved in government committees, to attend Planning Commission and City Council meetings, and to participate in mentorship and civic opportunities that develop character and leadership skills.	CA, PC, M, CC	2007-Ongoing	
6.7.c	Offer internships to area students interested in City government.	CA, M, CC	2007-Ongoing	

NATURAL, CULTURAL, AND AGRICULTURAL RESOURCES

Goal 1: Washburn protects and enhances its natural, coastal, and agricultural areas.

Objective 7.1: Protect and enhance natural habitats including creeks, wetlands, coastal resources, and forests to provide habitat for plant and animal species and to allow for sensitive use and enjoyment by humans.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
7.1.a	Work with government agencies and other stakeholders to develop a natural resource plan to identify, preserve, restore, and manage natural and coastal resources in the city.	PPPS, PC, M, CC, ZA	2007-Ongoing	
7.1.b	Maintain and enhance the water quality of creeks and drainage corridors within the City to prevent floods and erosion, and to preserve and protect the floodplain.	CA, PC, M, CC, ZA	2007-Ongoing	
7.1.c	Prohibit development (public or private) along Lake Superior that would cause erosion, endanger water quality, or otherwise adversely affect coastal resources.	CA, PC, M, CC, ZA	2007-Ongoing	
7.1.d	Work with government agencies, schools, and others to provide and/or promote educational opportunities regarding the protection and enhancement of coastal areas.	CA, M, ZA	2007-Ongoing	
7.1.e	Coordinate with government agencies and stakeholders to install boat washing facilities at all public launch sites in order to minimize the spread of exotic aquatic species.	HC, CA, CE	2007-Ongoing	
7.1.f	Promote sustainable development and preservation of natural resources in public and private developments.	CA, PC, M, CC, ZA	2007-Ongoing	
7.1.g	Recognize Chequamegon Bay and the waterfront as unique resources and plan for, encourage, and manage development and redevelopment activities in coastal areas to maximize aesthetic, environmental, recreational, and economic values.	HC, PPPS, PC, M, CC, ZA	2007-Ongoing	
7.1.h	Develop and implement performance standards for all development in coastal areas. Address the need to provide public access to Lake Superior and to preserve views of and from Lake Superior.	PC, M, CC, ZA	2008-2009	

Objective 7.2: Support agricultural opportunities in the city.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments

7.2.a	Promote the preservation of productive agricultural land holdings by encouraging best management practices.	CA, PC, M, CC, ZA	2007- Ongoing	
7.2.b	Study the feasibility of developing a City tree nursery as part of an urban forestry program.	PPPS, PC, CA, ZA	2007- Ongoing	
7.2.c	Explore the development of community produce gardens.	PPPS, PC, CA	2007- Ongoing	

Goal 2: Washburn protects and promotes its historic, archaeological and cultural resources.

Objective 7.3: Identify and preserve sites and features having unique historical, archaeological, aesthetic, scenic or cultural value.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
7.3.a	Identify, preserve, and protect resources and structures that contribute to Washburn's architectural, historic, and cultural heritage		2007- Ongoing	
7.3.b	Support community events and programs that celebrate the history and culture of Washburn.		2007- Ongoing	
7.3.c	Encourage restoration and adaptive re-use of historic buildings.		2007- Ongoing	
7.3.d	Explore the preservation and/or restoration of the Washburn Civic Center (DuPont Club Building) and the old pump house. Consider designating the pump house as a building with special significance.		2007- Ongoing	

HOUSING

Goal: Diverse and attractive housing is available in the community to meet the needs of residents.

Objective 8.1: Encourage the rehabilitation and maintenance of the existing housing stock to provide for the needs of current residents and to accommodate anticipated future population growth.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
8.1.a	Work with public and private agencies and programs to help rehabilitate owner-occupied and rental units.	HA, HPC, CE, ZA	2007- Ongoing	
8.1.b	Identify housing needs and amend the Zoning Ordinance to address those needs.	HA, ZA	2007- Ongoing	
8.1.c	Explore developing and making available a handbook to guide homeowners in rehabilitation of their property.	CA, HPC, CE	2007- Ongoing	
8.1.d	Promote green building/sustainable design concepts (including energy efficient construction) for new housing and housing renovations.	CA, PC, M, CC, CE	2007- Ongoing	
8.1.e	Identify blighted properties that are vacant or for sale; consider acquiring them and improving them, or seek private rehabilitation support.	CA, PC, M, CC, HA, HPC, ZA, CE	2007- Ongoing	
8.1.f	Initiate and/or promote neighborhood cleanup programs. Conduct clean up/pick up days for appliances, furniture, and general neighborhood cleanup.	CA, PW, CE, PHS	2007- Ongoing	
8.1.g	Establish a community assistance program to encourage property maintenance.	CA, M, CC, BRLC, HPC, CE	2007- Ongoing	
8.1.h	Review, amend, and enforce property maintenance ordinances.	CA, PC, M, CC, CE	2007-2009	

Objective 8.2: Encourage the development or redevelopment of housing for all income levels, special needs, stages of life.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
8.2.a	Develop incentives to encourage development of low and moderate-income housing, as well as housing for those with special needs.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.b	Encourage infill housing in areas currently served by public utilities.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.c	Encourage the creation of mixed-use developments that include housing, employment, shopping, and recreation opportunities in a compact, pedestrian setting.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.d	Use and/or promote programs to assist with the development of multi-family rental housing.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.e	Use and promote programs that provide incentives to support the financing and marketing of a first-time homebuyer program.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.f	Develop housing linkage programs to construct or make financial contributions towards the development of affordable rental and ownership housing. These programs can include tools such as density bonuses, reduced setbacks, and reduced parking requirements.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.g	Support public and private programs that help address housing needs in Washburn.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.h	Encourage the development of transitional housing to meet the community's housing needs.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.i	Encourage multi-family, rental housing development for all income levels and for those with special needs.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.j	Ensure that housing addresses the standards set in the American's with Disabilities Act.	CA, PC, M, ZA, CE	2007- Ongoing	
8.2.k	Explore the idea of creating an architectural review board to guide builders toward compatible architectural design.	CA, PC, M, ZA, CE	2008	

ECONOMIC DEVELOPMENT

Goal: Washburn provides adequate jobs, meets the retail and service needs of residents and visitors, provides a strong municipal tax base, and enhances the quality of life.

Objective 9.1: Retain, encourage and support the expansion of local business and industry.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
9.1.a	Set retention of existing businesses and industries as a top priority of the City's economic development plan.	M, CA, PC	2007- Ongoing	
9.1.b	Develop and implement a program where the Mayor (or the Mayor's representative) meets periodically on an individual basis with businesses and industries to listen to concerns and discuss opportunities for growth.	M, CA, PC	2007- Ongoing	
9.1.c	Work with government agencies and others to promote training opportunities to help businesses and industries prosper. Co-sponsor and/or offer City facilities for employee training programs and help coordinate existing resources to present training seminars.	M, CA, PC	2007- Ongoing	
9.1.d	Promote the downtown business district and enhance the capability of downtown businesses to meet the daily needs of local, regional, and tourist customers.	M, CA, PC	2007- Ongoing	

9.1.e	Use physical design, investments in the public realm, appropriate signage, and coordinated promotions to strengthen the link between the City's downtown business district and the City's waterfront.	M, CA, PC	2007- Ongoing	
9.1.f	Work to implement programs that conserve energy resources and reduce energy costs to businesses, industries, and residences.	M, CA, PC, PW, CE	2007- Ongoing	
9.1.g	Explore participating in the Main Street Program as a way to help revitalize downtown businesses.	M, CA, CC	2008	

Objective 9.2: Welcome industries and businesses that have a synergistic relationship with existing industries, businesses, and institutions, and those that help diversify Washburn's economic base.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
9.2.a	Recognize and promote the arts, recreation, and natural resources as major contributors to Washburn's high quality of life and as major economic forces in the community. Promote the City's high quality of life to help attract new businesses.	M, PC, CA	2007- Ongoing	
9.2.b	Recruit value-added industries and businesses that can take advantage of the City's and the region's amenities and natural resources.	M, PC, CA	2007- Ongoing	
9.2.c	Enhance Washburn's existing "creative economy" by marketing Washburn to artists, writers, and others.	M, PC, CA	2007- Ongoing	
9.2.d	Develop and maintain an inventory of public and private lands and buildings that are suitable for development or redevelopment of businesses and industries and that are consistent with the City's natural and social policies.	PC, CA, ZA	2007- Ongoing	
9.2.e	Identify blighted or potentially contaminated sites. Provide technical, financial, or administrative assistance for brownfields mitigation. Identify resources, promote state and federal programs, and invest in vacant sites to remediate risk and blight in the community.	BRLC, CE, PC, CA, ZA	2007- Ongoing	
9.2.f	Encourage new businesses and industries that can help serve the area's growing population of elderly residents.	M, PC, CA	2007- Ongoing	
9.2.g	Develop new opportunities for the City to stand out as a leader in sustainable business and community development.	M, PC, CA	2007- Ongoing	
9.2.h	Support eco-tourism and other tourism opportunities that are self-supportive revenue generators.	M, PC, CA	2007- Ongoing	
9.2.i	Partner with Chambers of Commerce, neighboring and overlapping jurisdictions, and others to promote tourism.	PC, CA, CAC	2007- Ongoing	
9.2.j	Promote a range of business types to help diversify Washburn's economy and enhance employment opportunities for its residents.	M, PC, CA	2007- Ongoing	
9.2.k	Identify under-utilized local resources and develop programs that create or encourage investment in these resources. Assist businesses to create new markets for products and services.	PC, CA	2007- Ongoing	
9.2.l	Identify under-utilized or under-served local and regional markets and encourage local business development to service these markets.	PC, CA	2007- Ongoing	
9.2.m	Encourage entrepreneurs who are developing new products and new markets to locate in Washburn.	PC, CA, M	2007- Ongoing	
9.2.n	Identify new economically and environmentally sustainable uses for the City's and the region's natural resources.	PC, CA	2007- Ongoing	

Objective 9.3: Support and encourage entrepreneurship.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
9.3.a	Inform those interested in starting a new business about available business counseling programs.	PC, CA	2007-Ongoing	
9.3.b	Support and promote business management education and training programs.	M, PC, CA	2007-Ongoing	
9.3.c	Promote the establishment of and organized business support network for new startup businesses.	M, PC, CA	2007-Ongoing	
9.3.d	Encourage local economic development organizations to study and make available information on Washburn's market potential for new retail, wholesale, service, and manufacturing businesses.	M, PC, CA	2007-Ongoing	
9.3.e	Identify and provide information on available business financing programs.	BRLC, CA, PC	2007-Ongoing	
9.3.f	Support the establishment of entrepreneurship education programs in schools.	M, CA, PC	2007-Ongoing	

INTERGOVERNMENTAL COOPERATION

Goal: The City of Washburn and all neighboring and overlapping governmental jurisdictions work proactively and cooperatively to ensure that the Chequamegon Bay region has a strong, sustainable economy; respects natural resources; and meets human needs fairly and efficiently.

Objective 10.1: Provide open communication and good working relationships between the City of Washburn and neighboring and overlapping jurisdictions.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
10.1.a	Lead efforts to organize intergovernmental workshops involving representatives from neighboring and overlapping jurisdictions.	M, CA	2007-Ongoing	
10.1.b	Encourage neighboring and overlapping jurisdictions to review and comment on amendments and updates to Washburn's Comprehensive Plan and other pertinent plans in Washburn. Request that neighboring and overlapping jurisdictions allow the City of Washburn to review planning efforts that may affect the City of Washburn.	M, CA, ZA	2007-Ongoing	
10.1.c	Openly share information that may be beneficial to neighboring and overlapping jurisdictions.	M, CA	2007-Ongoing	
10.1.d	Coordinate education efforts that may be beneficial to neighboring and overlapping jurisdictions.	M, CA	2007-Ongoing	
10.1.e	Collaborate with the Alliance for Sustainability.	M, CA	2007-Ongoing	

Objective 10.2: Partner with neighboring and overlapping jurisdictions to provide efficient, cost-effective, high-quality services, where practical or mutually beneficial.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
10.2.a	Share services and facilities with neighboring and overlapping jurisdictions, where practical or mutually beneficial.	M, CA	2007-Ongoing	

10.2.b	Support regional facilities and services that benefit Washburn and the region.	M, CA, ZA	2007- Ongoing	
10.2.c	Work with neighboring and overlapping jurisdictions to coordinate shared purchases of bulk items and special equipment, where practical or mutually beneficial.	M, CA	2007- Ongoing	
10.2.d	Work with the Washburn School District and neighboring communities to coordinate efforts to provide quality recreation programs and facilities for area residents.	M, CA, RAC, RD	2007- Ongoing	

Objective 10.3: Work proactively and cooperatively on planning issues that may affect neighboring and overlapping jurisdictions.

Policy No.	Policy (STRATEGY)	Responsible Entities	Date	Comments
10.3.a	Work with neighboring and overlapping jurisdictions on all land use decisions that may affect the other jurisdictions.	M, CA, PC, ZA	2007- Ongoing	
10.3.b	Work with neighboring and overlapping jurisdictions to ensure that Washburn and the surrounding area have a safe, efficient, well maintained, and connected multi-modal transportation system.	M, CA	2007- Ongoing	
10.3.c	Work with the Bay Area Rural Transit (BART) system and neighboring and overlapping governments to promote the use of the public transportation system. Work to make the public transportation system more energy efficient and cost effective.	BA, M, CA	2007- Ongoing	
10.3.d	Work with neighboring and overlapping jurisdictions to preserve and enhance natural, coastal, cultural, and agricultural resources in the region.	PPPS, M, CA, PC, ZA	2007- Ongoing	
10.3.e	Work with neighboring and overlapping jurisdictions to coordinate development and improvements of utilities and community facilities that meet the needs of area residents.	M, CA, PW	2007- Ongoing	
10.3.f	Work with neighboring and overlapping jurisdictions to ensure that there is a full range of housing to meet the diverse needs of the area.	M, CA, PC, CE	2007- Ongoing	
10.3.g	Work with neighboring and overlapping jurisdictions on economic development issues and planning that will strengthen the economy of the region.	M, CA, PC	2007- Ongoing	
10.3.h	Partner with neighboring and overlapping jurisdictions to establish alternative energy programs that will provide sustainable, efficient, cost effective energy that is practical and mutually beneficial.	M, CA	2007- Ongoing	