

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

NOTICE OF FINANCE COMMITTEE MEETING

Monday, November 13, 2023 City Hall 4:30PM

- Committee Review-Monthly Expenditures

NOTICE OF CITY COUNCIL MEETING

Monday, November 13, 2023 Washburn City Hall 5:30 PM

This meeting may have members participating via tele or web conferencing. Public participants can listen to the proceedings by utilizing a computer or smart phone and using the link: <https://us02web.zoom.us/j/85876912407?pwd=N0xsaE9uaU9kS092dEIVOU44dVYvdz09> by calling 1-888-788-0099 (Toll Free) and entering Webinar ID: **858 7691 2407** with passcode **111323** as opposed to being present for the meeting.

AGENDA

- Call to Order/Roll Call/Pledge of Allegiance
- Approval of Minutes – City Council – October 9, 2023; Board of Review – October 16, 2023
- Approval of Monthly Expenditures via Roll Call Vote
- Public Comment
- Mayoral Announcements, Proclamations, Appointments
- Discussion & Action on Recommendation to Approve Conditional Use Permit Application for Chequamegon Bay Boat LLC for Heavy Vehicle Sales and Service at 706 W. Bayfield Street – Robert B. Hartzell II, Petitioner **TAB 1**
- Discussion & Referral of Request to Vacate the Unopened Triton Avenue Between Grandview Boulevard and Sunrise Avenue – Darren & Tera Miller, Petitioners **TAB 2**
- Discussion & Action on Proposed Certified Survey Map in NE Corner of STH 13 and Williamson Road – Mark Stinton, Petitioner **TAB 3**
- Discussion & Action on Proposed Certified Survey Map in Block 3 of L.N. Clausen’s Addition, 1101 N. Washington Ave – Kristen Bobb, Petitioner **TAB 4**
- Discussion & Action on Good Cause Extension to Development Agreement with The Brewing Badger LLC **TAB 5**
- Discussion & Action on Direct Legislation Petition for Ordinance 23-008 to Require Referendum for the Sale or Commercial Use of Certain City-Owned Lakefront Property **TAB 6**
- Discussion & Action on Approval of Thompson’s West End Park Campground Expansion Plans and Authorization to Bid **TAB 7**
- Public Hearing, Discussion & Action – 2023 (payable 2024) Municipal Tax Levy **TAB 8**
 - General Fund, Debt Service & Capital 2024 Budget Matters & Line-Item Adjustments
 - Action on Resolution #23-016 - Adopting the 2023 Tax Levy
 - Action on Resolution #23-017 - County Library Levy Exemption
 - Discussion on Borrowing for Capital Projects/Equipment
- Discussion & Action on Council/Committee Per-Diem Rates **TAB 9**
- Discussion & Action on Approval of 2024 Water and Sewer Utility Budgets **TAB 10**
 - Action on Sewer Rate Increase
- Discussion & Action on Ordinance 23-009 Modifying ATV/UTV Regulations **TAB 11**
- Adjourn

The City of Washburn is an equal opportunity provider, employer, and lender.

October 9, 2023

CITY OF WASHBURN COMMON COUNCIL MEETING

5:30PM

Washburn City Hall & Remote Video Conferencing

City Council Members:

Present, in-person:

Tom Neimes, Jared Trimbo, John Hopkins, Tracey Snyder,
Dave Anderson, Mary McGrath, Jennifer Maziasz

Present, remote:

none

Municipal Personnel:

Present, in-person:

Mayor Mary D. Motiff, City Administrator Scott J. Kluver,
Asst. City Administrator Tony Janisch, City Attorney Max Lindsey,
Public Works Director Gerry Schuette,

Present, remote:

none

Absent:

none

Call to Order - Meeting called to order at 5:30pm by Mayor Motiff. Roll call attendance depicted seven (7) of seven (7) members of the Common Council in attendance. Quorum of the Council recognized.

Approval of Minutes – City Council of September 11, 2023 - A motion was made by Neimes to approve the September 11, 2023 minutes of the City Council, second by Anderson. Motion carried unanimously.

Approval of Expenditures – A motion was made by McGrath to approve the monthly expenditures, second by Neimes. Motion carried unanimously via a roll-call vote.

Public Comment – Jeremy Oswald, 401 W 5th St., commented that he was not in favor of opening all the roads in the City to UTV/ATV traffic.

Mayoral Announcements, Proclamations, Appointments – The Mayor recognized Lawrence Gravell, a camper at West End Park, for his volunteer service in keeping the trails parks & campground clean by picking up trash all summer. The Mayor next read a proclamation for Indigenous Peoples Day.

- **Appointments to Bayfield Street Beautification Ad-Hoc Committee** – The Mayor stated that two individuals recently appointed to the Bayfield Street Beautification Ad-Hoc Committee could not fulfil their duties and have stepped down. She then nominated the following individuals to serve on this committee: Jen Danielson, representing the Washburn Beautification Foundation, and John Wheeler, representing the business community. With Wheeler’s approval contingent on receipt of application. Hopkins moved to appoint Danielson and Wheeler to the Bayfield Street Beautification Ad-Hoc Committee, seconded by Snyder. Motion carried unanimously.

Discussion & Action on Acceptance of Bid and Award of Contract for Phase 1 Bayfield Street Water and Sewer Replacement Project, Approval of Contract Amendment with Ayres Associates, Appointment of Responsible Representative, and Adoption of Project Budget – The Mayor referenced the information provided in the council packet. Discussion began with award of contract and noted questions and concerns with the past performance of the lowest bidder. Jake Novascone, owner of Jake’s Excavating & Landscaping and the lowest bidder, was available to answer the questions from Council. Through the discussion, Novascone stated that he would have a dedicated crew for just this project with the equipment available not to have delays. He also addressed questions with past projects that experienced issues. Kluver noted that the DOT has its own contractor for the highway work and asked if the company has experience working with another contractor and following the DOT’s timeline. Novascone responded that they completed a project in the City of Bessemer, working with another contractor, but noted they have not had a project where they did the utility work and someone else did

the road work. Novascone and Mike Stoffel, Ayres Associates, addressed questions of project oversight and change orders. Maziasz asked about the significant difference in the bid compared to the next lowest bidder. Novascone responded that they are a local company and do not have the overnight costs that they may have with a job further away.

Council next discussed the five other potential projects (Schedules B, C, D, E, F) included with the bid. Kluver and Stoffel addressed questions regarding these projects. Council further discussed parking concerns and access to business as the project commences. Discussion next turned to Alternative Bid #1, the use of PVC pipe for water mains versus ductile iron. Stoffel answered questions regarding these two types of piping, why and where they should be used. Kluver then discussed a contract amendment with Ayres Associates to include site construction administration service, construction sight observation and post construction work. Discussion concluded with designation of a city representative for decision making as the project is underway. McGrath moved to approve a contract with Jake's Excavating & Landscaping, approval of the five additional Project Schedules, approval of Alternate Bid #1 use of PVC piping, approval of the contract amendment with Ayres Associates, and designation of City Administrator Kluver as the city project representative; seconded by Neimes. Motion carried unanimously.

Discussion on Conceptual Ordinance to Modify ATV/UTV Regulations – Attorney Lindsey stated that the State allows municipalities to designate ATV/UTV routes on roads less than 35 mph. Discussion included current designated routes, regulating speed and altered exhaust systems, requiring helmets for underaged, and ability to enforce regulations. The Mayor called for a show of hands in a straw poll: Open all roads to ATV/UTV traffic– 4 hands; Access from residence to existing routes – 5 hands; Modify ordinance to include speed limit, regulate stock exhaust and use current routes – No hands; Requiring helmet for under 18 aged users – 7 hands.

Discussion & Action on Ordinance 23-006 Regulating Boat Launch Practices and Use of the Marina Fish Cleaning Station – McGrath moved to approve Ordinance 23-006, seconded by Neimes. Discussion occurred. Anderson questioned law enforcement for a private entity collecting the income. Kluver responded that the marina is a public facility, and while managed by a private company, the profits are shared 50%/50% at the end of the year. Snyder asked about installing no power loading signage. Attorney Lindsey responded that even with a sign, it is unenforceable without an ordinance. Anderson commented that some boats are designed to be driven on/off the trailer and needing the motor to do so. Linsey suggested changing the definition of power loading to include greater than idle speed that creates a wake or prop spread. McGrath and Neimes agreed with the change and moved & seconded to approve Ordinance 23-006 as such. Motion carried unanimously.

Discussion & Action on Proposed 2024 General Fund, Capital, and Debt Service Budgets - McGrath moved to tentatively approve the 2024 General Fund, Capital & Dept Service Budgets, seconded by Timbo. Motion carried unanimously. Kluver noted that next would be the Tax Levy approval set for next month. He added that the budget does include a third EMT position and would like to begin advertising.

Discussion & Action on Proposed 2024 Fee Schedule – McGrath moved to approve the 2024 Fee Schedule, seconded by Snyder. Maziasz suggested extra charges for camping fees in the future for having extra stuff like boats or other vehicles. Motion carried unanimously.

Discussion & Action on Proposed 2024 Stormwater Utility Budget and Rates – McGrath moved to approve the 2024 Stormwater Utility Budget & Rates, seconded by Neimes. Motion carried unanimously.

Discussion & Action on Proposed 2024 Harbor Commission Budget – McGrath moved to approve the 2024 Harbor Commission Budget, seconded by Neimes. Trimbo noted that there is a line item to purchase more boat slips when they become available. Motion carried unanimously.

Discussion & Action on Personnel/Finance Committee Recommendation to Adjust Holiday Leave Policy for Full-Time EMT Staff – McGrath moved to approve adjustments to the Holiday Leave Policy for Full-Time EMT Staff, seconded by Snyder. Motion carried unanimously.

Discussion & Action on Street Use Permit for Halloween Parade on Washington Avenue and W. 8th Street on October 28 from 1:00 until 2:45 – Washburn Chamber of Commerce, Petitioner – McGrath moved to approve the requests of the Washburn Chamber for Street Closure, seconded by Neimes. Motion carried unanimously.

Discussion & Action on Approval of Class “B” (Beer) and “Class C” (Wine) licenses to Patricia Holman (dba Fat Radish) at 905 W. Bayfield Street, Patricia Holman – Agent – McGrath moved to approve the Alcohol Licenses to Patricia Holman for the Fat Radish, seconded by Neimes. Motion carried unanimously.

Discussion & Action on Approval of “Class B” (Intoxicating Liquor) and Class “B” (Beer) licenses to Harbor Table LLC (dba Harbor Table) at 130 W. Harbor View Dr., Jeffery Moberg - Agent – McGrath moved to approve the Alcohol Licenses for the Harbor Table, seconded by Neimes. Motion carried unanimously.

Adjourn – Mayor Motiff adjourned the meeting at 7:45pm.

Tony Janisch
Assistant City Administrator

FINANCE COMMITTEE MEETING 4:30pm

Committee Members Tracey Snyder, Tom Neimes, and Mary McGrath reviewed monthly expenditure vouchers.

**OCTOBER 16, 2023
PROCEEDINGS**

CITY OF WASHBURN BOARD OF REVIEW

5:00 PM – 7:00 PM, City Hall

Present Board Members: Mayor Mary Motiff, Mary McGrath, Thomas Neimes, Dave Anderson, John Hopkins, Jared Trimbo, City Clerk Scott J. Kluver

Others Present: Kitt Koski, Assessor – Bow-Mar Appraisal; Alex Mohrbacher - Attorney

Absent: Tracey Snyder, Jennifer Maziasz

Call to Order – Roll Call - Meeting called to order by Motiff at 5:03 PM, roll call attendance revealed seven of the nine-member Board present, quorum recognized.

Election of Chair and Vice-Chair – Trimbo nominated Motiff for chair. Motion by Trimbo and seconded by Neimes, to close nominations and cast unanimous ballot for Motiff as Chair. Motion carried 7-0. Motiff assumed the Chair. McGrath nominated Kluver for vice-chair. Motion by McGrath second by Trimbo to close nominations to and cast a unanimous ballot for Kluver as Vice - Chair. Motion carried 7-0.

Verify Training Requirements/Confidentiality Ordinance - Noted for the record, certification of at least one Board Member; proper Public Notice; Confidentiality Ordinance in place. Certified Board Members being Mayor Motiff; Council members Snyder, Trimbo, Hopkins, and Clerk Kluver. Notice placed at Bremer Bank, Hansen’s IGA, Washburn Public Library, and the door of City Hall. Motiff noted that appropriate confidentiality ordinance is in place.

Review and Affirm Policy Regarding Procedure for Sworn Telephone Testimony and Sworn Written Testimony – Anderson moved, and Neimes seconded, to adopt the sample policy provided for Sworn Telephone Testimony and Sworn Written Testimony. Motion carried 7-0.

Review and Affirm Policy Regarding the Procedure for Waiver of Board of Review Hearing Requests – Neimes moved, and Anderson seconded, to adopt the sample policy provided for Procedure for Waiver of Board of Review Hearing Requests. Motion carried 7-0.

Receipt of Assessment Roll/Report by Assessor - Kitt Koski reported that the last revaluation was in 2006. From 2006 to 2009, values increased, then went down until 2013, and then back up with significant increases in the past couple years. On average, property values increased 50 percent, \$60 million, with lower increases on commercial and higher increases on lakefront since 2006. New construction increased value by less than one percent with residential real estate increased by \$527,000 and commercial real estate by \$32,500. For this revaluation, this was not a knock at the door except for properties that have sold, it was a review of sales data. There were 29 valid sales in Washburn last year.

Examine Assessment Roll and Correct Errors – No errors to the assessment roll have been discovered.

Formal Board of Review Session for Purpose of Hearing Objection to Annual Assessment–

A request for a telephone hearing was received by Mr. Christopher Nelson who is assisting in the representation of Vaughn and Brenda Spurlock. Mr. Nelson is located in Madison. McGrath moved and Neimes seconded to approve the telephone request. Zoom would be used so interaction can occur and there was no objections based on the criteria in the policy. Motion carried 7-0.

Three objections to were filed.

The first objection being: Vaughn and Brenda Spurlock for property located at 6431 Summit Avenue, Tax ID 36372. The objection was filed in a timely manner. The assessed value is \$516,600 for land and \$335,800 for improvements for a total of \$897,400. The Spurlocks believe the assessment should be \$450,684. The Spurlocks were represented by Attorneys Garrett Gondik and Christopher Nelson. The Spurlocks and Assessor Koski were sworn in. Testimony was provided and questions were asked. No recent sale has occurred, the property was purchased in 1998. The Jennings property at 6424 Summit Avenue, Tax ID 38639, was referenced as a comparable property with a recent sale in 2021. Spurlocks argue that Jennings property has more frontage and the assessment went up less. The lake caused damage, and the house is sinking. Koski acknowledges only one comparable available, Spurlocks have more “usable” lake frontage. Age of home clarified during discussion resulting in \$5,900 reduction to improvements. Discussion on comparison of sale of Jennings property, factoring lot size and usable lake/river frontage. Anderson moved and Hopkins seconded that pursuant to Wis. Stat. 70.47(9)(a) that the assessor’s valuation is incorrect; that the property owner presented sufficient evidence to rebut the presumption of correctness granted by law to the Assessor; that the full value of the property is Land: \$423,000, Improvements \$300,000, Total \$723,000; that the level of assessment is at 100 percent, and that the new assessment is as stated. Motion carried unanimously by all seven members present on a roll call vote.

The second objection being: Charles and Jenny Beedlow for property located at 126 W. Bayfield Street Unit 203, Tax ID 35794. The objection was filed in a timely manner. The assessed value is \$10,000 for land and \$213,600 for improvements for a total of \$223,600. *(Note: This figure was changed after the Open Book and was not the originally listed assessment of \$261,300.)* The Beedlows believe that the assessment should be \$199,500. The Beedlows and Assessor Koski were sworn in. Testimony was provided and questions were asked. A recent sale of the property occurred; however, there was a difference of opinion on whether it was an arm’s length transaction. Comparable sales of the other units were provided, for which Unit 202 is the closest comparison for size and both are interior units. McGrath moved and Niemes seconded that pursuant to Wis. Stat. 70.47(9)(a) that the assessor’s valuation is correct, that the assessor presented evidence of the fair market value of the subject property using assessment methods which conform to the statutory requirements and which are outlined in the Wisconsin Property Assessment Manual; that the property owners did not present sufficient evidence to rebut the presumption of correctness granted by law to the Assessor; that the Assessor’s valuation is reasonable in light of all the relevant evidence; and sustains the same valuation as set by the Assessor. Motion carried unanimously by all seven members present on a roll call vote.

The third objection being: Alicia Iacutone and Jeffery Specht for property located at 221 W. 3rd St., Tax ID 38735. The objection was not filed in a timely manner. Trimbo moved and Anderson seconded to grant a waiver on the timely filing for good cause because of miscommunication on the filing timeframe. Motion carried 7-0. The assessed value is \$6,800 for land and \$128,800 for improvements for a total of \$135,600. *(Note: This figure was changed after the Open Book and was not the originally listed assessment of \$142,200.)* Ms. Iacutone and Mr. Specht along with Assessor Koski were sworn in. Testimony was provided and questions were asked. A recent sale of the property occurred, one year prior and equalized values increase on average 12 percent in the past

year; however, Assessor Koski believed that although it was an arm's length transaction, it was a sale below the market rate for comparable properties. Comparable properties were discussed, and square foot percentages compared, along with the appraisal on the subject property. Anderson moved and Neimes seconded that pursuant to Wis. Stat. 70.47(9)(a) that the assessor's valuation is incorrect; that the property owner presented sufficient evidence to rebut the presumption of correctness granted by law to the Assessor; that the full value of the property is Land: \$6,800, Improvements \$113,000 for a Total of \$119,800; that the level of assessment is at 100 percent, and that the new assessment is as stated. Motion carried unanimously by all seven members present on a roll call vote.

Motiff adjourned the Board of Review at 9:34 p.m. Official recording of session on file.

Scott J. Kluver
City Clerk

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715-373-6160
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FAX 715-373-6148

To: Honorable Mayor and City Council Members

From: ^{SK} Scott J. Kluver, Administrator

Re: Conditional Use Permit for Chequamegon Bay Boat

Date: October 30, 2023

The Plan Commission has recommended approval of the conditional use permit (CUP) for Chequamegon Bay Boat at 706 W. Bayfield Street. Attached you will find the minutes of the meeting which indicates the criteria and findings as well as the application packet.

As it has been some time since a CUP has been considered, know that there must be evidence of detrimental effects on a property to impose conditions outside of the standard code requirements on conditional uses. As such, although there were comments from a neighboring property owner received, the Plan Commission did not feel that the comments met the threshold for the imposition of any additional conditions. The Plan Commission was overall positive on the proposed plans.

Please let me know if you have any questions related to this. Note that only the CUP needs to be approved by the Council. The Plan Commission has already addressed the Site Plan and Plan of Operation which does not come to Council for consideration.

September 21, 2023

CITY OF WASHBURN PLAN COMMISSION MEETING

DRAFT

5:30PM Washburn City Hall

COMMISSION MEMBERS: David Anderson, Felix Kalinowski, Leo Ketchum- Fish, Michael Malcheski, Mary Motiff (via Zoom), Matt Simoneau (via Zoom), Nicolas Suminski

ABSENT:

MUNICIPAL PERSONNEL: Scott Kløver-City Administrator

Meeting called to order at 5:30 pm by Motiff, attendance as recorded above.

Approval of Minutes – September 21, 2023 Minutes – Motion by Suminski to approve the minutes of September 21, 2023, second by Malcheski. Motion carried 7-0.

Public Hearing, Discussion & Recommendation on Conditional Use Permit Application for Chequamegon Bay Boat LLC for Heavy Vehicle Sales and Service at 706 W. Bayfield Street – Robert B. Hartzell II, Petitioner – Petitioner present. Motion by Kalinowski, second by Anderson to open the public hearing. Motion carried 7-0. No one was present in person. Comments received via e-mail from Paula and Daniel Collins which were distributed in advance of the meeting. Anderson moved and Ketchum-Fish seconded to close the public hearing. Motion carried 7-0. Plan Commission reviewed the evaluation criteria: 1) The size of the parcel on which the proposed use will occur – **Commission finds the size of the site adequate/appropriate for use described.** Kalinowski asked about aesthetics of site. Motiff asked about use definition and determination. Paula Collins stated she would like to make a comment because she was having technical difficulties during public comment. Mr. Hartzell stated he would like to hear what she has to say. Motiff stated the request will be considered after the criteria review. 2) The presence of and compatibility with other uses on the subject property, if any – **Commission finds it appropriate.** 3) The location of the proposed use on the subject property – **Commission finds it appropriate.** 4) Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site – **Commission has no concerns.** 5) The suitability of the subject property for the proposed use – **Commission finds it reasonable.** 6) Effects of the proposed use on the natural environment – **Commission finds no concerns.** 7) Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances – **Commission finds no concerns with what is proposed.** 8) Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts- **Commission finds no concerns.** 9) Any other factor not listed above, but which relates to the public health, safety, or welfare – **Commission finds no other factors.** Motiff asks for unanimous consent to allow Ms. Collins to make a statement. No objections. Ms. Collins stated she is concerned about increased traffic, particularly on 8th Ave., traffic routes, asked if speed bumps could be added in the alley and was concerned about frequent washout of the alley approach on 8th Ave., and asked about proposed snow storage in relation to the alley. Ketchum-Fish moved and Suminski seconded to approve the Conditional Use Permit as drafted. Motion carried 7-0.

Motiff was having internet connections issues. Vice-Chair Malcheski took over the meeting at 6:15

Discussion & Action on Plan of Operation and Site Plan Review for Chequamegon Bay Boat LLC, 706 W. Bayfield Street, C-2 District – Robert B. Hartzell II, Petitioner – The proposed project is to operate a boat rental business. Subordinate uses will potentially include outdoor sales of inner tubes, floating toys, kayaks, SUPs, and other water toys. The Plan Commission reviewed whether the project complies with all applicable design principles and standards as follows: **Site Plan Standards:** 1) Effects of the project on traffic safety and efficiency and pedestrian circulation, both on-site and off-site - **Entrance area is off of 7th Ave W, with on and off-street parking in that area. On-street parking is also allowed in front of the building.** 2) Effects of the project on the natural environment – **No known detrimental effects. Stormwater detention will not be required as long as gravels areas do not exceed 10,000 square feet.** 3) Effects of the project on surrounding properties – **Anticipate an increase in parking/traffic, but nothing out of ordinary. This will be a seasonal business.** 4) Compliance with the site design principles enumerated in s. 8-163 – **Project does not appear to be in conflict.** 5) Compliance with the design principles for parking lots enumerated in s. 17-3 – **Per the ordinance, one space for each 300 feet of gross floor area must be provided. Estimated square footage of the building is 1,175 square feet (47x25) so four spaces are required. Parking area is not required to be hard surface. Spaces need to be delineated.** 6) Compliance with other applicable requirements contained in this chapter – **Boats and other items can not be stored within 30 feet of the rear property line per section 8-311. No outdoor lighting indicated, but if used would need to be provided for review. Landscaping is not required as this is not new construction, except expansion of the parking lot may require some pro-rated points in that area once delineated.** 7) Any other factor that relates to the purposes of this chapter set forth in s. 1-5 or as allowed by state law – **No other known factors.** Commission added conditions of delineating the parking spaces and compliance with landscaping if necessary. Ketchum-Fish moved, and Anderson seconded, to approve the site plan for Chequamegon Bay Boat LLC, 706 W. Bayfield Street with the conditions as noted. Simoneau asked about the maximum number of boats. The code does not limit the number. Motion carried 7-0. **Plan of Operation Standards:** 1) The nature of the land use with regard to the number of employees, nature, and extent of truck shipments to and from the site, hours of operation, use of hazardous substances, and other operational characteristics – **The Plan Commission determines that there are no known issues. It is anticipated that Mr. Hartzell will operate the business himself and he may have a couple seasonal helpers. Hours of Operation are expected to be 9:00 am to 5:00 pm. Deliveries would be provided off of 7th Avenue West. The business would have lubricants and fuels typical in the repair of boat engines.** 2) The nature and extent of anticipated positive and negative effects on properties in the area – **Positive effect is additional business in town. It will generate additional parking congestion in the area, but off-street parking will need**

to be provided. Some boat engine noise may occur, but not anticipated to exceed noise limits. 3) Actions the applicant will undertake to mitigate the negative effects, if any, of the proposed land use – **Engine noise would be minimal and occur during daytime hours.** 4) Any other factor that relates to the purposes of this chapter set forth in s. 1-5 or as allowed by state law – **The operator will need to comply with boat launch facility regulations, this includes boat launch passes as a condition.** 5) List of Conditions Imposed: **All trailers launching at either Thompson’s West End Park or the Washburn Marina would need to have a daily or seasonal boat launch pass.**
Ketchum-Fish moved, and Anderson seconded to approve Plan of Operation for Chequamegon Bay Boat LLC, 706 W. Bayfield Street, with the condition as listed. Motion carried 7 to 0.

Discussion on Draft Ordinance to Allow Off-Premise Signs in Certain Areas of the City and Adjustments to Outdoor Lighting Provisions
– An updated version of the ordinance was provided that adds proposed provisions related to festoon lighting, and provisions were related to the distance a business needs to be from its off-premise sign. The Commission did review the draft changes, and an adjustment was made to the festoon lighting to eliminate the provision that the lights must be turned off when the business is not open. No word has been received from WisDOT if the off-premise signage language will be acceptable. The ordinance will be advanced to begin the approval process.

Anderson requested that options related to eliminating the 50-foot rule in the special standards for Heavy Vehicle Sales and Service uses be discussed.

Malcheski adjourned the meeting at 6:47pm.

Respectfully Submitted,
Scott J. Kløver
Zoning Administrator/Clerk

CITY OF WASHBURN CONDITIONAL USE PERMIT

A Conditional Use Permit is hereby granted, pursuant to Title 13, Chapter 1, Article 7, Division 3 of the City of Washburn Zoning Ordinance to Chequamegon Bay Boats LLC (Robert B. Hartzell II) (hereinafter User), in respect to property currently zoned C-2 General Commercial, herein referred to as Subject Property, described as:

Street Address: 706 W. Bayfield Street

Legal Description: ORIG TOWNSITE OF WASHBURN LOTS 1-4 BLOCK 5 IN DOC 2022R-596574 TOG TLE IN 2023R-598200 25; ORIG TOWNSITE OF WASHBURN LOTS 5-9 BLOCK 5 IN DOC 2019R-577220 28

Tax ID: 32929 and 32930 **PIN:** 04-291-2-48-04-05-2 00-312-01200
04-291-2-48-04-05-2 00-312-01300

This Conditional Use Permit is granted for the purpose of permitting the User, and only the User, to engage in the permitted use set forth immediately below:

1. To operate a boat rental business (Heavy Vehicle Sales and Service use) at the property located at 706 W. Bayfield Street, in the C-2 General Commercial District in accordance with Section 13-1-8-311 of the City of Washburn Zoning Code. Subordinate uses will potentially include outdoor sales of inner tubes, floating toys, kayaks, SUPs, and other water toys. Marine repair and outboard dealership services are also potential subordinate uses.

This Conditional Use Permit is subject to the following special conditions:

1. This Conditional Use Permit is issued exclusively to the User, does not run with the land for which it is issued, and may not be sold, conveyed, assigned or otherwise transferred to any other person or entity. This permit will be effective once all conditions are complied with as specified in ordinance.
2. Issuance of a Conditional Use Permit does not indicate that the City of Washburn has certified the above referenced dwelling nor has it inspected the building, nor does it ensure that it meets local, state, federal, or professional requirements or standards related to the subject use.
3. The User must comply with Title 8, Chapter 3 of the City of Washburn ordinances regarding the placement and use of waste and recycling facilities.
4. All conditional uses referred to above may be carried out upon the Subject Property during times that are allowable by the City's noise ordinance (11-2-6).



5. This permit shall remain in effect so long as the permit holder complies with all conditions of this permit and applicable City of Washburn ordinances.

Statement on the nature of the approval:

In approving this Conditional Use Permit, the Plan Commission confirmed the size of the parcel was not an issue, the use is compatible, the location of the use on the property is not a concern, traffic safety should not be a problem, it is a suitable additional use, there are no negative impacts on the environment known of, concerns with impacts on the neighbors were discussed and it would not impede the normal development. The Common Council adopts these findings.

Appeal rights for applicant and other aggrieved persons:

Within 30 days of the decision date, a written appeal, including the reasons for the appeal, must be received by the City Clerk. The appeal process will follow the procedure outlined in 13-1-7-23 of the zoning ordinance.

Chequamegon Bay Boats LLC
Robert B. Hartzell, II, Sole Member

Date

Personally came before me this _____ day of _____, 2023, the above-named Robert B. Hartzell II, to me known to be the person who executed for the foregoing instrument and acknowledge the same.

Notary Public, Bayfield County, Wisconsin

My commission expires: _____

Mary D. Motiff, Mayor
City of Washburn

Date

Personally came before me this _____ day of _____, 2023, the above-named Mary D. Motiff, known to be the person who executed for the foregoing instrument and acknowledge the same.



Notary Public, Bayfield County, Wisconsin

My commission expires: _____

Scott J. Kluver, Zoning Administrator
City of Washburn

Date

Personally came before me this _____ day of _____, 2023, the above-named Scott J. Kluver, known to be the person who executed for the foregoing instrument and acknowledge the same.

Notary Public, Bayfield County, Wisconsin

My commission expires: _____



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**CITY OF WASHBURN
NOTICE OF PUBLIC HEARING**

A Public Hearing will be held by the Plan Commission on, Thursday, October 19, 2023, at 5:30 P.M. at City Hall, 119 Washington Avenue, for public comment on the following issue:

Conditional Use Permit Application:

Request for Heavy Vehicle Sales and Service in a C-2 Commercial Area – Operate a boat rental business on the property. Subordinate uses will potentially include outdoor sales of inner tubes, floating toys, kayaks, SUPs, and other water toys. Marine repair and outboard dealership services are also potential subordinate uses. The use will include in accordance with the regulations of 8 - 311 out of the property located at 706 West Bayfield Street. Robert B. Hartzell II, Petitioner

The property is zoned C-2, General Commercial. Residents unable to attend the public hearing may provide written comment to the Zoning Administrator prior to the hearing.

Scott J. Kluver
Zoning Administrator

publ.: Class 2 – October 3 and 10, 2023
Daily Press Box Ad

shall only become effective when all required signatures have been obtained and the original signature copy is returned to the zoning administrator.

- (18) **Public record copy.** A duplicate copy of the decision document shall be retained as a public record.
- (19) **Recording of decision document.** If the property owner returns the decision document within the required time period with the required signatures, the zoning administrator shall record the decision document against the subject property in the office of the Bayfield County register of deeds.
- (20) **Administrative steps.** If the conditional use is approved and the zoning administrator has created a map showing conditional uses, the zoning administrator shall add the conditional use to that map.

Amendment(s):

1. Ordinance 18-001, adopted April 9, 2018

7-55 Basis of decision

(a) **Generally.** When reviewing conditional uses other than nonconforming conditional uses, the Plan Commission in making its recommendation and the Common Council in making its decision shall consider the following factors:

- (1) the size of the parcel on which the proposed use will occur;
- (2) the presence of and compatibility with other uses on the subject property, if any;
- (3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);
- (4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;
- (5) the suitability of the subject property for the proposed use;
- (6) effects of the proposed use on the natural environment;
- (7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;
- (8) effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and
- (9) any other factor that relates to the purposes of this chapter set forth in s. 1-5 or as allowed by state law.

(b) **Nonconforming conditional uses.** When reviewing nonconforming conditional uses, the Plan Commission in making its recommendation and the Common Council in making its decision shall make the following determinations:

- (1) The nonconforming use will not be adverse to the public health, safety, or welfare.
- (2) The nonconforming use is in keeping with the spirit and intent of this chapter.
- (3) The nonconforming use would not be otherwise detrimental to the area and in particular the surrounding properties.

The Common Council shall grant approval for a nonconforming conditional use only if the council can make an affirmative finding for all of the criteria listed in this subsection.

(c) "Substantial evidence" as used in this Article means facts and information, other than mere personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

Amendment(s):

1. Ordinance 18-001, adopted April 9, 2018



Conditional Use
City of Washburn

Version: May 25, 2017

WASHBURN CITY HALL
119 Washington Avenue
Washburn, WI 54891

Overview: The City's zoning code identifies land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties.

Governing regulations: The procedures and standards governing the review of this application are found in Article 7 of the City's zoning code.

General instructions: Complete this application and submit one copy to the City Clerk at the mailing address shown above. Before you formally submit your application, you may meet with the City Administrator who can answer any questions you may have.

Office Use Only
Date Received: 9/21/2023
Received By: J. Demas
Fee Paid: \$150.00

1. Applicant and agent information Include the names of the agent, if any, that helped prepare this application including the supplemental information. Examples include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Table with 2 columns: Applicant and Agent. Applicant information includes Name: Robert B Hartzell II, Street address: 86545 Myers Olson Rd, City, state, zip code: Bayfield, WI, 54814, Daytime telephone: (715) 209 1339, E-mail address: RobertBHartzell@gmail.com.

2. Type of application (select one)

- [X] New conditional use
[] An amendment of a previously approved conditional use

3. Proposed use. Describe the proposed conditional use or amendment in detail.

Boat Rentals and Boat Store
I plan to rent boats on a trailer, we help launch at a local launch ramp and help them recover it when the return.
Boat Store will be to compliment the boat rental operation. I do not have a large store front but it will be fun to sell inner tubes, floating toys, kayaks, SUPs, and other fun water toys!
I would like to chain some larger kayaks, SUPs, and other items outside for sale.
Marine Repair and potential outboard dealership services are planned for the future but no plan to offer for 2024

4. Subject property information

Physical address 70 6 W Bayfield St. Washburn, Wisconsin 54891

Tax key number(s) 32930 32929

Note: The tax key number can be found on the tax bill for the property or it may be obtained from the City Clerk.

Is the subject property currently in violation of the City's zoning code as determined by the zoning administrator?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 6-10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, or other required payment that are specifically related to the subject property?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 6-11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, assessments, or other required payments are delinquent and due.

Are there any buildings on the subject property?

- No
- Yes

Will the proposed conditional use be located in an existing building or a new building?

- Existing building
- Proposed building
- NA

If the conditional use will be in an existing building, is that building classified as "conforming" or "nonconforming?" A nonconforming building does not meet the dimensional requirements for the district in which it is located.

- Conforming building
- Nonconforming building

If nonconforming, please explain.

Has the City approved a variance or special exception for the subject property?

- No
- Yes

If yes, provide the year of issuance and a short description for each one.

5. **Zoning information.** The subject property is located in the following zoning district(s). (check all that apply)

- | | | |
|-----------------------------------------------------|------------------------------------------------------------|---------------------------------------------------|
| <input type="checkbox"/> R-1 Rural residential | <input type="checkbox"/> C-1 Cottage commercial | <input type="checkbox"/> MUW Mixed-use waterfront |
| <input type="checkbox"/> R-2 Suburban residential | <input checked="" type="checkbox"/> C-2 General commercial | <input type="checkbox"/> L-1 Lakefront |
| <input type="checkbox"/> R-6 Mixed residential | <input type="checkbox"/> C-3 Downtown commercial | <input type="checkbox"/> M Marina |
| <input type="checkbox"/> R-7 Waterfront residential | | <input type="checkbox"/> I Industrial |

6. **Adjoining land uses and zoning**

| | Zoning classification | Current uses |
|-------|------------------------------------------|------------------------------|
| North | residential <i>Commercial</i> | across highway 13 is housing |
| South | commercial <i>res.</i> | storage units |
| East | commercial | car wash |
| West | commercial | nickels worth bar and motel |

7. **Evaluation criteria.** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur

I would like to park boats on the property, and have a small boat related retail store. My property is actually 2 properties the 706 Main St. Building and an empty lot next to it consisting of the whole block between 7th and 8th avenue. For 2024 I would like to have 4 rental boats on the high visibility raised flat area in the north west corner. There will likely need to be one or two more boats for backups and chase boats parked on the lower areas. In the building the store will be located in the front room.

2. The presence of and compatibility with other uses on the subject property, if any

Currently there are no other uses for the property. The building will serve as a conference room to go over rentals and a boat store. The apartment that is attached will be a place for me to stay or rest.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses)

Boat rentals will be trailer launched rentals. Boats will be loaded up and made ready for use on the property and then taken to West End boat ramp to be launched. The store will be in the building. Some larger floating items may be locked neatly outside the building.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site

I hope that the property allows boat rentals on trailer to exit not on 13 but 7th and 8th avenue making for a much easier access to the launch ramp and gas station. Certainly this business will increase traffic to this area and I hope to make sure that safety and flow remains adequate. I do believe Omaha and the dirt alley help connect my property and Holiday gas station for gassing up boats. I placed a bench under the apple tree for pedestrians to rest. I was in Vegas with a bum knee last spring and really hated how there are no free places to sit, so I created one!

5. The suitability of the subject property for the proposed use

I chose this property for its visibility and proximity to West End launch ramp, and the building for a store.

6. Effects of the proposed use on the natural environment

Boat Rentals do involve combustion engines. Regular maintenance and nicer newer machines are the best way to reduce emissions and pollution from usage. I work with renters to make sure they understand leave no trace and have a plan to remove all trash and anything they may bring out on their rental. As a Northland graduate I have struggled to balance love of nature and Lake Superior with the use of combustion engines to access the lake. I think we are on the right track with better efficiency and regular maintenance. I also maintain a relationship with BlackWarrior Marine (BoatUS Tow Boat) and make sure any damage incidents are recovered immediately and with environmental protection in mind.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances

Boat rentals are during the day. 9-5. I may end up with late renters coming back nearing the sunset but I am very clear that boats are not to be used at night. There may be some running of engines to Servies and maintain the fleet, but that is for short moments and rather limited. One nuisance I want to prevent is kids or careless people playing on or around the boats. I am not asking permission to put up a fence or lighting system at the moment but that may be helpful to think about in the future. General security for the nice equipment is an important consideration.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts

I think boat rentals will compliment everything in Washburn as it will tie in Lake Superior and bring people to the water!

9. Any other factor not listed above, but which relates to the public health, safety, or welfare

As a Charter Captain and then a fleet Admiral for rental boats on Madeline Island I loved learning the history and telling the story of the region. I hope to really make Washburn a central location for boating in this region. I hope everyone can benefit from greater access to what is the real treasure of this region: Lake Superior!

8. **Project map.** Attach a project map. It can consist of a single page or multiple pages depending on the complexity of the features that need to be depicted.

The following items need to be included as appropriate to the project.

Background Project Information

- Project name
- Applicant name
- Preparation date

Survey Information

- North arrow and graphic scale
- Address of subject property or legal description
- Property boundaries
- Acreage of subject property

Project Development Information

- Easements/rights-of-ways (location, width, purpose, ownership)
- Common areas/conservancy areas (location, purpose, ownership)

Setting

- Property boundaries within 150 feet of the subject property
- Land uses within 150 feet of the subject property
- Zoning district boundaries within 150 feet of the subject property
- Municipal boundaries within 150 feet of the subject property

Site Features (existing and proposed)

- Ground contours when any slope exceeds 10 percent
- Wetlands
- Woodlands
- Wildlife habitat, including critical wildlife habitat
- Environmentally sensitive features
- Water resources (rivers, ponds, etc.)
- Floodplain boundaries
- Environmental and manmade development constraints and hazards including brownfields, contaminated sites, unstable soils, high groundwater, bedrock, and high-pressure natural gas lines

Landscaping Features (existing and proposed)

- Fences, buffers, and berms
- Pervious and impervious surfaces by type
- Existing trees and other prominent vegetation

Transportation Facilities (existing and proposed)

- Streets
- Driveways and road access onto public and private roads
- Sidewalks / trails

Buildings and Outdoor Storage/Activity Areas footprint, use, etc.)

- Existing and proposed
- Existing within 150 feet of subject property

Required Setbacks

- Yard setbacks (front, side, rear and shore)
- On-site septic systems
- On-site wells and off-site wells within 10 feet of the perimeter of the subject property

9. **Attachments.** List any attachments included with your application.

google maps map attached

10. **Other information.** You may provide any other information you feel is relevant to the review of your application.

For 2024 I am not trying to build anything or change the property much. I would like to add a gravel or paved parking area where the boats wont just be on grass. I also could really use a small tool/life jacket shed.

11. Applicant certification

- I certify that all of the information in this application, along with any attachments, are true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes city officials, Plan Commission members, Common Council members, employees, and other designated agents to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of such written materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner Signature(s):

Date:

CITY OF WASHBURN

PO BOX 638
WASHBURN, WI 54891

Receipt Nbr: 34829
Date: 9/21/2023
Check

RECEIVED FROM CAPTAIN BOB HARTZEL \$150.00

| <u>Type of Payment</u> | <u>Description</u> | <u>Amount</u> |
|------------------------|-----------------------------------------------------------|---------------|
| Accounting | ZONING PERMITS CONDITIONAL USE PERMIT APP. R. HARTZELL | 150.00 |
| <hr/> TOTAL RECEIVED | | 150.00 |

2

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members

From: Scott J. Kluver, Administrator ^{SK}

Re: Vacating Request of Triton Avenue Between Grandview Boulevard and Sunrise Avenue

Date: October 30, 2023

Enclosed you will find a request to vacate the unopened Triton Avenue between Grandview Boulevard and the unopened Sunrise Avenue adjacent to Block 3 and Block 6 of the DuPont Park Addition to the City of Washburn.

This location bisects property owned by Darren and Tera Miller and Don and Nancy Faith. The Millers are requesting this vacation in order to do improvements on their property.

This request would not land-lock any property. The Plan Commission and the Council should consider future plans, traffic flow, and potential impacts of development to the surrounding area when considering this request. Do know that Triton Avenue is part of a plan referred to as the DuPont Linear Park which was intended to provide a U-shaped recreational trail through the DuPont Park subdivision as indicated on the pre-2017 zoning map. The park is referenced in the Outdoor Recreation Plan which is part of the Comprehensive Plan. No activity has occurred recently on pursuing this except for some recent discussions related to the expansion of trails up to Superior Avenue and possibly into the proposed Cinaire housing development. If that would occur, it would be possible to then potentially link to the U-shaped DuPont Park portion. It should be noted that Triton Avenue, Mountain View, and Highland Avenues are the only remaining "through streets" on the northern part of the DuPont Park Subdivision (note the vacating map in the Council chamber.) It would be possible to reroute the proposed trail, should the Council and Plan Commission so choose, barring any topographical obstacles that may exist. The City maintains a utility easement through a portion of Highland Avenue for a water main.

At this time, more than 50 percent of the property owners along the length and ends of Triton Avenue have given their consent to the vacation. A copy of the recorded petition of the intent to vacate is outstanding; however, I will be working with the petitioner to get this done if the Council would like to proceed with the request. In addition, there will need to be further review of utility easements, but we are currently not aware of any utility easements. These items should be completed prior to the Plan Commission meeting on this matter.

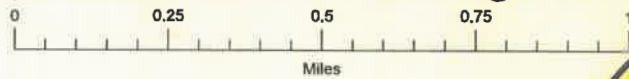
The purpose of this introductory item is to see if the Council is absolutely opposed to the request, and if so, it should be denied before additional time and effort are put in by the petitioner and staff. If the Council is receptive to considering this vacating request, the matter should be referred to the Plan Commission and an authorization to publish the public hearing notice should be given. Please let me know if you have any questions on this request. The Council would have to take formal action after the Plan Commission review and Public Hearing.

Pre April 2017 Zoning

City of Washburn Zoning Districts



The Zoning Districts on this map were provided by the City of Washburn. Bayfield County makes no warranty with respect to accuracy or completeness of this map and assumes no liability for its use or misuse. This map was last updated on June 3, 2014.

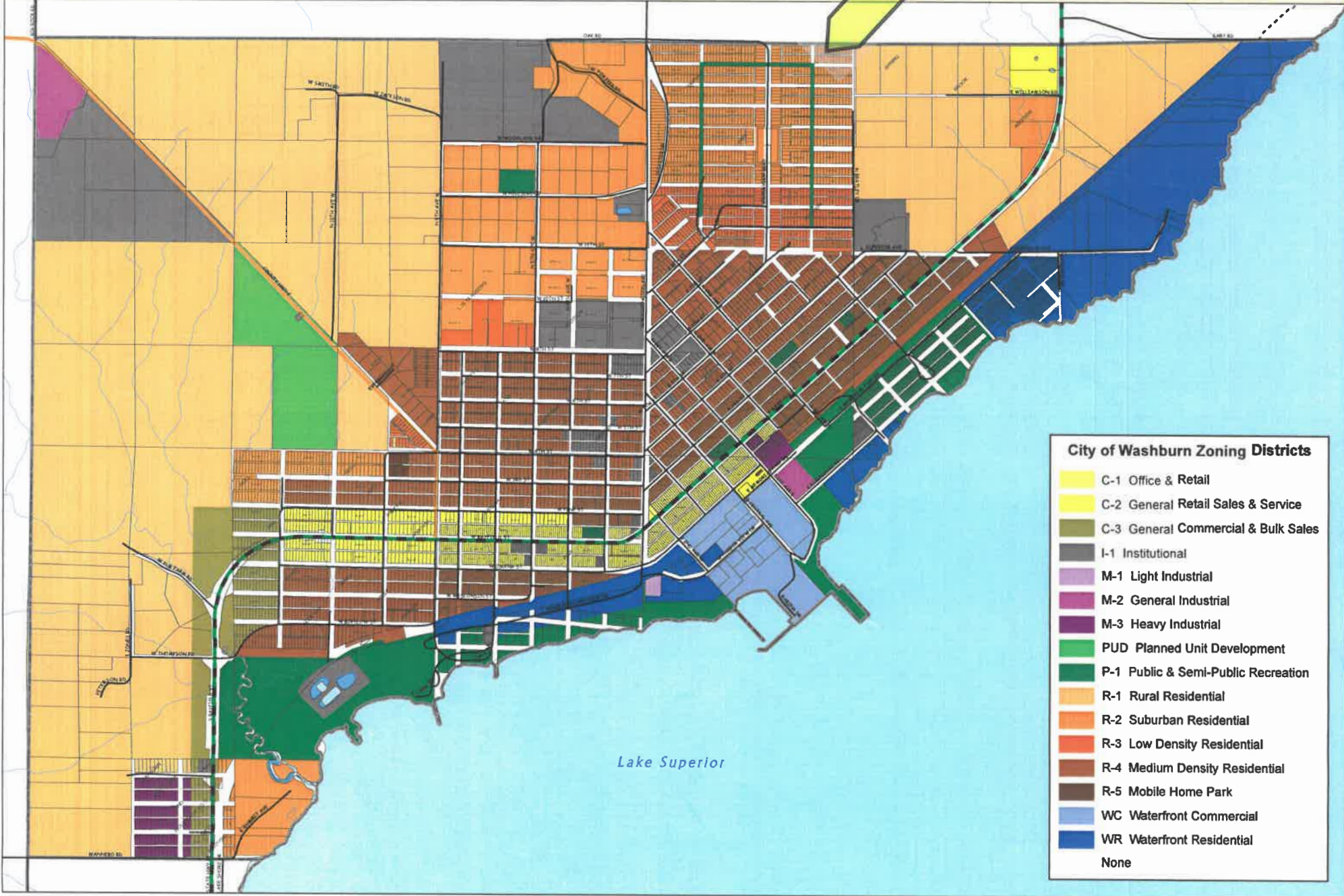


Features

- City of Washburn Boundary
- Approximate Parcel Boundary
- Lakes
- Rivers

Roads

- State
- County
- Town
- Private



City of Washburn Zoning Districts

- C-1 Office & Retail
- C-2 General Retail Sales & Service
- C-3 General Commercial & Bulk Sales
- I-1 Institutional
- M-1 Light Industrial
- M-2 General Industrial
- M-3 Heavy Industrial
- PUD Planned Unit Development
- P-1 Public & Semi-Public Recreation
- R-1 Rural Residential
- R-2 Suburban Residential
- R-3 Low Density Residential
- R-4 Medium Density Residential
- R-5 Mobile Home Park
- WC Waterfront Commercial
- WR Waterfront Residential
- None

Future Conceptual Improvements & Projects

The following is a list of conceptual outdoor recreational projects.

Inter-Community Trail

- Prepare recreational trail plan over abandoned railroad corridor between Washburn and Ashland for mixed use activities.
- Prepare recreational trail plan over abandoned railroad or existing highway corridors between Washburn and Bayfield for silent sports.
- Legal work to purchase lands and acquire easements as necessary.
- Surface trail with gravel or asphalt as warranted.
- Provide trail heads and parking as needed.
- Prepare maps and trail brochures.
- Undertake clearing and grade trail as necessary.
- Install bridges as necessary.
- Install signage as necessary.

Dupont Linear Park

- Prepare park development plan.
- Provide clearing and grading of silent sports trail.
- Install benches.
- Surface trail with gravel.
- Prepare and publish maps and brochures of park.
- Purchase additional lands and easements as necessary to provide access to park, extend park, and establish trailheads.
- Provide signage as necessary.
- Install gates at access points to limit motorized vehicles.

Washburn Green Circle Trail

- Prepare trail development plan.
- Provide clearing and grading of silent sports trail.
- Install benches.
- Purchase trail maintenance equipment including ATV, trailers, and accessories.
- Surface trail with gravel.
- Install gates as necessary to limit motorized vehicles.
- Purchase additional lands and easements as necessary to provide access to park, extend park, and establish trailheads.
- Provide signage as necessary.
- Prepare and publish maps and brochures of park.
- Purchase of snowmobile and cross-country skiing trail grooming equipment.
- Bridge ravines and streams as necessary.

**PETITION FOR VACATION OF ALLEY(S) OR STREET(S)
CITY OF WASHBURN, WISCONSIN**

To: Mayor, Common Council and City Plan Commission of the City of Washburn, WI 54891

I (We), the undersigned, do hereby petition the City of Washburn to vacate (give street name or general location of street/alley):

Darren Miller

IN SUPPORT THEREOF, the following facts are hereby presented:

1. **THERE IS ATTACHED a sketch or copy of the plat of the area which depicts the requested vacation. (Map showing the vacation must agree with legal description of property listed in #2 below).**

2. **The property abutting the proposed vacation is legally described as:**

Within the Dupont Park Addition -

~~XXXXXX~~ Triton AVE. Between Blocks 3 & 6

See Attached Pictures

3. **Abutting property owner(s) and mailing addresses (see #2 Procedures for Vacation):**

1. DON Faith III And Nancy Faith

32750 OAK RD. WASHBURN WI 54891

2. _____

3. _____

4. _____

5. _____

4. For all vacations other than unpaved alleys: Property owner(s) and mailing addresses for at least 1/3 of the 2650 feet from each end of the section of road to be vacated (see #2 Procedures for Vacation):

1. Don Faith III & Nancy Faith
32750 OAK Rd Washburn WI 54891

2. Jonathan Martin & Erika Lang
30 OAK Rd Washburn WI 54891

3. Peter & Lynda Warren
34 OAK Rd. Washburn WI 54891

4. Eric & Angela Korpela
5202 Seaview AVE Castro Valley CA. 94546

6. Donna Nemecek 709 West 3rd St Washburn WI 54891

7 other side

5. The undersigned petitioner(s) hereby agree to accept said property described above and shown on the attached sketch or plat, subject to conditions set forth by the City Council and City zoning regulations and including, but not limited to, the right of the City of Washburn and/or utility companies to retain any easement, drainageway, or floodplain land for the purpose of maintaining, conducting or constructing any required existing or future services or facilities on said easement which would serve or protect the public.

6. That the facts presented herein and attached hereto are true and correct to the best of my (our) knowledge.

Submitted this 09 day of 25th, 2023.

CIRCULATOR OF THIS PETITION:

(Darren Miller)
(Signature)

Please Print Below:

Darren Miller

Name of Petitioner

1404 GRANDVIEW Blvd. Washburn WI 54891

Address

715-373-0272

Telephone

STATUS (Check Below):

Property Owner Option Holder Owner's Authorized Agent
 Contract Purchaser

See back FOR MORE

CO-PETITIONER (If Any):

Darren Miller / Tera Miller
Signature

Please Print Below:

Darren Miller & Tera Miller
Name
1404 GRAND View Blvd. Washburn WI 54891
Address
715 373-0272 HM Cell# 715-329-0498
Telephone



FEES:

\$250 minimum for an alley; \$400 minimum for a street - due on filing; non-refundable.

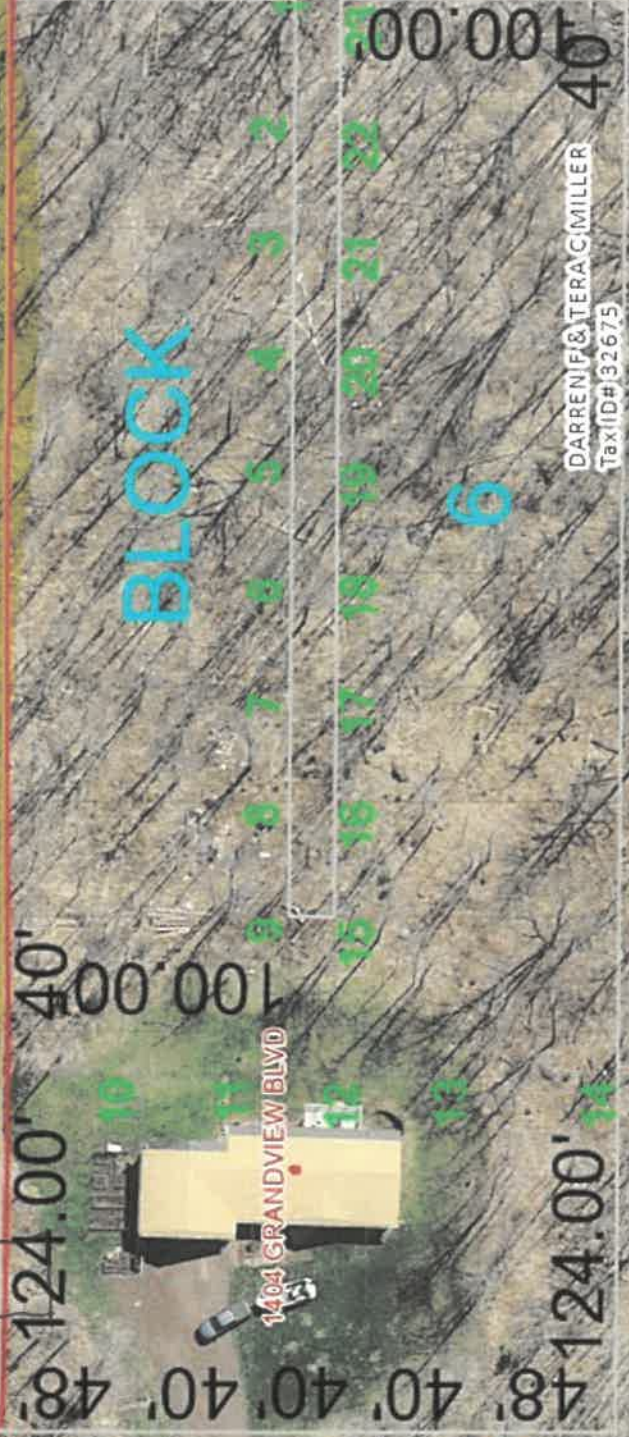
SUBMIT MINIMUM FEE WITH PETITION. (Details regarding fees and the balance due, if any, are found in "Procedures for Vacation" which is given to the applicant with the petition).

SUBMIT ALL ATTACHMENTS. FAILURE TO DO SO MAY RESULT IN THE PETITION BEING DELAYED OR RETURNED. COMPLETED PETITIONS SHOULD BE RETURNED TO THE CITY CLERK, CITY HALL, 119 WASHINGTON AVENUE, WASHBURN, WI 54891. TELEPHONE #715-373-6160 Ext. 4 WITH QUESTIONS.

MICHIGAN AVE.



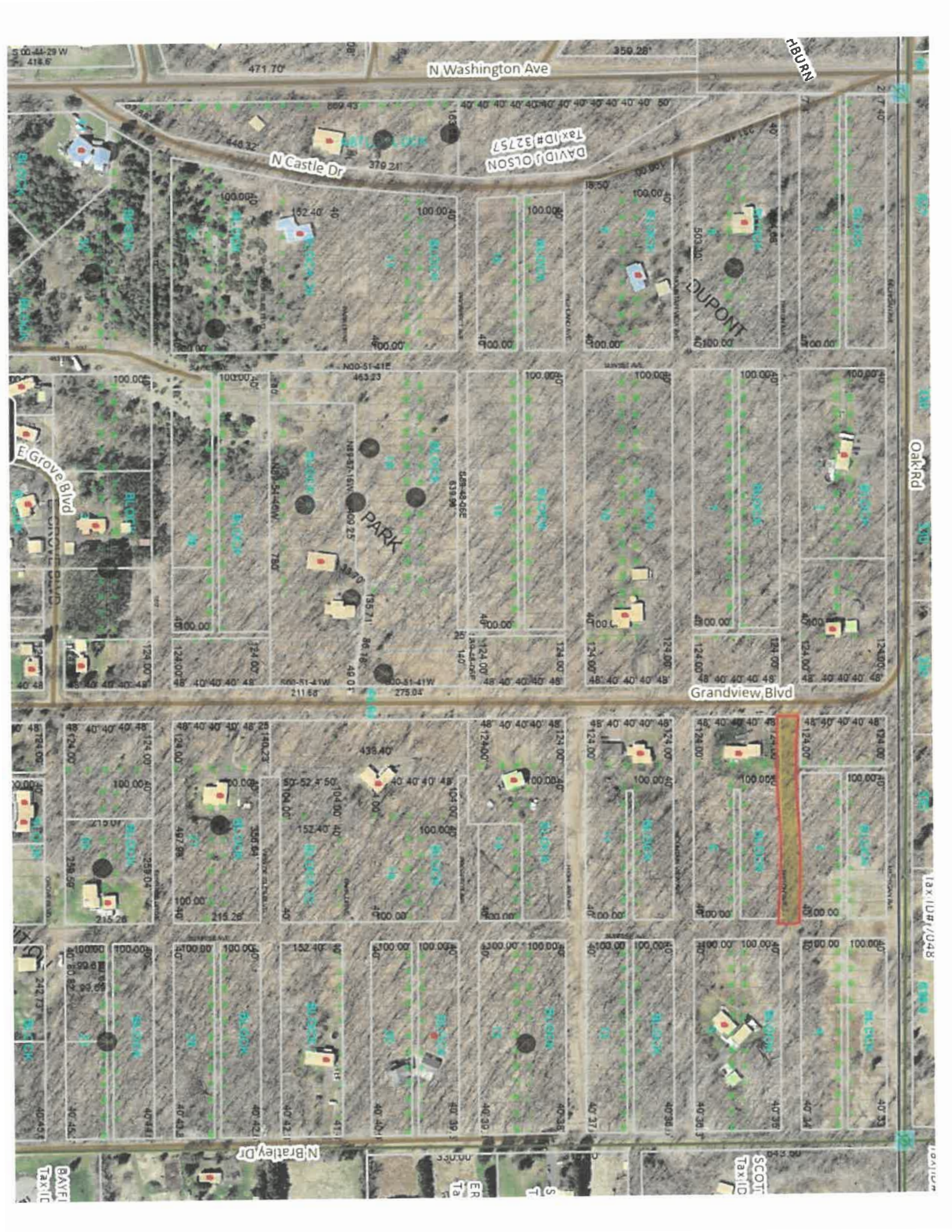
TRITON AVE.



Section 32

Grandview Blvd

1404 GRANDVIEW BLVD



N Washington Ave

H BURN

DAVID OLSON
Tax ID # 32757

N Castle Dr

DUPONT

E Grove Blvd

PARK

Oak Rd

Grandview Blvd

Tax ID # 1048

N Bratley Dr

SCOTT
Tax ID

BAYVIEW
Tax ID

Please sign and date below and return to me in the envelope included.

I (we), the undersigned, approve of Darren and Tera Miller's request to have a section of the unopened Triton Avenue vacated that lies adjacent to their property and the property of Don and Nancy Faith between Grandview Boulevard and the unopened Sunrise Avenue Tax IDS 32675 and 36370.

Legal Descriptions of adjacent lots:

DUPONT PARK ADDITION TO CITY OF WASHBURN LOTS 1-23 BLOCK 6 IN V.973 P.50 TOG WITH VAC NORTH/SOUTH ALLEY AND VAC 40' ALLEY ABUTTING LOTSS 9 & 15 IN V.974 P.224 2204

And

DUPONT PARK ADDITION TO CITY OF WASHBURN LOTS 1 - 23 BLOCK 3

Printed Name: Don C. Faith III Date: 9/15/23
Signature: Don C. Faith III

Printed Name: Nancy B. Faith Date: 9/15/23
Signature: Nancy B. Faith

Thank you very much!

Darren and Tera Miller

Please sign and date below and return to me in the envelope included.

I (we), the undersigned, approve of Darren and Tera Miller's request to have a section of the unopened Triton Avenue vacated that lies adjacent to their property and the property of Don and Nancy Faith between Grandview Boulevard and the unopened Sunrise Avenue Tax IDS 32675 and 36370.

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And

DUPONT PARK ADDITION TO CITY OF WASHBURN LOTS 1 - 23 BLOCK 3

Printed Name: Peter K Warren Date: 9/20/2023

Signature: Peter K Warren

Printed Name: Lynda de Warren Date: 9/20/2023

Signature: Lynda de Warren

Thank you very much!

Darren and Tera Miller

Please sign and date below and return to me in the envelope included.


I (we), the undersigned, approve of Darren and Tera Miller's request to have a section of the unopened Triton Avenue vacated that lies adjacent to their property and the property of Don and Nancy Faith between Grandview Boulevard and the unopened Sunrise Avenue Tax IDS 32675 and 36370.

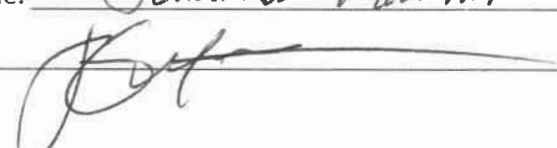
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And

DUPONT PARK ADDITION TO CITY OF WASHBURN LOTS 1 - 23 BLOCK 3

Printed Name: Erika A. Lang Date: 9/19/23
Signature: 

Printed Name: Jonathan Martin Date: 09/21/2023
Signature: 

Thank you very much!

Darren and Tera Miller

CITY OF WASHBURN

PO BOX 638

WASHBURN, WI 54891

Receipt Nbr: 34845

Date: 9/27/2023

Check

**RECEIVED
FROM**

TERRA MILLER

\$400.00

| <u>Type of Payment</u> | <u>Description</u> | <u>Amount</u> |
|------------------------|-----------------------------------|---------------|
| Accounting | VACATING FEES | 400.00 |
| | VACATING APPLICATION D & T MILLER | |
| <hr/> | | |
| TOTAL RECEIVED | | 400.00 |
| <hr/> | | |

3

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: Scott J. Kluver, Administrator
Re: Proposed Certified Survey Map – Stilton
Date: October 17, 2023

Enclosed you will find a copy of a draft certified survey map that would transfer property from Jodi Supanich to Mark Stilton at 101 Williamson Rd. This reconfiguration allows the Stilton property (Lot 1 on the draft CSM) to have the driveway access to the property owned by them. I have enclosed a map that shows what the current property boundaries look like.

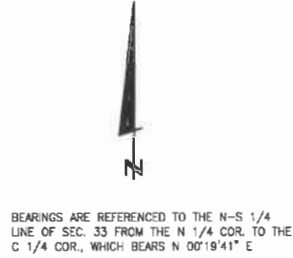
In reviewing this, both lots would still conform with the C-1 Cottage Commercial District standards. No new nonconformities are created in relation to dimensional standards as all setbacks and frontages are met. There are no concerns with the Comprehensive Plan Land Use Map either.

Property taxes are up to date, and utilities are also current.

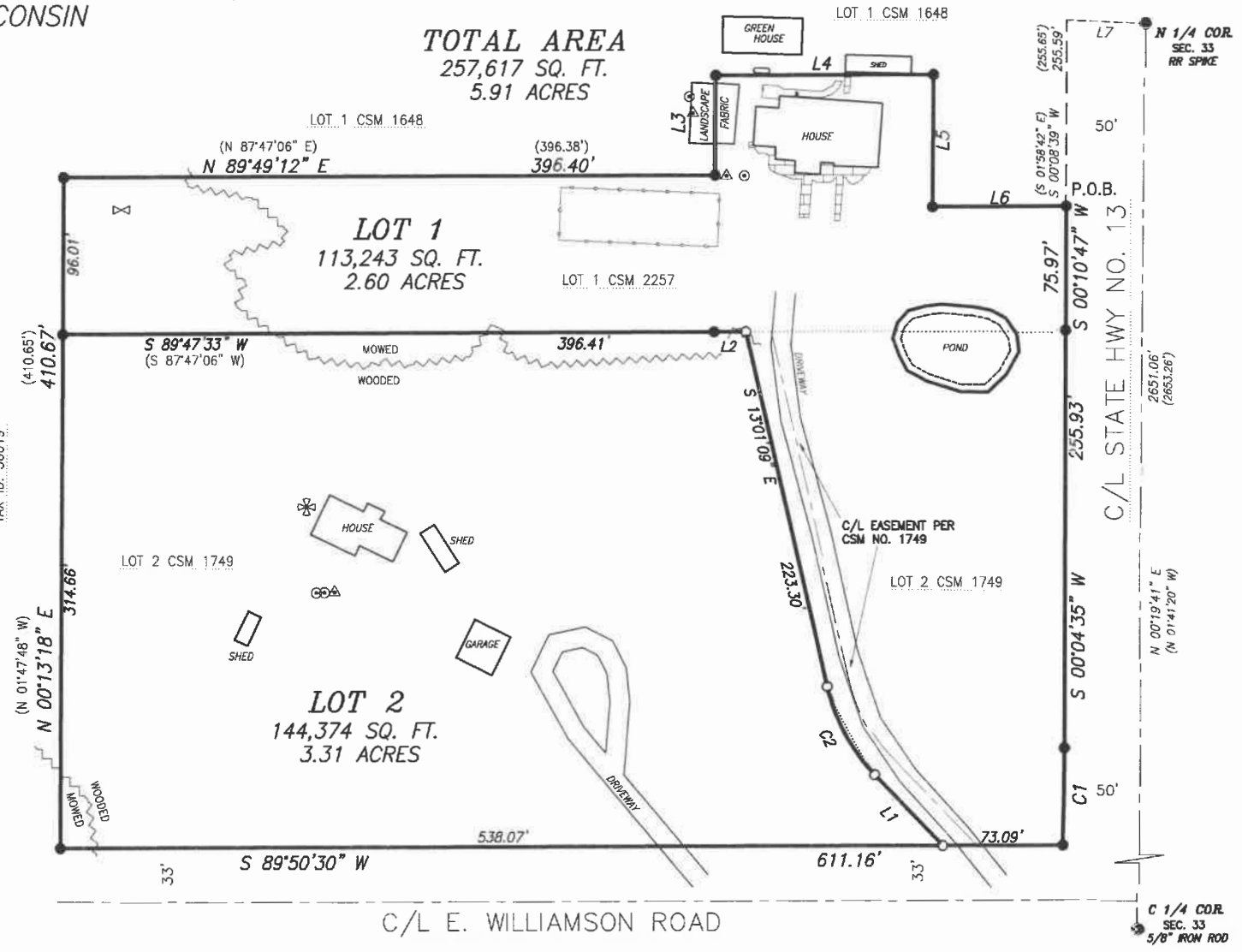
I recommend approval of the proposed survey map. Please let me know if you have any questions on this matter.

BAYFIELD COUNTY CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CSM NO. 2257, RECORDED IN VOL. 13 OF CSM ON PAGES 107-108 AS DOC. NO. 2022R-597276, AND LOT 2 OF CSM NO. 1749, RECORDED IN VOL. 10 OF CSM ON PAGES 202-204 AS DOC. NO. 2018R-57535, ALL LOCATED IN THE NE 1/4 OF THE NW 1/4 OF SECTION 33, T. 49 N., R. 4 W., IN THE CITY OF WASHBURN, BAYFIELD COUNTY, WISCONSIN



TOTAL AREA
257,617 SQ. FT.
5.91 ACRES



LINE TABLE

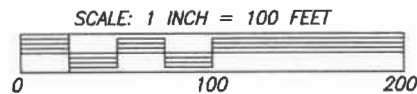
| LINE | BEARING | DISTANCE | RECORDED DATA |
|------|----------------|----------|-------------------------|
| L1 | N 43°57'55\" W | 80.00' | |
| L2 | S 89°47'33\" W | 19.22' | |
| L3 | N 00°10'34\" E | 60.81' | N 01°47'48\" E, 60.81' |
| L4 | N 89°48'44\" E | 132.94' | N 87°47'06\" E, 132.94' |
| L5 | S 00°14'39\" W | 80.66' | S 01°47'48\" E, 80.66' |
| L6 | N 89°45'32\" E | 81.83' | N 87°47'06\" E, 81.59' |
| L7 | N 87°18'51\" W | 48.30' | N 87°45'27\" E, 49.02' |

CURVE TABLE

| CURVE | ARC | RADIUS | DELTA | CHORD BEARING | CHORD DISTANCE |
|----------|--------|----------|------------|----------------|----------------|
| C1 | 59.26' | 1808.25' | 01°52'39\" | S 00°49'37\" W | 59.25' |
| C1 (REC) | 59.18' | 1808.25' | 01°52'30\" | S 01°02'27\" E | 59.17' |
| C2 | 62.12' | 115.00' | 30°56'52\" | S 28°29'32\" E | 61.36' |

UTILITIES LEGEND

- ⊗ WELL
- ⊕ ELECTRIC METER PEDESTAL
- ⊙ SEPTIC COVER
- ⊙ SEPTIC VENT
- ⊙ LP TANK
- FENCE
- ▨ PATIO BRICK
- ▭ CONCRETE



LEGEND

- FOUND 1-1/4\" IRON PIPE (IP), UNLESS NOTED
- 1-1/4\" X 18\" IRON PIPE, WEIGHING 1.67 LBS/FT SET THIS SURVEY
- () RECORDED DATA

PIPE DIMENSIONS ARE OUTSIDE DIAMETER

CLIENT: STILTON, M.

JOB NO.: N23/105
SCALE: 1 INCH = 100 FEET
OCTOBER 13, 2023
FIELDWORK COMPLETED: 8/31/23

DRAFTED BY: P. NELSON
FILE: N/T49NR4W/SEC33/
ACAD/N23_105_STILTON PSDATA/N22_109
NB. 431 PG. 41 SHEET 1 OF 2 SHEETS

NELSON
SURVEYING
INCORPORATED

SURVEYING YOUR NECK OF THE WOODS SINCE 1954

101 W. MAIN STREET
SUITE 100
ASHLAND, WISCONSIN 54806
(715) 682-2692

MAP NO. CSM 3355 ©

BAYFIELD COUNTY CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CSM NO. 2257, RECORDED IN VOL. 13 OF CSM ON PAGES 107-108 AS DOC. NO. 2022R-597276, AND LOT 2 OF CSM NO. 1749, RECORDED IN VOL. 10 OF CSM ON PAGES 202-204 AS DOC. NO. 2018R-57535, ALL LOCATED IN THE NE 1/4 OF THE NW 1/4 OF SECTION 33, T. 49 N., R. 4 W., IN THE CITY OF WASHBURN, BAYFIELD COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, PETER A. NELSON, PROFESSIONAL LAND SURVEYOR IN THE STATE OF WISCONSIN, HEREBY CERTIFY:

THAT ON THE ORDER OF MARK STILTON, I HAVE SURVEYED, DIVIDED AND MAPPED LOT 1 OF CSM NO. 2257, RECORDED IN VOL. 13 OF CSM ON PAGES 107-108 AS DOC. NO. 2022R-597276, AND LOT 2 OF CSM NO. 1749, RECORDED IN VOL. 10 OF CSM ON PAGES 202-204 AS DOC. NO. 2018R-57535, ALL LOCATED IN THE NE 1/4 OF THE NW 1/4 OF SECTION 33, T. 49 N., R. 4 W., IN THE CITY OF WASHBURN, BAYFIELD COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

TO LOCATE THE POINT OF BEGINNING, COMMENCE AT A RAILROAD SPIKE AT THE NORTH 1/4 CORNER OF SAID SECTION 33 AND RUN N 87°18'51" W, 48.30 FEET TO THE WESTERLY RIGHT OF WAY LINE OF STATE HIGHWAY "13". THENCE ON SAID WESTERLY RIGHT OF WAY LINE, S 00°08'39" W, 255.59 FEET TO THE POINT OF BEGINNING.

THENCE FROM SAID POINT OF BEGINNING BY METES AND BOUNDS:

CONTINUE ON SAID WESTERLY RIGHT OF WAY LINE, S 00°10'47" W, 75.97 FEET. THENCE S 00°04'35" W, 255.93 FEET. THENCE 59.26 FEET, SOUTHWESTERLY, ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1808.25 FEET, A CENTRAL ANGLE OF 01°52'39" AND A CHORD THAT BEARS S 00°49'37" W AND MEASURES 59.25 FEET. THENCE LEAVING SAID WESTERLY RIGHT OF WAY LINE AND ON THE NORTH RIGHT OF WAY LINE OF E. WILLIAMSON ROAD, S 89°50'30" W, 611.16 FEET. THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°13'18" E, 410.67 FEET ON THE WEST LINE OF SAID CSM NO.'S 1749 AND 2257. THENCE LEAVING SAID WEST LINES AND ON THE NORTH LINE OF SAID CSM NO. 2257, N 89°49'12" E, 396.40 FEET. THENCE N 00°10'34" E, 60.81 FEET. THENCE N 89°48'44" E, 132.94 FEET. THENCE S 00°14'39" W, 80.66 FEET. THENCE N 89°45'32" E, 81.83 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 257,617 FEET, WHICH IS 5.91 ACRES.

SAID PARCEL IS SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD OR USE, IF ANY.

THAT SAID SURVEY AND MAP FULLY COMPLY WITH SECTION 236.34 OF THE WISCONSIN STATUTES AND CITY OF WASHBURN SUBDIVISION CONTROL ORDINANCE;

THAT THIS MAP IS A TRUE REPRESENTATION OF SAID SURVEY; AND

THAT SAID SURVEY AND MAP ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

PETER A. NELSON PLS - 3071

CITY OF WASHBURN ZONING APPROVAL

THIS BAYFIELD COUNTY CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE CITY OF WASHBURN ZONING COMMITTEE.

SCOTT KLUVER - CITY ADMINISTRATOR DATED THIS _____ DAY OF _____, 2023

3355

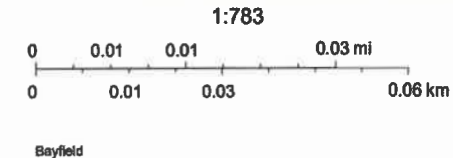
| | | | | |
|-----------------------|---------------------------------|-----------------------|----------------------------------------------|---------------------------------------------|
| CERTIFICATIONS | CLIENT: STILTON, M. | FILE: N/T49NR4W/SEC33 | NELSON SURVEYING INCORPORATED | 101 W. MAIN STREET |
| | JOB NO.: N23/105 | ACAD: N23_105_STILTON | | ASHLAND, WISCONSIN 54806 |
| | DRAFTED BY: P. NELSON | PSDATA: N22_109 | | (715) 882-2692 |
| | DATE: 10/13/2023 | NB. 431 PG. 41 | | WWW.NELSONSURVEYING.COM |
| | FIELD WORK COMPLETED: 8/23/2022 | SHEET 2 OF 2 SHEETS | | MAP NO. CSM 3355 |
| | | | | SURVEYING YOUR NECK OF THE WOODS SINCE 1964 |

Bayfield County, WI



10/17/2023, 4:08:35 PM

- | | | | |
|-----------------------------|--------------------|------------------------------|------------|
| Rivers | Section Lines | Survey Maps | Demolished |
| Tie Lines | Municipal Boundary | UnRecorded Map | Existing |
| Meander Lines | All Roads | Recorded Map | Driveways |
| Approximate Parcel Boundary | State | Building Footprint 2009-2015 | Buildings |
| | Town | Changed | |



CITY OF WASHBURN

PO BOX 638

WASHBURN, WI 54891

Receipt Nbr: 34932

Date: 10/18/2023

Check

RECEIVED FROM Nelson Surveying

\$25.00

| <u>Type of Payment</u> | <u>Description</u> | <u>Amount</u> |
|------------------------|---------------------------------|---------------|
| Accounting | ZONING PERMITS CSM - Stilton | 25.00 |

TOTAL RECEIVED 25.00

Receipt Memo: Stilton CSM

4

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: Scott J. Kluver, Administrator *SK*
Re: Proposed Certified Survey Map – Bobb
Date: October 31, 2023

Enclosed you will find a copy of a draft certified survey map that would divide Kristen Bobb's property at 1101 N. Washington Avenue. This would allow Ms. Bobb to transfer 2/3^{rds} of her existing lot to a family member.

In reviewing this, both lots would still conform with R-6 Residential zoning requirements. No new nonconformities are created in relation to dimensional standards as all setbacks and frontages are met. There are no concerns with the Comprehensive Plan Land Use Map either.

Property taxes are up to date, and utilities are also current.

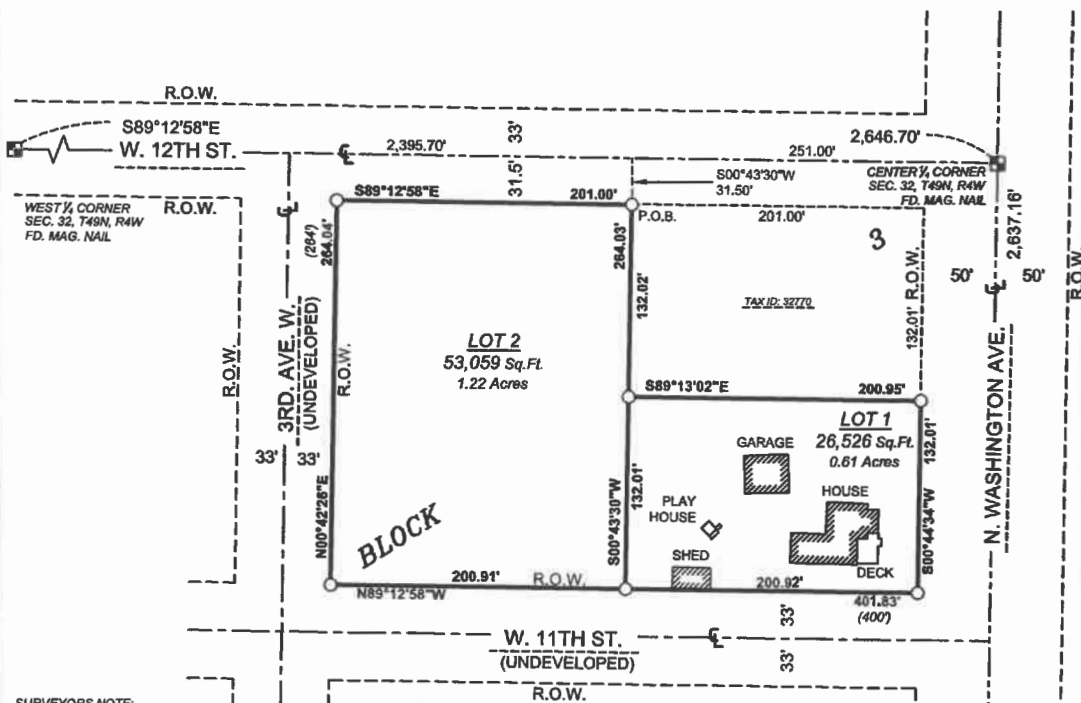
I have no objections to the proposed survey map itself; however, I did express concerns on the future development of Lot 2 to Ms. Bobb and her family. To develop this lot will require connection to City water and sewer which would also mean the mains need to be extended. This would be a potential special assessment to the new lot and potentially others. I have not received cost estimates yet from our engineer; however, I did caution that this would potentially be very expensive. Please let me know if you have any questions on this matter.

BAYFIELD COUNTY CERTIFIED SURVEY MAP NO. _____

LAND LOCATED IN BLOCK 3 OF THE L.N. CLAUSEN'S ADDITION
LOCATED IN THE SW ¼ OF
SECTION 32, TOWNSHIP 49 NORTH, RANGE 4 WEST,
CITY OF WASHBURN, BAYFIELD COUNTY, WI.



BEARINGS ARE GRID BASED
WCCS - BAYFIELD COUNTY WITH
THE EAST LINE OF THE SOUTHWEST ¼
MEASURED TO BEAR S00°43'34"W



SURVEYORS NOTE:

THE L.N. CLAUSEN'S ADD. TO THE CITY OF WASHBURN WAS RECORDED IN APRIL 1905.

BOB MICK, PLS #962 COMPLETED A BOUNDARY AND TOPOGRAPHIC SURVEY ON BEHALF OF THE WASHBURN SCHOOL DISTRICT WITH A REVISED BOUNDARY DATED OF 1-22-90. ON THIS MAP HE SHOWS HE PRESUMABLY SET MONUMENTS IN BLOCKS 1,4,5,6 & 7. HIS LEGEND STATES "PIPE BLOCK CORNERS TO BE SET." IT IS UNCLEAR WHAT HE SET AS MONUMENTS, IF ANY.

DAN HOLMAN, PLS 2393 COMPLETED A COUPLE OF MAPS OF SURVEY IN BLOCKS 1,6,7,8 & 9 ON BEHALF OF THE WASHBURN SCHOOL DISTRICT IN APRIL & JUNE OF 2000. HE DOESNT SHOW ANY FOUND MONUMENTS SET BY MICK OR OTHER SURVEYORS. HE SHOWS HE SET ALL MONUMENTS. I FOUND THREE OF HOLMAN'S CAPPED REBAR NEAR THE WEST RIGHT OF WAY OF WASHINGTON AVE. IT APPEARS HE USED THE ACTUAL CENTERLINE AND NOT THE SECTION LINE TO ESTABLISH THE EXTERIOR BOUNDARY OF L.N. CLAUSEN'S ADDITION. I FOUND ONE OF HIS MONUMENTS NEAR THE SE CORNER OF BLOCK 1 OF SAID ADDITION. IT IS UNCLEAR HOW HE CAME UP WITH THIS LOCATION. I ALSO FOUND TWO 1" IRON PIPES ON THEIR SIDE WITHIN 1' ± OF HIS LOCATION.

NUMEROUS SURVEYORS HAVE COMPLETED SURVEYS WITHIN BLOCKS 12 - 17 INCLUDING MYSELF. THESE SURVEYS CAN BE FOUND WITHIN THE BAYFIELD COUNTY LAND RECORDS DEPT. OR BAYFIELD COUNTY REGISTRY.

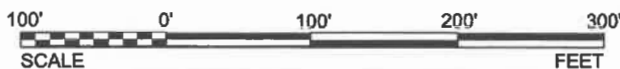
WHILE COMPLETING THIS SURVEY I FOUND MONUMENTS NEAR THE CALCULATED LOCATIONS FOR THE NW & NE CORNERS OF BLOCK 4, THE NW CORNER OF BLOCK 5 AND THE NE CORNER OF BLOCK 11. THE MONUMENT AT THE NE CORNER OF LOT 11 WAS A CAPPED REBAR SET BY MICK. THE REMAINING MONUMENTS WERE A COMBINATION OF 1" O.D. & 1 1/4" O.D. IRON PIPES. THE ORIGINS OF THESE MONUMENTS CANT BE VERIFIED. SAID MONUMENTS DO NOT FIT WELL WITH THE RECORDED PLAT.

I PROPORTIONED THE ENTIRE PLAT WITH EXISTING MONUMENTS LOCATED AT THE W 1/4, C 1/4 CORNERS. AND THE CALCULATED LOCATION FOR THE W 1/4, SW AND CS 1/4 CORNERS PER RECORDED PLAT. THE LOCATION OF THE PROPORTIONED BLOCKS FITS VERY WELL WITH FOUND MONUMENTS LOCATED IN BLOCKS 12 - 17. I HELD THE PROPORTION TO DETERMINE THE BOUNDARY OF BLOCK 3 AS IT APPEARS THAT FELLOW SURVEYORS HAVE USED THE PROPORTION AS WELL.

LEGEND

- -SET 1 1/4" O.D. x 18" IRON PIPE WEIGHING 1.68 LBS PER LIN. FOOT
- () -PREVIOUSLY RECORDED AS

FIELDWORK COMPLETED:
10/17/23



Pine Ridge Land Surveying, LLC.

Professional Land Surveying Services
Value & Quality in a Timely Manner.

PATRICK A. MCKUEN, PLS
1424 1/2 Lake Shore Dr. W.
Ashland, Wisconsin
Phone (715) 682-2969

WWW.PINERIDGESURVEYING.COM
PROJECT NO. BOBB23 - 32-49-4
SHEET 1 OF 2 SHEETS

**BAYFIELD COUNTY
CERTIFIED SURVEY MAP NO. _____**

LAND LOCATED IN BLOCK 3 OF THE L.N. CLAUSEN'S ADDITION
LOCATED IN THE SW ¼ OF
SECTION 32, TOWNSHIP 49 NORTH, RANGE 4 WEST,
CITY OF WASHBURN, BAYFIELD COUNTY, WI.

Surveyor's Certificate

I, Patrick A. McKuen, Professional Land Surveyor S-2992, hereby certify that I have surveyed and mapped; Land located in Block 3 of the L.N. Clausen's Addition located in the SW ¼ of Section 32, Township 49 North, Range 4 West in the City of Washburn, Bayfield County, WI more particularly described as follows:

Commencing at the W ¼ corner of said section; Thence S89°12'58"E along the north line of the SW ¼ of said section a distance of 2,395.70 feet; Thence S00°43'30"W a distance of 31.50 feet to the north line of Block 3 which is the Point of Beginning; Thence S00°43'30"W a distance of 132.02 feet; Thence S89°13'02"E a distance of 200.95 feet to the east line of Block 3; Thence S00°44'34"W along said east line a distance of 132.01 feet to the southeast corner of Block 3; Thence N89°12'58"W along the south line of Block 3 a distance of 401.83 feet to the southwest corner of Block 3; Thence N00°42'26"E along the west line of Block 3 a distance of 264.04 feet to the northwest corner of Block 3; Thence S89°12'58"E along said north line a distance of 201.00 feet to the Point of Beginning.
That the above described parcel of land contains 79,585 square feet or 1.83 acres.

That I have made this map at the direction of Kristen Bobb, OWNER of said lands.

That said parcel is subject to any easements, restrictions and right-of-ways of record.

That I have fully complied with the provisions of Section 236.34 of Wisconsin Statutes and with the subdivision regulations of the City of Washburn and Bayfield County in surveying, dividing and mapping said parcel.

That this map correctly and accurately depicts the exterior boundaries of said parcel and the division thereof made.

dated this _____ day of _____

Pine Ridge Land Surveying
Patrick A. McKuen
WI PLS S-2992

CITY OF WASHBURN ZONING APPROVAL CERTIFICATE

I, SCOTT KLUVER, CITY OF WASHBURN PLANNING & ZONING DIRECTOR,
DO HEREBY APPROVE THIS BAYFIELD COUNTY CERTIFIED SURVEY MAP

SIGNED: _____
SCOTT KLUVER

DATED THIS _____ DAY OF _____, 2023.

Pine Ridge Land Surveying, LLC.
Professional Land Surveying Services
Value & Quality in a Timely Manner...
PATRICK A. MCKUEN, PLS
1424 1/2 Lake Shore Dr. W.
Ashland, Wisconsin
Phone (715) 682-2969
WWW.PINERIDGESURVEYING.COM
PROJECT NO. BOBB23 - 32-49-4
SHEET 2 OF 2 SHEETS

5

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members

From: Scott J. Kluver, ^{SK}Administrator

Re: Request of Good Cause Extension of Development Agreement with the Brewing Badger, LLC

Date: November 2, 2023

Enclosed you will find a copy of the development agreement with The Brewing Badger, LLC. At issue is the provision in Section 4.7 on page 7 that the new facility shall be substantially complete and open to the public by December 31, 2023. If that does not occur, the property is to be transferred back to the City. In addition, the City would release the liquor license it is holding. Obviously completion will not occur by the deadline, but Mr. Colish is requesting good cause one year extension to complete the project.

The last time an extension was granted was a year ago, as the demolition was to be completed by October 1, 2022. That extension allowed the building to be taken down this past summer once after the remediation was completed and grant funding was finalized. At this point, Mr. Colish received his zoning approvals with some conditions in September. I have not yet received notice of state approved plans; however, he has indicated that they have been applied for and should be forthcoming. It is their intention to do winter construction to catch up.

As far as financing, I have asked Mr. Colish to provide proof of financing. He has indicated that he is working with the bank and Mr. Crowell from Chippewa Valley Bank will be present to answer questions.

I have expressed to Mr. Colish that our patience is wearing thin related to the timing and information on the project. So much time, energy, and funds have been put into this already, and I believe we all want this project to happen despite the slow progress. I believe an extension should be granted if good cause exists and there is evidence that action is around the corner.

Please let me know if you have further questions on this matter. I do expect Mr. Colish to be in attendance at the meeting.

**CONTRACT
FOR
PRIVATE REDEVELOPMENT**

By and Between

CITY OF WASHBURN, a Wisconsin municipal corporation

and

THE BREWING BADGER, LLC

This document drafted by:

GARNER, GINSBURG, & JOHNSEN, P.A.
43 SE Main Street
Unit 500
Minneapolis, MN 55414
(612) 259-4800

CONTRACT FOR PRIVATE REDEVELOPMENT

This Contract for Private Redevelopment (the "Agreement") is made this 3 day of November, 2021, by and between the City of Washburn, a Wisconsin municipal corporation, having its principal office at 119 Washington Ave, Washburn, Wisconsin 54891 (the "City"), and The Brewing Badger, LLC, a Wisconsin limited liability company, having its principal office at 75415 Paulson Rd, Washburn, Wisconsin, 54891 (the "Developer").

WITNESSETH:

WHEREAS, the City and Developer have agreed to enter into a contract for the transfer from the City to Developer of a portion of the land parcel located at 204 Bayfield St., Washburn, Wisconsin; more specifically shown and described in Exhibit A attached hereto; and

NOW, THEREFORE, in consideration of the mutual promises and conditions contained herein, the partners agree as follows:

ARTICLE I

Definitions

Section 1.1. Definitions. In this Agreement the following terms shall have the meanings given unless a different meaning clearly appears from the context:

"Agreement" means this Agreement, as the same may be from time to time modified, amended, or supplemented.

"City" means the City of Washburn, a municipal corporation under the laws of Wisconsin.

"County" means Bayfield County, Wisconsin.

"Developer" means The Brewing Badger, LLC, a Wisconsin limited liability company.

"Development Assistance" means the financial assistance received as the result of Community Development Investment grant received from the Wisconsin Economic Development Corporation.

"Development Property" means the property located at 204 Bayfield St., Washburn, WI. The property is legally described in Exhibit A and depicted on Exhibit B attached hereto.

"Unavoidable Delays" means delays which are the direct result of unanticipated adverse weather conditions; strikes or other labor troubles; fire or other casualty to the Development Property or structures thereon; litigation commenced by third parties which, by injunction or other similar judicial action, directly results in delays; epidemic or pandemic, including but not limited to Covid 19 ordered closures; or, except those of the City reasonably contemplated by this Agreement, any acts or omissions of any federal, State or local governmental unit which directly

result in delays in construction of the Minimum Improvements.

Section 1.2. Rules of Interpretation.

a) This Agreement shall be interpreted in accordance with and governed by the laws of Wisconsin.

b) The words “herein” and “hereof” and words of similar import, without reference to any particular section or subdivision, refer to this Agreement as a whole rather than any particular section or subdivision hereof.

c) References herein to any particular section or subdivision hereof are to the section or subdivision of this Agreement as originally executed.

d) Any titles of the several parts, articles and sections of this Agreement are inserted for convenience and reference only and shall be disregarded in construing or interpreting any of its provisions.

ARTICLE II

Representations and Warranties

Section 2.1. Representations by City. The City makes the following representations as the basis for the undertaking on its part herein contained:

a) The City is a Wisconsin municipal corporation duly organized and existing under the relevant statutes. The City has the power to enter into this Agreement and carry out its obligations hereunder.

b) The individual executing this Agreement and related agreements and documents on behalf of the City has the authority to do so and to bind the City by their actions.

c) The activities of the City undertaken pursuant to this Agreement are for the purpose of assisting the development of the Development Property.

d) The City will act in a timely manner to consider all approvals required under this Agreement and will cooperate with the Developer in seeking consideration by the City of approvals which must be granted by the City.

e) The City has not entered into any other contracts for the sale of the Development Property nor are there any options to purchase the Development Property nor any other rights of others that would prevent the consummation of this Agreement.

Section 2.2. Representations and Warranties by the Developer. The Developer makes the following representations and warranties as the basis for the undertaking on its part herein contained:

a) The Developer is a limited liability company under the laws of Wisconsin. The Developer has the power to enter into this Agreement and carry out its obligations hereunder.

b) The persons executing this Agreement and related agreements and documents on behalf of the Developer have the authority to do so and to bind the Developer by their actions.

c) The Developer has analyzed the economics of acquisition of the Development Property and construction of the improvements and concluded that, absent the Development Assistance to be offered under this Agreement, it would not undertake this project.

d) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in a breach of, the terms, conditions or provisions of any limited liability company organizational documents or any evidence of indebtedness, agreement or instrument of whatever nature to which the Developer is now a party or by which it is bound, or constitutes a default under any of the foregoing.

ARTICLE III

Conveyance of Development Property; Development Assistance

Section 3.1. Conveyance of the Development Property. a) The City is the fee owner of the Development Property. The City agrees to sell the Development Property to the Developer and the Developer agrees to purchase the Development Property from the City. The sales price of the Development Property is \$0.00, reduced as the primary development incentive.

b) Closing shall take place after satisfaction of the conditions precedent specified in section 3.2 of this Agreement and is estimated to occur by December 31, 2021, but in no event shall closing take place later than March 31, 2022. The City shall be obligated to convey the Development Property only if the Developer is in substantial compliance with this Agreement and all conditions precedent to performance have been satisfied at the time of closing.

c) The City agrees to convey title and possession of the Development Property to the Developer pursuant to a warranty deed. The City and the Developer agree to prorate all real property taxes with regard to the Development Property payable in the year of closing and the City represents and warrants that there are no other taxes due or payable related to the Development Property. The Developer agrees to pay all real estate taxes due and payable with regard to the Development Property thereafter and during the term of its ownership thereof.

d) The City agrees to provide adequate connections to utilities (including, without limitation, sewer and water,) on the Development Property that Developer deems necessary for the operation of the Brewpub. See Section 4.8 herein for details on infrastructure improvements and connections.

Section 3.2. Conditions Precedent to Conveyance. Notwithstanding anything herein to the

contrary, the City shall not be obligated to convey the Development Property to the Developer nor shall the Developer be obligated to acquire the Development Property until the following conditions precedent have been satisfied:

- a) The Developer has submitted evidence of financing that is, in the City's reasonable opinion, adequate to finance demolition of the existing structure on the Development Property and construction of the Brewpub;
- b) The Developer has submitted and the City has approved plans for development; and
- c) There has been no Event of Default on the part of the Developer which has not been cured.

Section 3.3. Closing; Delivery and Recording. Subject to the satisfaction of all of the terms and conditions contained in this Agreement which must be satisfied prior to the City's conveyance of the Development Property to the Developer, the City shall execute and deliver a warranty deed to the Developer. Closing shall take place after satisfaction of the conditions precedent specified in section 3.2 of this Agreement but not later than March 31, 2022. If closing has not occurred by said date, this Agreement shall be null and void and of no further effect and the City shall not be obligated to convey the Development Property to the Developer. The closing shall be at the offices of the City or such other location to which the parties hereto may agree. Prior to closing, the City shall submit to the Developer a copy of the warranty deed and other closing documents for review. The deed shall be in recordable form and shall be recorded among the County land records. The Developer shall pay for the cost of recording the deed. The Developer shall pay the premium for any title insurance purchased by the Developer. The Developer and the City shall each pay its own portion of closing fees.

Section 3.4. Condition of Title. Within 60 days of the date of execution of this Agreement, the City will provide the Developer a commitment for title insurance for the Development Property. The Developer shall notify the City of any objections to the condition of title no later than 30 days after receipt of the commitment or such objections shall be deemed waived by the Developer.

Section 3.6. Land Use and Other Approvals. The Developer acknowledges that certain land use and other approvals must be granted by the City in order for the Developer to implement its plans to demolish the existing structure and construct a Brewpub on the Development Property. These approvals include but are not limited to granting one or more building permit, a conditional use permit and a liquor license. The Developer agrees to pursue at its expense such approvals as are necessary and to construct the Brewpub in accordance with the terms and conditions of all such approvals, restrictions and regulations of the City and acknowledges that nothing in this Agreement includes such approvals or permits. The City hereby consents to the Developer making the necessary applications to the City for the required land use and other approvals, and the City shall consider such applications consistent with the City's zoning code and code of ordinances.

Section 3.7. Community Development Investment Grant. The Developer shall prepare and the City shall submit a Community Development Investment ("CDI") grant application to Wisconsin Economic Development Corporation on behalf of the Developer to assist with costs of

development. The resolution to apply for this grant was approved by the Washburn Common Council. The City shall provide whatever assistance is necessary to complete and submit the CDI grant application.

ARTICLE IV

Demolition of Existing Structure, Construction of Brewpub, and Infrastructure Improvements

Section 4.1. Development of Plans and Specifications. Developer shall submit all information, drawings, elevations, plans, specifications, and other documents and information, and all other matters required by the City for approval of the plans and specifications for the projects described in Sections this Agreement (the "projects") in accordance with the normal practices and procedures of the City. Developer agrees to pay all standard development, license, permit, and other related fees. While not a requirement of this Agreement, the City recommends that the Developer submit the necessary plans in accordance with the timeline established on Exhibit C attached hereto.

Section 4.2. Green Infrastructure. The Developer shall attempt to incorporate environmentally friendly building and infrastructure elements where, in Developer's sole discretion, it is commercially reasonable to do so.

Section 4.3. Compliance with Codes, Plans and Specifications. All construction shall be in compliance with: (a) all applicable municipal ordinances of the City; (b) all other applicable laws, ordinances, regulations and requirements; and (c) all provisions of the plans and specifications relating to the projects.

Section 4.4. Site Work. Developer shall comply with all grading, erosion and soil control requirements affecting the property in accordance with all applicable federal, state, county and City regulations, guidelines, specifications, laws, ordinances, and permits.

Section 4.5. As Builts. Developer will provide, no later than 4 months after substantial completion of each of development, a complete set of as-built drawings, either as hard copy or in a digital DWG format.

Section 4.6. Demolition of Existing Structure. The Developer shall obtain all permits or approvals necessary to demolish the existing structure on the Development Property. If demolition of the existing structure on the Development Property is not substantially complete prior to October 1, 2022, the Developer shall transfer the entire Development Property back to the City at no additional cost to the City or Developer. In such event, the City shall not be responsible for any costs, expenses, damages, time, or other damages incurred as a result of Developer's failure to complete the demolition in a timely manner, except for the City's indemnification obligations. The City will grant Developer an additional 12-months to complete the demolition if the Developer

shows good cause for why the demolition was not completed prior to October 1, 2022.

Section 4.7. Construction of Brewpub. After demolition of the existing structure on the Property, the Developer intends to build new construction of a Brewpub (“New Construction”) If the Developer fails to (1) substantially complete the New Construction, AND (2) open the business for the general public, by December 31, 2023, the Developer shall transfer the entire Development Property back to the City at no additional cost to the City. In such event, the City shall not be responsible for any costs, expenses, damages, time, or other damages incurred as a result of Developer’s failure to complete the New Construction, except for the City’s indemnification obligations. The City will grant Developer an additional 12-months to complete the New Construction if the Developer shows good cause for why the New Construction was not completed prior to December 31, 2023.

Section 4.8. Infrastructure Improvements. The Development Property requires a sewer and water infrastructure upgrade to be compatible with the proposed development. The Developer shall be responsible for contracting services from a qualified firm to design sewer and water infrastructure improvements: (a) that comply with federal, state, and local regulation as to design and build; (b) that are compatible with the City’s existing and future planned sewer and water infrastructure; (c) that comply with requirements for commercial buildings connected to the City’s sewer and water infrastructure; and (d) that satisfy the sewer and water needs of the planned construction on the Development Property. The Developer shall bear the cost of sewer and water infrastructure improvements on the Development Property; provided, however, the City shall be responsible for all sewer and water infrastructure up to the Development Property Consistent with Title 9 of the City’s Code of Ordinances.

ARTICLE V

[INTENTIONALLY OMITTED]

ARTICLE VI

Events of Default: Termination

Section 6.1. Events of Default Defined. An Event of Default is any of the following:

(i) The failure by Developer to observe or perform any covenant, condition, obligation, or agreement on its part to be observed or performed when and as required under this Agreement, including but not limited to the revocation, invalidity, or withdrawal of any of the financial assurance required. This shall be a default unless, within thirty (30) days after written notice to Developer of such failure, provided that if such matter is not a monetary default and cannot be cured within such thirty (30) day period but if Developer commences to cure such matter within the thirty (30) day period and thereafter reasonably and continuously takes action to complete such cure and such cure is completed at the earliest reasonable date, then the event will not be an Event of Default;

(ii) The failure by the City to observe or perform other covenant, condition,

obligation or agreement on its part to be observed or performed when and as required under this Agreement, in either case within thirty (30) days after written notice to the City of such failure, provided that if such matter is not a monetary default and cannot be cured within such thirty (30) day period but if the City commences to cure such matter within the thirty (30) day period and thereafter reasonably and continuously takes action to complete such cure and such cure is completed at the earliest reasonable date, then the event will not be an Event of Default; or

(iii) Developer becomes insolvent or is the subject of bankruptcy or insolvency proceedings.

Section 6.2. Remedies on Default. Whenever an Event of Default occurs and is continuing, the non-defaulting party may take any one or more of the following actions:

(i) The non-defaulting party may take any action, including legal or administrative action, in law or in equity, which may appear necessary or desirable to enforce performance and observance of any obligation, agreement, or covenant of the defaulting party under this Agreement;

(ii) Any other remedy allowed at law or in equity or by statute.

Section 6.3. No Remedy Exclusive. No remedy or right conferred upon or reserved to the parties in this Agreement is intended to be exclusive of any other remedy or remedies, but each and every such right and remedy shall be cumulative and shall be in addition to every other right and remedy given under this Agreement now or hereafter existing at law or in equity or by statute. No delay or omission to exercise any right or power accruing upon any default shall impair any such right or power or shall be construed to be a waiver thereof, but any such right and power may be exercised from time to time and as often as may be deemed expedient.

Section 6.4. No Additional Waiver Implied by One Waiver. In the event any covenant contained in this Agreement should be breached by any party and thereafter waived by the other party, such waiver shall be limited to the particular breach so waived and shall not be deemed to waive any other concurrent, previous or subsequent breach hereunder.

Section 6.5 Developer Right to Terminate. Notwithstanding anything herein to the contrary, Developer may terminate this Agreement immediately without further liability if unable to obtain financing, the CDI grant, or is otherwise unable to begin construction of the Brewpub on or before January 1, 2023, then Developer may terminate this Agreement and shall have no further liability, and this Agreement shall be treated as null and void. If the Developer terminates the Agreement pursuant to this Section, the Developer shall transfer the entire Development Property back to the City at no additional cost to the City. In such event, the City shall not be responsible for any costs, expenses, damages, time, or other damages incurred as a result of Developer's termination of this Agreement, except for the City's indemnification obligations

ARTICLE VII

Indemnification

Section 7.1. Indemnification by Developer. Developer will indemnify and hold harmless the City, its governing body members, officers, agents, including independent contractors, consultants, and legal counsel, servants and employees thereof (hereinafter, for purposes of this paragraph collectively referred to as the "City Indemnified Parties") against any loss or damage to property or any injury to or death of any person occurring at or about or resulting from any breach of any duty or warranty by Developer under this Agreement or any of Developer's acts or omissions; provided that the foregoing indemnification shall not be effective for any negligent acts of the City Indemnified Parties.

Section 7.2. Indemnification by City. The City will indemnify and hold harmless Developer, its officers, agents, including independent contractors, consultants, and legal counsel, servants and employees thereof (hereinafter, for purposes of this paragraph collectively referred to as the "Developer Indemnified Parties") against any loss or damage to property or any injury to or death of any person occurring at or about or resulting from any breach of any duty or warranty by the City under this Agreement or any of the City's acts or omissions; provided that the foregoing indemnification shall not be effective for any negligent acts of the Developer Indemnified Parties.

ARTICLE VIII

Additional Provisions

Section 8.1. Conflict of Interests; Representatives Not Individually Liable. No member, official, or employee of the City shall have any personal financial interest, direct or indirect, in the Agreement, nor shall any such member, official, or employee participate in any decision relating to the Agreement which affects his or her personal financial interests or the interests of any corporation, partnership, or association in which he or she is, directly or indirectly, interested. No member, official, or employee of the City shall be personally liable to the Developer, or any successor in interest, in the event of any default or breach or for any amount which may become due or on any obligations under the terms of this Agreement.

Section 8.2. Incorporation by Reference. All exhibits and other documents attached hereto or referred to herein are hereby incorporated in and shall become a part of this Agreement.

Section 8.3. No Implied Approvals. Nothing herein shall be construed or interpreted in any way to waive any obligation or requirement of Developer to obtain all necessary approvals, licenses, and permits from the City in accordance with its usual practices and procedures, nor limit or affect in any way the right and authority of the City to approve or disapprove the plans and specifications, or any part thereof of the projects, or to impose any limitations, restrictions, and requirements on the development, construction, and/or use of the projects as a condition of any

such approval, license, or permit; including, without limitation, requiring any and all other development and similar agreements.

Section 8.4. Class B Liquor License. The Parties acknowledge that Developer intends to apply for a Class B Liquor License for operation of its business. The City agrees that it will reserve its one remaining Class B Liquor license to issue to Developer upon Developer's submission of the proper application and necessary additional information. This commitment to reserve a Class B Liquor License shall cease upon any Event of Default. Failure by the City to reserve a Class B Liquor License for Developer shall constitute a material breach of this Agreement. Failure to reserve or provide a Class B Liquor License shall constitute a default by the City and in such event, Developer shall be entitled to pursue any and all rights and remedies at law or equity.

Section 8.5. Notices and Demands. Except as otherwise expressly provided in this Agreement, any notice, demand, or other communication under the Agreement or any related document by either party to the other shall be sufficiently given or delivered if it is dispatched by registered or certified United States mail, postage prepaid, return receipt requested, or delivered personally to:

In the case of the Developer:

The Brewing Badger, LLC
75415 Paulson Rd
Washburn, WI 54891

In the case of the City:

City of Washburn
119 Washington Ave
Washburn, WI 54891

or at such other address with respect to either such party as that party may, from time to time, designate in writing and forward to the other as provided in this section 9.4.

Section 8.8 Headings. Descriptive headings are for convenience only and shall not control or affect the meaning or construction of any provision of this Agreement.

Section 8.9. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall constitute one and the same instrument.

Section 8.10. Governing Law and Venue. This Agreement shall be construed in accordance with the law of the State of Wisconsin. The venue for any dispute which cannot be amicably resolved shall be the Circuit Court for Bayfield County, Wisconsin.

Section 8.11. Cooperation. The City and Developer agree to cooperate in the reasonable prosecution of applications made by any party for any governmental certificates or approvals appropriate or necessary for the consummation of the transactions and projects contemplated by this Agreement. The City and Developer each will at any time, or from time to time at the written request of the other, sign and deliver such other documents as may be reasonably requested or as

may be reasonably necessary or appropriate to give full effect to the terms and conditions of this Agreement.

Section 8.12. Assignment. No assignment of any rights or obligations under this Agreement shall be made without the written consent of the other party and such consent shall not be unreasonably withheld. If an assignment is to an entity controlled by the original entity withholding consent shall be presumed to be unreasonable.

Section 8.13. Disclaimer of Relationships. The Developer acknowledges that nothing contained in this Agreement nor any act by the City or the Developer shall be deemed or construed by the Developer or by any third person to create any relationship of third-party beneficiary, principal and agent, limited or general partner, or joint venture between the City and the Developer.

Section 8.14. Entire Agreement. This document and all other documents and agreements expressly referred to herein contain the entire agreement between Developer and the City with respect to the matters set forth herein.

Section 8.15. No Brokers. Each party represents and warrants to the other that it has not used any real estate agent or broker and that no commission is owed to any third party with regard to the transaction contemplated by this Agreement.

Section 8.16. Amendment. This Agreement may be amended only by the written agreement of the parties.

IN WITNESS WHEREOF, the City and the Developer have caused this Agreement to be duly executed in their names and behalves on or as of the date first above written.

THE BREWING BADGER, LLC

By:

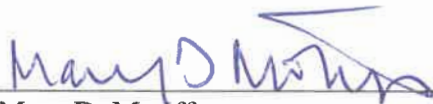


Badger Colish

Date: 11/5/21

CITY OF WASHBURN

By:



Mary D. Motiff
Mayor

Date: 11/5/2021

Attest:



Scott J. Kluver
Clerk

Date: 11/05/21

|

|

EXHIBIT A

LEGAL DESCRIPTION OF DEVELOPMENT PROPERTY

Lots Eight (8), Nine (9), Ten (10), and a strip of land 2 feet wide on the Southwesterly edge of Lot Eleven (11), Block Forty-five (45), Original Townsite (now City) of Washburn, Bayfield County, Wisconsin.

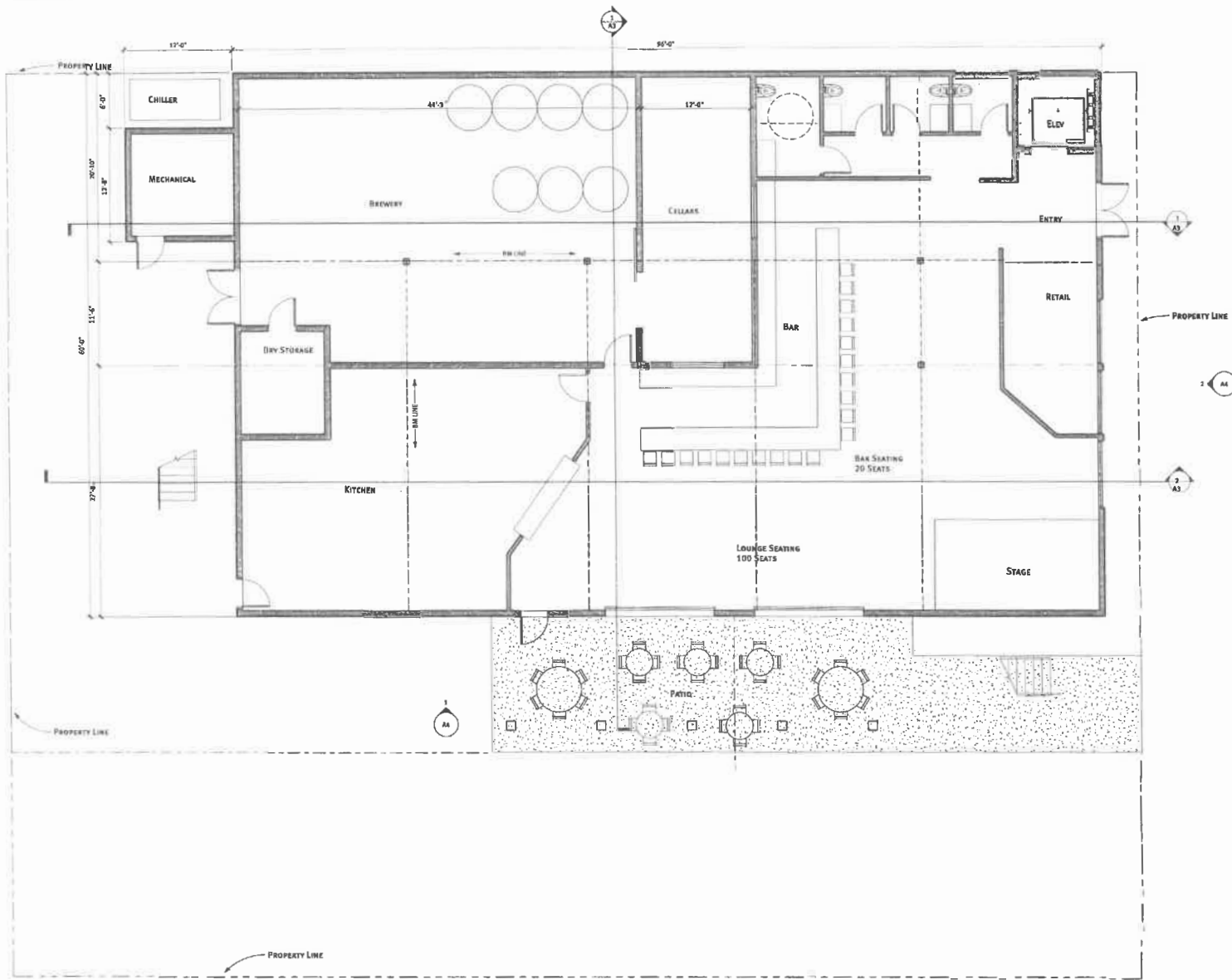
EXHIBIT B

DEPICTION OF THE DEVELOPMENT PROPERTY

[to be completed]

|

|



1 LEVEL 1
 376' x 150' 5760 SF

P:\2021\Projects\10312077_00_Lost_Apostle_Brewery\10312077_00_Lost_Apostle_Brewery\10312077_00_Lost_Apostle_Brewery_01.dwg



LOST APOSTLE BREWERY
 WASHBURN, WI

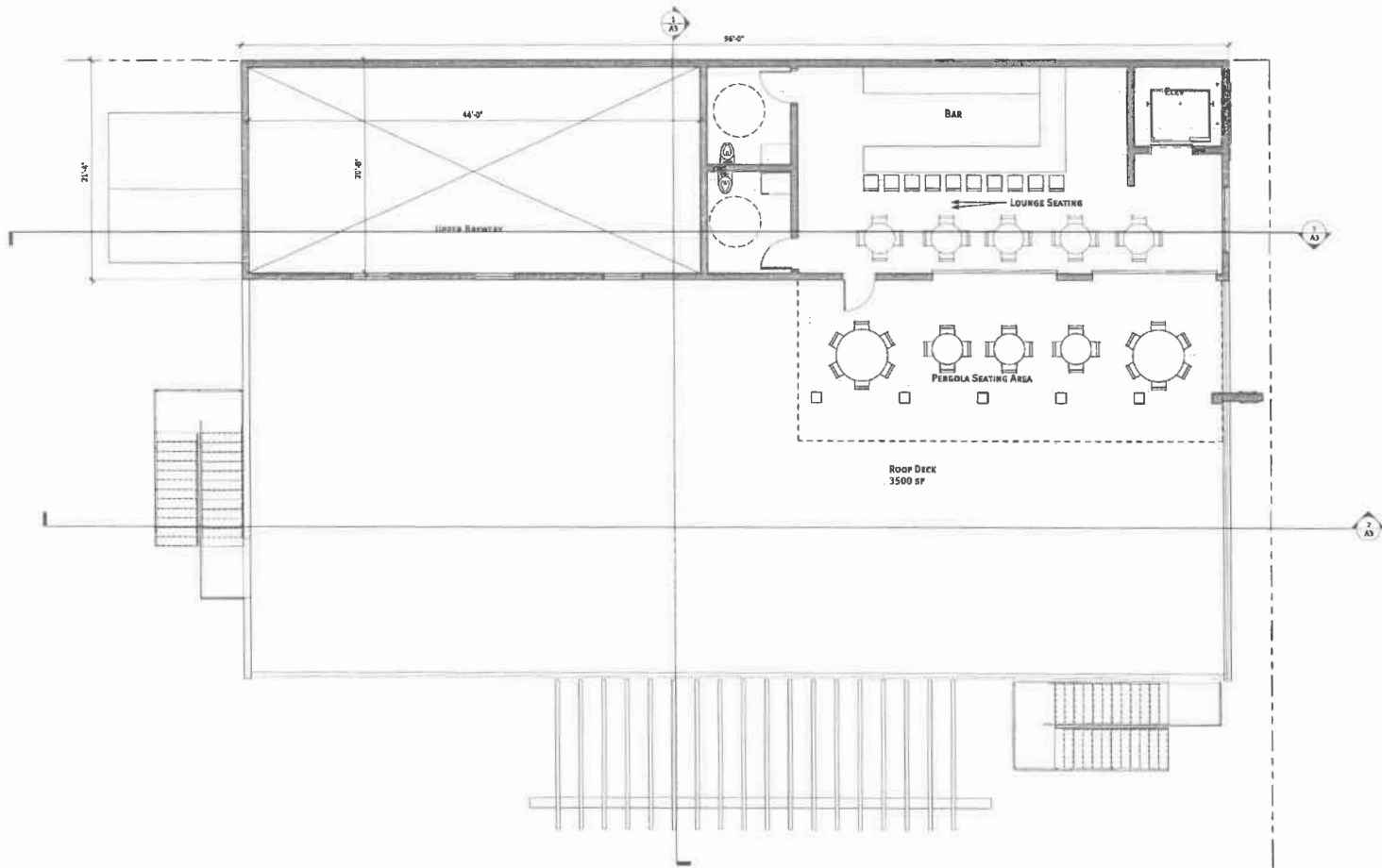
FIRST FLOOR PLAN

6/11/2021 11:59:10 AM

CONCEPT DESIGN

A1

COPYRIGHT DSGW



1 LEVEL 2
3/16" = 1'-0"



ARCHITECTURE
enriching communities

LOST APOSTLE BREWERY

WASHBURN, WI

SECOND FLOOR PLAN

6/11/2021 11:59:11 AM

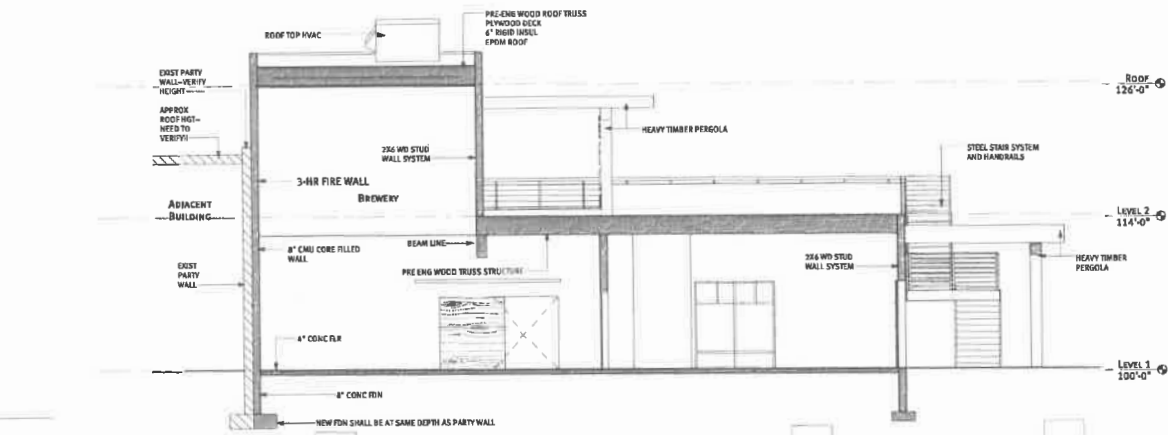
CONCEPT DESIGN

A2.

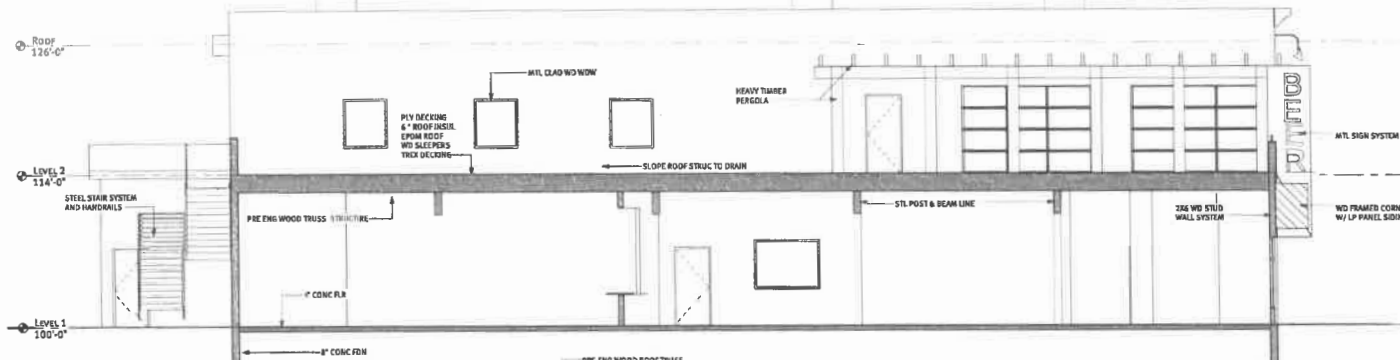
COPYRIGHT DSGW

PROJECT: PROJECT 2018072001 - LOST APOSTLE BREWERY - PH 1-1C - DRAWING: SECTION 1 - ARCHITECTURE - R1.dwg

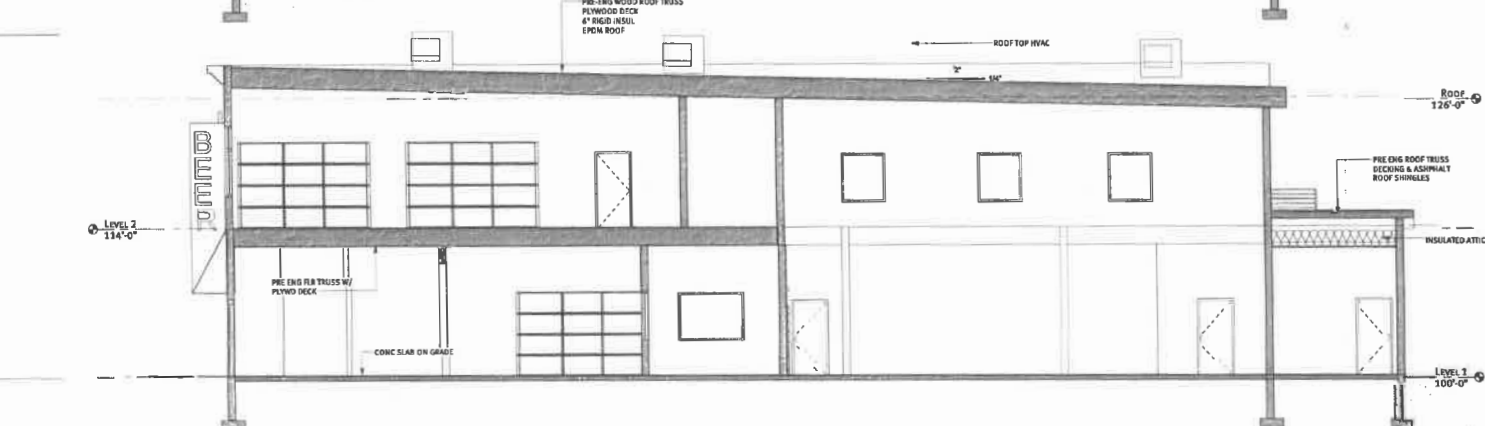
SECTION 1
3/16" = 1'-0"



SECTION 2
3/16" = 1'-0"



SECTION 3
3/16" = 1'-0"



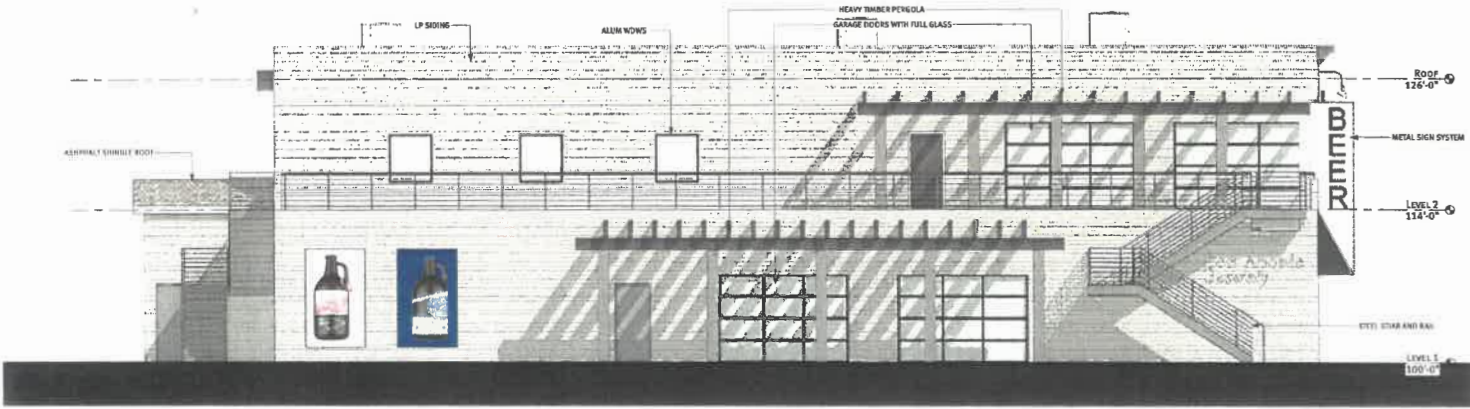
LOST APOSTLE BREWERY
WASHBURN, WI

SECTIONS

6/11/2021 11:59:12 AM

CONCEPT DESIGN
A3

COPYRIGHT DSGW



1 EAST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"

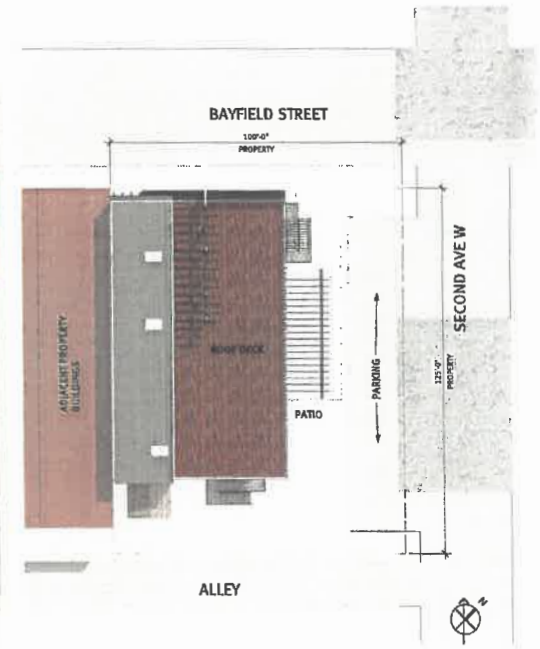
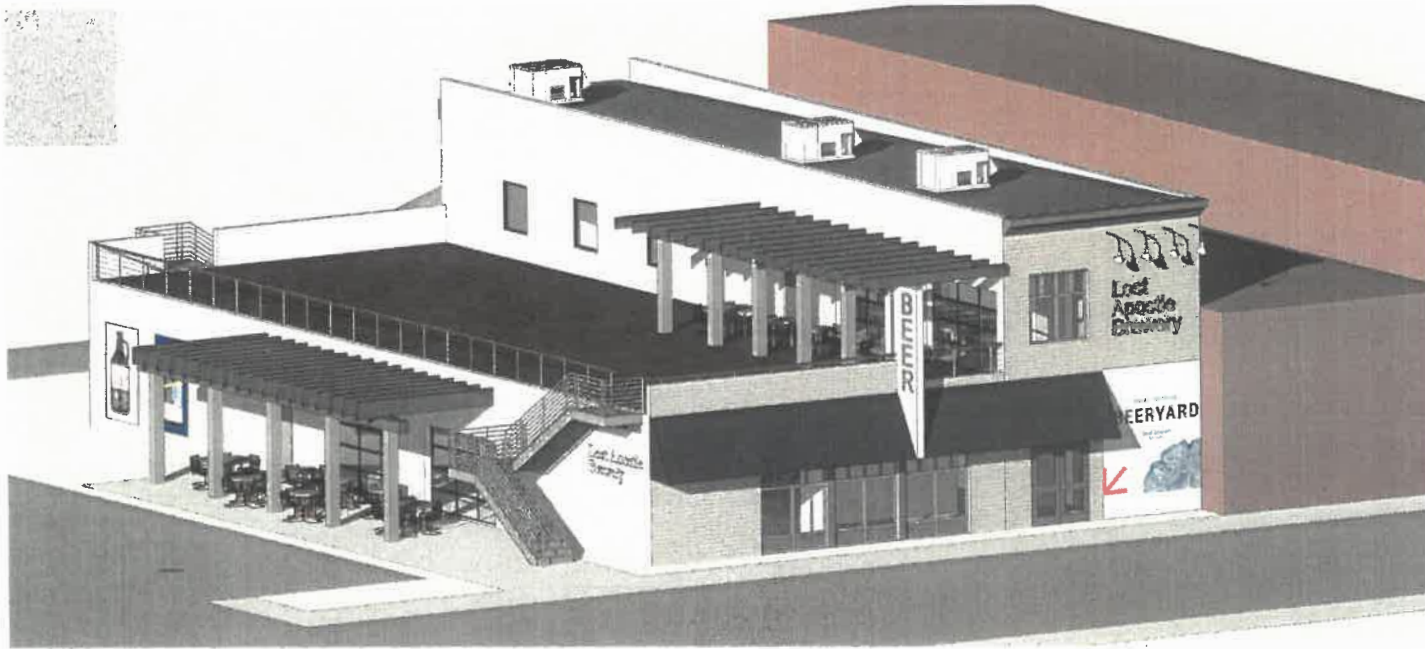
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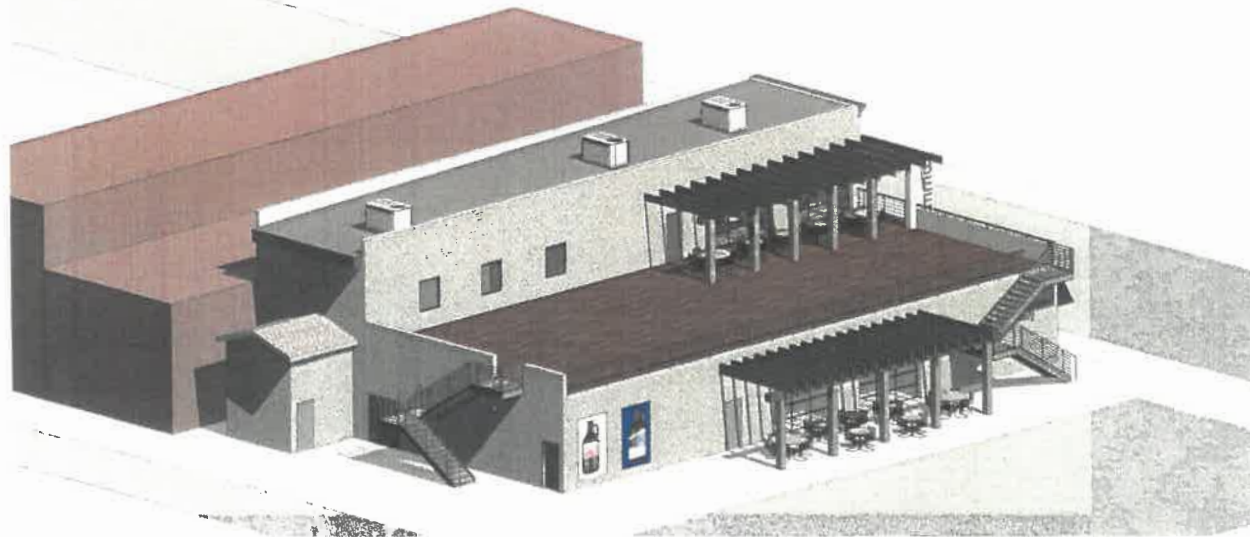
LOST APOSTLE BREWERY
WASHBURN, WI

ELEVATIONS
6/11/2021 11:59:18 AM

CONCEPT DESIGN
A4
COPYRIGHT DSGW



3 ARCHITECTURAL SITE PLAN
1" = 20'-0"



ARCHITECTURE
enriching communities

LOST APOSTLE BREWERY

WASHBURN, WI

EXTERIOR & SITE

6/11/2021 11:59:33 AM

CONCEPT DESIGN

A5

COPYRIGHT DSGW

P:\2021 Projects\021077-00 Lost Apostle Brewery - 01 (1) - Issues\110819\01 Lost Apostle Brewery_01.dwg

EXHIBIT C

RECOMMENDED TIMELINE FOR APPLICATION SUBMISSION

- Demolition application and plans by May 31, 2022
- Construction application and final plans by January 1, 2023

6

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: Scott J. Kluver, Administrator
Re: Direct Legislation Petition – Ordinance 2023-008
Date: November 1, 2023

A proper petition for direct legislation has been received requiring the Council to take action on the enclosed ordinance. A total of 281 valid signatures were received, which exceeds the 164 signatures required.

The Council can either approve the ordinance as is, or it can send it to referendum at the Spring election in April. The Council cannot make any adjustments to the proposed ordinance at this time. The Council cannot challenge the proposed ordinance in advance. If the Council adopts it, the Mayor cannot veto the ordinance. The ordinance cannot be repealed or amended within two years of adoption except by another referendum.

While the ordinance may be well intended by the circulators to protect a large portion of the undeveloped lakefront in the City, I believe it to be vaguely worded and ill-defined which may lead to potential challenge in the future. Either side could question the applicability of our agreements with private entities, fees that are charged for usage of existing or future desired programs, and lines between what recreation or commercial use is. In addition, the ordinance may impact the next agenda item which is the expansion of camping at Thompson's West End Park. It has been a priority of the current Council to proceed with those plans which are rooted in the Thompson's West End Park Plan from 2015. It is my interpretation that if the Council adopts the ordinance, or if the voters would approved the referendum prior to a construction contract in hand for the "yurt portion" of the project, the "yurt portion" of the project would need to be approved by a separate referendum in order to proceed. The "RV/tent" and "bathroom" portion of the proposed project would not be hindered by the ordinance. If the Council would decide to proceed with the project, it may be possible to separate out the "yurt portion" of this project and have a contract in hand prior to the April election. Know that this would not be an ideal or cost-effective way to go about such a project, but you would need to weigh that with the likelihood of the ordinance being approved and the strength of your desires on the matter.

CITY OF WASHBURN

Ordinance No. 23-008

An ordinance adopted by the Common Council for the City of Washburn at its regular meeting of _____, 2023, for the purpose of requiring a referendum for the sale or conversion to commercial or other uses of the City of Washburn Lakefront Property.

The Common Council of the City of Washburn do hereby ordain as follows:

- (1) The purpose of this ordinance is to ensure that the City-owned Washburn Lakefront Property, bounded by 6th Avenue to the west, Washington Avenue extended to the east, Holman Lakeview Drive to the north and Lake Superior to the South (the “Lakefront Property”), is not converted to alternative uses without formal referendum approved by the City electorate.

- (2) The Lakefront Property shall not be sold by the City nor converted to any commercial use, including but not limited to campgrounds or similar uses, whether operated by the City or private party, without such sale or conversion being approved in a binding referendum. For purposes of this enactment, commercial use shall mean any use where a fee or rent is charged for exclusive use or exclusive occupancy of the property or any part thereof. Commercial use shall not include the conduct of recreational programs by the City, or picnic shelter rentals provided they are conducted by the City and do not include any overnight stays and further, for all uses, fees charged must reasonably calculated to cover only City costs in providing the program or shelter amenity.

Dated this ____ day of _____, 2023.

_____, Mayor

_____, City Clerk

Adopted: Date of publication:

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

CERTIFICATE OF ACCEPTANCE FOR DIRECT LEGISLATION PETITION

State of Wisconsin)
Bayfield County) ss
City of Washburn)

I, Scott Kluver, City Clerk of the City of Washburn, of the State of Wisconsin, certify that the Petition for Direct Legislation filed at 11:00 AM on October 25, 2023, has sufficient signatures in proper form to be accepted and valid. I further certify that:

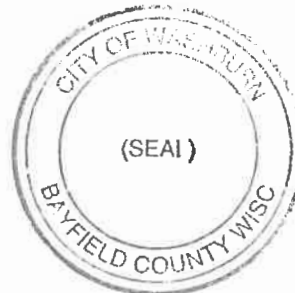
Pursuant to Wis. Stats 9.20 (1) the number of votes cast for Governor in the last general election in the City of Washburn was 1091 and that 15 percent of that number is 164.

A total of 281 valid signatures of electors residing in the City of Washburn have been received.

The first signature was dated September 13, 2023.

In Testimony Whereof,
I have set my hand and affixed the Seal of the City of Washburn, this 1st day of November, 2023.


By: Scott J. Kluver, City Clerk of the City of Washburn



7

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: Tony Janisch, Assistant City Administrator *Tony*
Re: Thompson's West End Park Campground Expansion
Date: November 2, 2023

After several public meetings coordinated by the Parks Committee to gather input, Council approved RV and Tent camping expansion in the Overflow Area along with a year-round bathroom in November 2022. In March 2023, Council approved yurt style camping in the Open Field along Holman Lakeview Dr. And in April 2023, Council approved an agreement with Cooper Engineering to prepare final plans and cost estimates for these campground expansions.

Enclosed you will find engineering plans for the development of five (5) full-service RV sites, five (5) tent sites, four (4) yurts, a year-round bathhouse, utility connections and trail & parking accommodations. Some of the finer detailed plans like manhole design, silt fencing and road signage have not been included, to save paper. You can find these at City Hall. Cooper Engineering project manager, Nicole Hodkiewicz, will be available to answer any questions regarding these plans.

Also included are the cost estimates provided by Cooper Engineering; which has a total estimated cost for all the development, along with a 15% contingency, at \$1,280,988. For reference, I have divided these costs into four groups: Yurt (yellow), RV/Tent (blue), Bathhouse (green), and Combined or shared cost for all three developments (white). Each sub-group price includes 1/3rd of the Combined costs to provide an estimated total on that specific development. These costs were then used in the estimated yearly income and payoff of investments for the Yurt and RV/Tent developments.

It should be noted that the Bathhouse will accommodate more than just the campground users. This will service users of the walking trail & recreation trail (ATV/UTV & snowmobilers), the boat launch, and anybody visiting West End Park.

Discussion and planning for improvements in this area began in 2012 with the formation of the West End Park Ad Hoc Committee, and the approval of the Expansion of West End Park Report in 2015. Several public meetings were held in the past two years to gather citizen input for proposed development, along with recommendations from the Parks Committee for such.

I recommend approval of the Thompson's West End Park Campground Expansion Plans and authorization to go to bid. Please let me know if you have any questions on this matter.



**Engineer's Opinion Of Probable Construction Cost Thompson's West End Campground Expansion
First Open Field East of 6th Avenue West and Overflow Area**

| 10/24/23 | | | | | |
|----------|----------------------------------------------------------------------------------------------------------------------------------------------|------|--------------|---------------|---------------|
| Item No. | Description | Unit | Est Quantity | Unit Price | Price |
| 1 | Mobilization (All Work) | LS | 1 | \$ 7,000.00 | \$ 7,000.00 |
| 2 | Clear Grub for Bridge/Shower Building | LS | 1 | \$ 3,200.00 | \$ 3,200.00 |
| 3 | Excavation Common RV Area Grading | CY | 1145 | \$ 7.00 | \$ 8,015.00 |
| 4 | Excavation Common Tent Area Grading | CY | 52 | \$ 7.00 | \$ 364.00 |
| 5 | Excavation Common Yurt Area Grading | CY | 22 | \$ 7.00 | \$ 154.00 |
| 6 | Excavation Common Bathhouse Area Grading | CY | 35 | \$ 7.00 | \$ 245.00 |
| 7 | Excavation Common Paths Grading | CY | 59 | \$ 7.00 | \$ 413.00 |
| 8 | Borrow RV Area Grading | CY | 125 | \$ 6.25 | \$ 781.25 |
| 9 | Borrow Tent Area Grading | CY | 92 | \$ 6.25 | \$ 575.00 |
| 10 | Borrow Yurt Area Grading | CY | 800 | \$ 6.25 | \$ 5,000.00 |
| 11 | Borrow Bathhouse Area Grading | CY | 22 | \$ 6.25 | \$ 137.50 |
| 12 | Borrow Paths Grading | CY | 123 | \$ 6.25 | \$ 768.75 |
| 13 | Salvaged Topsoil (Assume 8") | SY | 8786 | \$ 3.00 | \$ 26,358.00 |
| 14 | Sawcut Asphalt Pavement | LF | 98 | \$ 5.00 | \$ 490.00 |
| 15 | Subbase 12" Sand under RV pads | SY | 728 | \$ 12.00 | \$ 8,736.00 |
| 16 | Base Aggregate Dense 1 1/4-Inch Camper Pads 8" Thick | TON | 386 | \$ 19.00 | \$ 7,334.00 |
| 17 | Base Aggregate Dense 1 1/4-Inch Tent Parking 8" Thick | TON | 126 | \$ 19.00 | \$ 2,394.00 |
| 18 | Base Aggregate Dense 1 1/4-Inch Yurt Parking 8" Thick | TON | 97 | \$ 19.00 | \$ 1,843.00 |
| 19 | Base Aggregate Dense 1 1/4-Inch Yurt site 4" Thick | TON | 11 | \$ 19.00 | \$ 209.00 |
| 20 | Base Aggregate Dense 1 1/4-Inch Connection to Lakeshore Path | TON | 38 | \$ 19.00 | \$ 722.00 |
| 21 | Base Aggregate Dense 1 1/4-Inch Yurt Walking Path 4" Thick | TON | 138 | \$ 19.00 | \$ 2,622.00 |
| 22 | Base Aggregate Dense 1 1/4-Inch Bridge Walking Path 4" Thick | TON | 39 | \$ 19.00 | \$ 741.00 |
| 23 | Base Aggregate Dense 1 1/4-Inch RV to shower Walking Path 4" Thick | TON | 20 | \$ 19.00 | \$ 380.00 |
| 24 | Base Aggregate Dense 1 1/4-Inch Parking at Shower Building 8" Thick | TON | 47 | \$ 19.00 | \$ 893.00 |
| 25 | HMA Pavement | TON | 105 | \$ 135.00 | \$ 14,175.00 |
| 26 | Geotextile Fabric - Type SAS Under Sand Under RV Pads | SY | 868 | \$ 2.25 | \$ 1,953.00 |
| 27 | Water Service 1" SCH 40 PVC To 5 RV Sites | LF | 292 | \$ 28.00 | \$ 8,176.00 |
| 28 | Watermain 2" SCH 40 PVC | LF | 740 | \$ 38.00 | \$ 28,120.00 |
| 29 | Sanitary Yard Hydrant | EACH | 2 | \$ 3,200.00 | \$ 6,400.00 |
| 30 | 8" PVC SDR 35 Gravity Sanitary Sewer | LF | 692 | \$ 41.00 | \$ 28,372.00 |
| 31 | 8" PVC C900 Gravity Sanitary Sewer | LF | 535 | \$ 44.00 | \$ 23,540.00 |
| 32 | Sanitary Sewer Manholes | EACH | 4 | \$ 3,500.00 | \$ 14,000.00 |
| 33 | Sanitary Sewer Manhole Castings (Neenah R-1642, Type B Self Sealing Lid) | EACH | 4 | \$ 1,450.00 | \$ 5,800.00 |
| 34 | Sanitary Sewer Clean Out | EACH | 2 | \$ 1,400.00 | \$ 2,800.00 |
| 35 | 4" Sanitary Sewer Service to Each RV Site | LF | 254 | \$ 31.00 | \$ 7,874.00 |
| 36 | Connect to Existing Watermain | EACH | 1 | \$ 2,100.00 | \$ 2,100.00 |
| 37 | Connect to Existing Lift Station | EACH | 1 | \$ 1,700.00 | \$ 1,700.00 |
| 38 | Fittings, Connections, Bends, Tees, Etc. Allowance (Not Designed) | LS | 1 | \$ 12,000.00 | \$ 12,000.00 |
| 39 | Culvert Pipe 12" Aluminized CMCP at Each RV Driveway | LF | 12 | \$ 25.00 | \$ 300.00 |
| 40 | Culvert Pipe 12" Aluminized CMCP at East End Ridge Drive | LF | 40 | \$ 25.00 | \$ 1,000.00 |
| 41 | Apron End Walls 12" Culvert | EACH | 2 | \$ 475.00 | \$ 950.00 |
| 42 | Culvert Pipe 18" Aluminized CMCP at West End Ridge Drive | LF | 50 | \$ 32.00 | \$ 1,600.00 |
| 43 | Apron End Walls 18" Culvert | EACH | 2 | \$ 525.00 | \$ 1,050.00 |
| 44 | Yurt Biofilter Including Plantings | LS | 1 | \$ 12,000.00 | \$ 12,000.00 |
| 45 | RV Area Biofilter Including Plantings | LS | 1 | \$ 7,000.00 | \$ 7,000.00 |
| 46 | Perforated Underdrain (Under Biofilters) | LF | 32 | \$ 6.00 | \$ 192.00 |
| 47 | 6" PVC Piping/Clean Outs from Biofilter Underdrains | LF | 83 | \$ 39.00 | \$ 3,237.00 |
| 48 | Cedar Trees | EACH | 45 | \$ 100.00 | \$ 4,500.00 |
| 49 | Landscaping Shrubs | EACH | 32 | \$ 40.00 | \$ 1,280.00 |
| 50 | 30" Diameter Fire Ring With Grate | EACH | 12 | \$ 350.00 | \$ 4,200.00 |
| 51 | 30" Diameter Wheelchair Accessible Fire Ring with Grate | EACH | 1 | \$ 600.00 | \$ 600.00 |
| 52 | Accessible Design Picnic Table | EACH | 9 | \$ 850.00 | \$ 7,650.00 |
| 53 | Picnic Table | EACH | 4 | \$ 850.00 | \$ 3,400.00 |
| 54 | Wi-Fi Router Yurts | LS | 1 | \$ 10,500.00 | \$ 10,500.00 |
| 55 | Wi-Fi Router RV Area | LS | 1 | \$ 5,400.00 | \$ 5,400.00 |
| 56 | Shower/Flush Toilet Aspen (20'-2" x 19'-6") Prefabricated Building Huffcutt Includes Delivery, Crane Rental, and Setting on Prepared Slab | LS | 1 | \$ 178,000.00 | \$ 178,000.00 |
| 57 | Footings/Site Preparation Shower/Bath Building | LS | 1 | \$ 5,400.00 | \$ 5,400.00 |

| | | | | | |
|----|-----------------------------------------------------------------------------|------|--------|---------------|-----------------|
| 58 | 4" Concrete Sidewalk and Detectable Warning Filed Base | SF | 240 | \$ 12.00 | \$ 2,880.00 |
| 59 | 18" Curb and Gutter | LF | 79 | \$ 22.00 | \$ 1,738.00 |
| 60 | Electrical Whole Site | LS | 1 | \$ 142,383.00 | \$ 142,383.00 |
| 61 | Electrical Meter/Utility Hook-up Fee (Fee Assumed) | LS | 1 | \$ 2,000.00 | \$ 2,000.00 |
| 62 | 60' X 10' Wheeler Timber Stringer Bridge Delivered (Not Installed) | LS | 1 | \$ 85,000.00 | \$ 85,000.00 |
| 63 | Install 60' X 10' Wheeler Timber Stringer Bridge | LS | 1 | \$ 90,000.00 | \$ 90,000.00 |
| 64 | 20 Foot Diameter Yurt with Furnishings/Heater Delivered | EACH | 4 | \$ 31,750.00 | \$ 127,000.00 |
| 65 | Yurt Decking Materials Treated Lumber and Hardware (746 SF/Yurt) | EACH | 4 | \$ 11,204.00 | \$ 44,816.00 |
| 66 | Yurt and Deck Construction | EACH | 4 | \$ 13,200.00 | \$ 52,800.00 |
| 67 | Riprap on HR Fabric | CY | 8 | \$ 80.00 | \$ 640.00 |
| 68 | Erosion Mat Urban Class I - Type B | SY | 6100 | \$ 1.95 | \$ 11,895.00 |
| 69 | Silt Fence | LF | 2390 | \$ 2.25 | \$ 5,377.50 |
| 70 | Remove Silt Fence | LF | 2390 | \$ 0.25 | \$ 597.50 |
| 71 | Sediment Logs | LF | 200 | \$ 9.00 | \$ 1,800.00 |
| 72 | Tracking Pad | EACH | 2 | \$ 2,000.00 | \$ 4,000.00 |
| 73 | Seeding Mixture No. 40 | LB | 160 | \$ 10.00 | \$ 1,600.00 |
| 74 | Culvert Pipe Check | EACH | 3 | \$ 22.00 | \$ 66.00 |
| 75 | East Biofilter Plant Plugs | EACH | 200 | \$ 10.00 | \$ 2,000.00 |
| 76 | West Biofilter Plant Plugs | EACH | 60 | \$ 10.00 | \$ 600.00 |
| 77 | Traffic Control | LS | 1 | \$ 5,500.00 | \$ 5,500.00 |
| 78 | Site Signs and Sign Posts | EACH | 13 | \$ 80.00 | \$ 1,040.00 |
| 79 | WisDOT Type II, Reflective H Sign - R55-53 "Path for Pedestrians Only" | SF | 1.50 | \$ 25.00 | \$ 37.50 |
| 80 | WisDOT Type II, Reflective H Sign - R6-2L, Size 1 "One Way" (Left Arrow) | SF | 3.00 | \$ 25.00 | \$ 75.00 |
| 81 | WisDOT Type II, Reflective H Sign - R5-1, Size 2S "Do Not Enter" | SF | 6.25 | \$ 25.00 | \$ 156.25 |
| 82 | WisDOT Type II, Reflective F Sign - W11-2 Pedestrian | SF | 4.00 | \$ 25.00 | \$ 100.00 |
| 83 | WisDOT Type II, Reflective F Sign - W16-7 Arrow (Under W11-2 Sign) | SF | 2.00 | \$ 25.00 | \$ 50.00 |
| 84 | Handicap Parking Van Accessible Sign and Post | EACH | 2 | \$ 210.00 | \$ 420.00 |
| 85 | Detectable Warning Field Natural Patina | SF | 20.00 | \$ 43.00 | \$ 860.00 |
| 86 | Pavement Marking Paint 6" Cross Walk | LF | 55.00 | \$ 2.25 | \$ 123.75 |
| 87 | Pavement Marking Paint - 4" Stall Stripes | LF | 288.00 | \$ 2.25 | \$ 648.00 |
| 88 | Pavement Marking Epoxy 8" Diagonal Stripes Van Accessible Aisle | LF | 81.00 | \$ 2.25 | \$ 182.25 |
| 89 | Pavement Marking Epoxy - Handicap Symbol | EACH | 2 | \$ 270.00 | \$ 540.00 |
| 90 | Update Existing Sign at Entrance to West End Campground | EACH | 1 | \$ 1,600.00 | \$ 1,600.00 |
| 91 | Registration and Message Center | EACH | 2 | \$ 2,400.00 | \$ 4,800.00 |
| 92 | Permits, Plan Review Fees, Campground Plan Fees | LS | 1 | \$ 4,000.00 | \$ 4,000.00 |
| 93 | Construction Oversight | LS | 1 | \$ 24,000.00 | \$ 31,932.00 |
| | | | | | |
| | | | | | \$ 1,113,902.25 |
| | | | | 15% | \$ 167,085.34 |
| | | | | | \$ 1,280,987.59 |

| Item No. | Yurt - Description | Unit | Est Quantity | Unit Price | Price |
|----------|--------------------------------------------------------------------|------|-----------------|--------------|----------------------|
| 5 | Excavation Common Yurt Area Grading | CY | 22 | \$ 7.00 | \$ 154.00 |
| 10 | Borrow Yurt Area Grading | CY | 800 | \$ 6.25 | \$ 5,000.00 |
| 18 | Base Aggregate Dense 1 1/4-Inch Yurt Parking 8" Thick | TON | 97 | \$ 19.00 | \$ 1,843.00 |
| 19 | Base Aggregate Dense 1 1/4-Inch Yurt site 4" Thick | TON | 11 | \$ 19.00 | \$ 209.00 |
| 20 | Base Aggregate Dense 1 1/4-Inch Connection to Lakeshore Path | TON | 38 | \$ 19.00 | \$ 722.00 |
| 21 | Base Aggregate Dense 1 1/4-Inch Yurt Walking Path 4" Thick | TON | 138 | \$ 19.00 | \$ 2,622.00 |
| 22 | Base Aggregate Dense 1 1/4-Inch Bridge Walking Path 4" Thick | TON | 39 | \$ 19.00 | \$ 741.00 |
| 44 | Yurt Biofilter Including Plantings | LS | 1 | \$ 12,000.00 | \$ 12,000.00 |
| 53 | Picnic Table | EACH | 4 | \$ 850.00 | \$ 3,400.00 |
| 54 | Wi-Fi Router Yurts | LS | 1 | \$ 10,500.00 | \$ 10,500.00 |
| 62 | 60' X 10' Wheeler Timber Stringer Bridge Delivered (Not Installed) | LS | 1 | \$ 85,000.00 | \$ 85,000.00 |
| 63 | Install 60' X 10' Wheeler Timber Stringer Bridge | LS | 1 | \$ 90,000.00 | \$ 90,000.00 |
| 64 | 20 Foot Diameter Yurt with Furnishings/Heater Delivered | EACH | 4 | \$ 31,750.00 | \$ 127,000.00 |
| 65 | Yurt Decking Materials Treated Lumber and Hardware (746 SF/Yurt) | EACH | 4 | \$ 11,204.00 | \$ 44,816.00 |
| 66 | Yurt and Deck Construction | EACH | 4 | \$ 13,200.00 | \$ 52,800.00 |
| 75 | East Biofilter Plant Plugs | EACH | 200 | \$ 10.00 | \$ 2,000.00 |
| | Total | | | | \$ 438,807.00 |
| | Recommended Contingency | | | 15% | \$ 65,821.05 |
| | Subtotal | | | | \$ 504,628.05 |

| | |
|--------------------|---------------------|
| 1/3 Combined Costs | Est. Total |
| \$95,791.93 | \$534,598.93 |
| \$110,160.61 | \$614,788.66 |

| Item No. | RV/Tent - Description | Unit | Est Quantity | Unit Price | Price |
|----------|---------------------------------------------------------------------|------|-----------------|-------------|----------------------|
| 3 | Excavation Common RV Area Grading | CY | 1145 | \$ 7.00 | \$ 8,015.00 |
| 4 | Excavation Common Tent Area Grading | CY | 52 | \$ 7.00 | \$ 364.00 |
| 8 | Borrow RV Area Grading | CY | 125 | \$ 6.25 | \$ 781.25 |
| 9 | Borrow Tent Area Grading | CY | 92 | \$ 6.25 | \$ 575.00 |
| 15 | Subbase 12" Sand under RV pads | SY | 728 | \$ 12.00 | \$ 8,736.00 |
| 16 | Base Aggregate Dense 1 1/4-Inch Camper Pads 8" Thick | TON | 386 | \$ 19.00 | \$ 7,334.00 |
| 17 | Base Aggregate Dense 1 1/4-Inch Tent Parking 8" Thick | TON | 126 | \$ 19.00 | \$ 2,394.00 |
| 23 | Base Aggregate Dense 1 1/4-Inch RV to shower Walking Path 4" Thick | TON | 20 | \$ 19.00 | \$ 380.00 |
| 24 | Base Aggregate Dense 1 1/4-Inch Parking at Shower Building 8" Thick | TON | 47 | \$ 19.00 | \$ 893.00 |
| 26 | Geotextile Fabric - Type SAS Under Sand Under RV Pads | SY | 868 | \$ 2.25 | \$ 1,953.00 |
| 27 | Water Service 1" SCH 40 PVC To 5 RV Sites | LF | 292 | \$ 28.00 | \$ 8,176.00 |
| 28 | Watermain 2" SCH 40 PVC | LF | 740 | \$ 38.00 | \$ 28,120.00 |
| 35 | 4" Sanitary Sewer Service to Each RV Site | LF | 254 | \$ 31.00 | \$ 7,874.00 |
| 39 | Culvert Pipe 12" Aluminized CMCP at Each RV Driveway | LF | 12 | \$ 25.00 | \$ 300.00 |
| 40 | Culvert Pipe 12" Aluminized CMCP at East End Ridge Drive | LF | 40 | \$ 25.00 | \$ 1,000.00 |
| 41 | Apron End Walls 12" Culvert | EACH | 2 | \$ 475.00 | \$ 950.00 |
| 42 | Culvert Pipe 18" Aluminized CMCP at West End Ridge Drive | LF | 50 | \$ 32.00 | \$ 1,600.00 |
| 43 | Apron End Walls 18" Culvert | EACH | 2 | \$ 525.00 | \$ 1,050.00 |
| 45 | RV Area Biofilter Including Plantings | LS | 1 | \$ 7,000.00 | \$ 7,000.00 |
| 52 | Accessible Design Picnic Table | EACH | 9 | \$ 850.00 | \$ 7,650.00 |
| 55 | Wi-Fi Router RV Area | LS | 1 | \$ 5,400.00 | \$ 5,400.00 |
| 76 | West Biofilter Plant Plugs | EACH | 60 | \$ 10.00 | \$ 600.00 |
| | Total | | | | \$ 101,145.25 |
| | Recommended Contingency | | | 15% | \$ 5,057.26 |
| | Subtotal | | | | \$ 106,202.51 |

| | |
|--------------------|---------------------|
| 1/3 Combined Costs | Est. Total |
| \$95,791.83 | \$196,937.08 |
| \$110,160.61 | \$216,363.12 |

| Item No. | Bathroom - Description | Unit | Est Quantity | Unit Price | Price |
|----------|----------------------------------------------------------------------------------------------------------------------------------------------|------|--------------|---------------|----------------------|
| 3 | Clear Grub for Bridge/Shower Building | LS | 1 | \$ 3,200.00 | \$ 3,200.00 |
| 4 | Excavation Common Bathroom Area Grading | CY | 35 | \$ 7.00 | \$ 245.00 |
| 11 | Borrow Bathroom Area Grading | CY | 22 | \$ 6.25 | \$ 137.50 |
| 29 | Sanitary Yard Hydrant | EACH | 2 | \$ 3,200.00 | \$ 6,400.00 |
| 30 | 8" PVC SDR 35 Gravity Sanitary Sewer | LF | 692 | \$ 41.00 | \$ 28,372.00 |
| 31 | 8" PVC C900 Gravity Sanitary Sewer | LF | 535 | \$ 44.00 | \$ 23,540.00 |
| 32 | Sanitary Sewer Manholes | EACH | 4 | \$ 3,500.00 | \$ 14,000.00 |
| 33 | Sanitary Sewer Manhole Castings (Neenah R-1642, Type B Self Sealing Lid) | EACH | 4 | \$ 1,450.00 | \$ 5,800.00 |
| 34 | Sanitary Sewer Clean Out | EACH | 2 | \$ 1,400.00 | \$ 2,800.00 |
| 36 | Connect to Existing Watermain | EACH | 1 | \$ 2,100.00 | \$ 2,100.00 |
| 37 | Connect to Existing Lift Station | EACH | 1 | \$ 1,700.00 | \$ 1,700.00 |
| 38 | Fittings, Connections, Bends, Tees, Etc. Allowance (Not Designed) | LS | 1 | \$ 12,000.00 | \$ 12,000.00 |
| 60 | Shower/Flush Toilet Aspen (20'-2" x 19'-6") Prefabricated Building Huffcutt Includes Delivery, Crane Rental, and Setting on Prepared Slab | LS | 1 | \$ 178,000.00 | \$ 178,000.00 |
| 57 | Footings/Site Preparation Shower/Bath Building | LS | 1 | \$ 5,400.00 | \$ 5,400.00 |
| 58 | 4" Concrete Sidewalk and Detectable Warning Filed Base | SF | 240 | \$ 12.00 | \$ 2,880.00 |
| | Total | | | | \$ 286,574.50 |
| | Recommended Contingency | | | 15% | \$ 42,986.18 |
| | Subtotal | | | | \$ 329,560.68 |

1/3 Combined Costs Est. Total
\$93,791.83 \$380,366.33
\$110,160.61 \$439,721.29

| Item No. | Combined Costs - Description | Unit | Est Quantity | Unit Price | Price |
|----------|-----------------------------------------------------------------------------|------|--------------|---------------|----------------------|
| 1 | Mobilization (All Work) | LS | 1 | \$ 7,000.00 | \$ 7,000.00 |
| 7 | Excavation Common Paths Grading | CY | 59 | \$ 7.00 | \$ 413.00 |
| 12 | Borrow Paths Grading | CY | 123 | \$ 6.25 | \$ 768.75 |
| 13 | Salvaged Topsoil (Assume 8") | SY | 8786 | \$ 3.00 | \$ 26,358.00 |
| 14 | Sawcut Asphalt Pavement | LF | 98 | \$ 5.00 | \$ 490.00 |
| 25 | HMA Pavement | TON | 105 | \$ 135.00 | \$ 14,175.00 |
| 46 | Perforated Underdrain (Under Biofilters) | LF | 32 | \$ 6.00 | \$ 192.00 |
| 47 | 6" PVC Piping/Clean Outs from Biofilter Underdrains | LF | 83 | \$ 39.00 | \$ 3,237.00 |
| 48 | Cedar Trees | EACH | 45 | \$ 100.00 | \$ 4,500.00 |
| 49 | Landscaping Shrubs | EACH | 32 | \$ 40.00 | \$ 1,280.00 |
| 50 | 30" Diameter Fire Ring With Grate | EACH | 12 | \$ 350.00 | \$ 4,200.00 |
| 51 | 30" Diameter Wheelchair Accessible Fire Ring with Grate | EACH | 1 | \$ 600.00 | \$ 600.00 |
| 59 | 18" Curb and Gutter | LF | 79 | \$ 22.00 | \$ 1,738.00 |
| 60 | Electrical Whole Site | LS | 1 | \$ 142,383.00 | \$ 142,383.00 |
| 61 | Electrical Meter/Utility Hook-up Fee (Fee Assumed) | LS | 1 | \$ 2,000.00 | \$ 2,000.00 |
| 67 | Riprap on HR Fabric | CY | 8 | \$ 80.00 | \$ 640.00 |
| 68 | Erosion Mat Urban Class I - Type B | SY | 6100 | \$ 1.95 | \$ 11,895.00 |
| 69 | Silt Fence | LF | 2390 | \$ 2.25 | \$ 5,377.50 |
| 70 | Remove Silt Fence | LF | 2390 | \$ 0.25 | \$ 597.50 |
| 71 | Sediment Logs | LF | 200 | \$ 9.00 | \$ 1,800.00 |
| 72 | Tracking Pad | EACH | 2 | \$ 2,000.00 | \$ 4,000.00 |
| 73 | Seeding Mixture No. 40 | LB | 160 | \$ 10.00 | \$ 1,600.00 |
| 74 | Culvert Pipe Check | EACH | 3 | \$ 22.00 | \$ 66.00 |
| 77 | Traffic Control | LS | 1 | \$ 5,500.00 | \$ 5,500.00 |
| 78 | Site Signs and Sign Posts | EACH | 13 | \$ 80.00 | \$ 1,040.00 |
| 79 | WisDOT Type II, Reflective H Sign - R55-53 "Path for Pedestrians Only" | SF | 1.50 | \$ 25.00 | \$ 37.50 |
| 80 | WisDOT Type II, Reflective H Sign - R6-2L, Size 1 "One Way" (Left Arrow) | SF | 3.00 | \$ 25.00 | \$ 75.00 |
| 81 | WisDOT Type II, Reflective H Sign - R5-1, Size 2S "Do Not Enter" | SF | 6.25 | \$ 25.00 | \$ 156.25 |
| 82 | WisDOT Type II, Reflective F Sign - W11-2 Pedestrian | SF | 4.00 | \$ 25.00 | \$ 100.00 |
| 83 | WisDOT Type II, Reflective F Sign - W16-7 Arrow (Under W11-2 Sign) | SF | 2.00 | \$ 25.00 | \$ 50.00 |
| 84 | Handicap Parking Van Accessible Sign and Post | EACH | 2 | \$ 210.00 | \$ 420.00 |
| 85 | Detectable Warning Field Natural Patina | SF | 20.00 | \$ 43.00 | \$ 860.00 |
| 86 | Pavement Marking Paint 6" Cross Walk | LF | 55.00 | \$ 2.25 | \$ 123.75 |
| 87 | Pavement Marking Paint - 4" Stall Stripes | LF | 288.00 | \$ 2.25 | \$ 648.00 |
| 88 | Pavement Marking Epoxy 8" Diagonal Stripes Van Accessible Aisle | LF | 81.00 | \$ 2.25 | \$ 182.25 |
| 89 | Pavement Marking Epoxy - Handicap Symbol | EACH | 2 | \$ 270.00 | \$ 540.00 |
| 90 | Update Existing Sign at Entrance to West End Campground | EACH | 1 | \$ 1,600.00 | \$ 1,600.00 |
| 91 | Registration and Message Center | EACH | 2 | \$ 2,400.00 | \$ 4,800.00 |
| 92 | Permits, Plan Review Fees, Campground Plan Fees | LS | 1 | \$ 4,000.00 | \$ 4,000.00 |
| 93 | Construction Oversight | LS | 1 | \$ 24,000.00 | \$ 24,000.00 |
| | Total | | | | \$ 287,375.50 |
| | Recommended Contingency | | | 15% | \$ 43,106.33 |
| | Subtotal | | | | \$ 330,481.83 |

1/3 Costs
\$95,791.83
\$110,160.61

Yurt Proposal

10/31/2023

Estimated yearly income and payoff of investment.

| | | 4 Yurts | |
|---------------|------------------------------|-----------|--------------------------------------------|
| Costs: | Upfront | \$534,599 | + 15% \$614,789 |
| | Yurt | \$31,750 | per yurt with amenities |
| | heater | | |
| | bedding | | |
| | table/chairs | | |
| | Decking | \$24,404 | per yurt |
| | Site Impr. | \$214,191 | cost estimate |
| | Shared Costs | \$93,148 | |
| | Recurring | \$48,000 | |
| | Cleaning routine maintenance | \$26,000 | 30 hr/week @ 52 weeks, 1,040 hrs x \$25/hr |
| | electricity/wifi | \$7,000 | 200 hrs/yr x \$35/hr |
| | | \$15,000 | |

Income: Based on 300 & 250 night rentals per year

| # of Nights | 1200 | 1200 | 1200 | 1000 | 1000 | 1000 |
|-------------------------------------------------------------|----------|-----------|-----------|----------|-----------|-----------|
| Fee/night | \$75 | \$100 | \$125 | \$75 | \$100 | \$125 |
| | \$90,000 | \$120,000 | \$150,000 | \$75,000 | \$100,000 | \$125,000 |
| Payback: on initial investment after operating costs | | | | | | |
| Revenue per year | \$42,000 | \$72,000 | \$102,000 | \$27,000 | \$52,000 | \$77,000 |
| Years to pay off | 14.6 | 8.5 | 6.0 | 22.8 | 11.8 | 8.0 |

Full Service RV Proposal

Estimated yearly income and payoff of investment.

| | | | |
|---------------|---------------------|-----------|-------------------------------------------|
| Costs: | Upfront | \$656,084 | <i>Bathhouse included</i> |
| | | \$216,363 | <i>No bathhouse</i> |
| | Recurring | \$15,625 | |
| | routine maintenance | \$4,375 | 5 hrs/wk, for 25 weeks, 125 hrs x \$35/hr |
| | Cleaning | \$6,250 | 10 hrs/wk for 25 weeks, 250 hrs x \$25/hr |
| | electricity/wifi | \$5,000 | |

Income: Based on 136 daily rentals (75% of season), for 5 sites

| | | with Bathhouse costs | | | No Bathhouse costs | | |
|------------------------------------------------------------|----------|----------------------|----------|----------|--------------------|----------|--|
| # of Nights | 680 | 680 | 680 | 680 | 680 | 680 | |
| Fee/night | \$65 | \$75 | \$85 | \$65 | \$75 | \$85 | |
| | \$44,200 | \$51,000 | \$57,800 | \$44,200 | \$51,000 | \$57,800 | |
| Payback: on initial investing after operating costs | | | | | | | |
| Revenue per year | \$28,575 | \$35,375 | \$42,175 | \$28,575 | \$35,375 | \$42,175 | |
| Years to pay off | 23.0 | 18.5 | 15.6 | 7.6 | 6.1 | 5.1 | |

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CITY OF WASHBURN

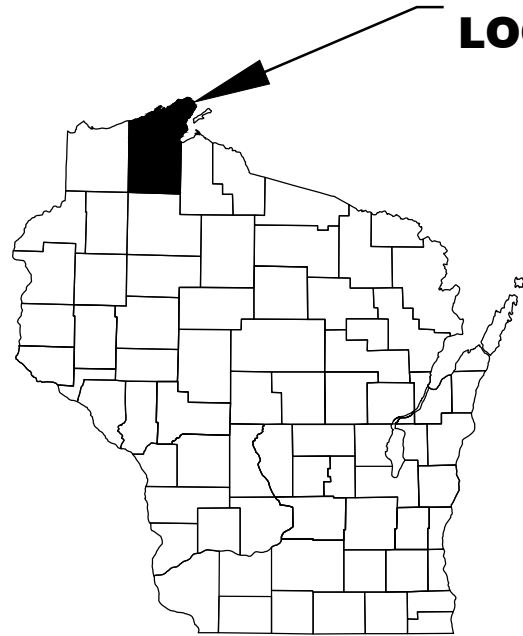
THOMPSON'S WEST END PARK

CITY OF WASHBURN, BAYFIELD COUNTY

INDEX OF SHEETS

| SHEET NO. | DESCRIPTION |
|-----------|-------------------------------------------|
| 1 | TITLE SHEET |
| 2 | GENERAL NOTES |
| 3 | STAKING CONTROL PLAN |
| 4 | EXISTING CONDITIONS |
| 5 | PROPOSED SITE OVERVIEW |
| 6 | PROPOSED RV AREA PLAN |
| 7 | PROPOSED YURT AREA PLAN |
| 8 | SANITARY SEWER PLAN AND PROFILE |
| 9 | SANITARY CONNECTION TO EXISTING DETAIL |
| 10 | WATER SUPPLY SYSTEM PLAN AND PROFILE |
| 11 | WATER CONNECTION TO EXISTING DETAIL |
| 12 | RV AREA GRADING PLAN |
| 13 | YURT AREA GRADING PLAN |
| 14 | BRIDGE GRADING PLAN |
| 15-17 | EROSION CONTROL PLAN |
| 18-34 | CONSTRUCTION DETAILS |
| 35-39 | ELECTRICAL POWER DISTRIBUTION AND DETAILS |
| 40-41 | BRIDGE CONSTRUCTION DETAILS |
| 42-43 | YURT CONSTRUCTION DETAILS |

PROJECT LOCATION



LOCATION SKETCH

SCALE 0 1 MILE

DIGGERS HOTLINE

Dial **811** or (800)242-8511

www.DiggersHotline.com

PREPARED BY
 Project Manager NICOLE HODKIEWICZ, P.E.
 Checked By NKH
 Approved By NKH

PLOT DATE: Oct 24, 2023 - 03:21pm

| | | | | | | | | | |
|-----|----|-----------|-----------------------------|--------------------------------------------|---------------------------|-----------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|---------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | COOPER ENGINEERING | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK | |
| NO. | BY | DATE | DRAWN BY NJG | CHECKED BY NKH | | | CITY OF WASHBURN, BAYFIELD COUNTY | TITLE SHEET | SHEET 1 |
| | | REVISIONS | ISSUE DATE 10/24/2023 | APPROVED BY NKH | | | | | |

STANDARD ABBREVIATIONS

| | | | |
|------------|--------------------------------------------------------|-----------|------------------------------------------------------------|
| ABUT | ABUTMENT | LT | LEFT |
| AC | ACRE | LHF | LEFT HAND FORWARD |
| AGG | AGGREGATE | L | LENGTH OF CURVE |
| AH | AHEAD | LF | LINEAR FOOT |
| ∠ | ANGLE | LC | LONG CHORD OF CURVE |
| AADT | ANNUAL AVERAGE DAILY TRAFFIC | LS | LUMP SUM |
| AEW | APRON ENDWALL | MGAL | ONE THOUSAND GALLONS |
| ASPH | ASPHALTIC | MH | MANHOLE |
| BK | BACK | ML OR M/L | MATCH LINE |
| BC | BACK OF CURB | NOM | NOMINAL |
| BAD | BASE AGGREGATE DENSE | NC | NORMAL CROWN |
| BL OR B/L | BASE LINE | NB | NORTHBOUND |
| BM | BENCH MARK | NO | NUMBER |
| CB | CATCH BASIN | OD | OUTSIDE DIAMETER |
| CL OR C/L | CENTER LINE | PAVT | PAVEMENT |
| Δ | CENTRAL ANGLE OR DELTA | PLE | PERMANENT LIMITED EASEMENT |
| CE | COMMERCIAL ENTRANCE | PC | POINT OF CURVATURE |
| CONC | CONCRETE | PI | POINT OF INTERSECTION |
| CSW | CONCRETE SIDEWALK | PT | POINT OF TANGENCY |
| CONST | CONSTRUCTION | PCC | PORTLAND CEMENT CONCRETE |
| CP | CONTROL POINT | LB | POUND |
| CO | COUNTY | PSI | POUNDS PER SQUARE INCH |
| CTH | COUNTY TRUCK HIGHWAY | PE | PRIVATE ENTRANCE |
| CY | CUBIC YARD | PROJ | PROJECT |
| CP | CULVERT PIPE | PL | PROPERTY LINE |
| CPCA | CULVERT PIPE CORRUGATED ALUMINUM | PRW | PROPOSED RIGHT OF WAY |
| CPCPE | CULVERT PIPE CORRUGATED POLYETHYLENE | R | RADIUS |
| CPCPP | CULVERT PIPE CORRUGATED POLYPROPYLENE | RL OR R/L | REFERENCE LINE |
| CPCS | CULVERT PIPE CORRUGATED STEEL | REQD | REQUIRED |
| CPCSAC | CULVERT PIPE CORRUGATED STEEL ALUMINUM COATED | RT | RIGHT |
| CPCSPC | CULVERT PIPE CORRUGATED STEEL POLYMER COATED | RHF | RIGHT HAND FORWARD |
| CPRC | CULVERT PIPE REINFORCED CONCRETE | R/W | RIGHT OF WAY |
| CPRCHE | CULVERT PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL | RD | ROAD |
| CPS | CULVERT PIPE SALVAGED | RDWY | ROADWAY |
| CPT | CULVERT PIPE TEMPORARY | SHLDR | SHOULDER |
| C & G | CURB AND GUTTER | SW | SIDEWALK |
| D | DEGREE OF CURVE | SB | SOUTHBOUND |
| DHV | DESIGN HOUR VOLUME | SPECS | SPECIFICATIONS |
| DIA | DIAMETER | SF | SQUARE FEET |
| DD | DIRECTIONAL DISTRIBUTION | SY | SQUARE YARD |
| DE | DRAINAGE EASEMENT | SDD | STANDARD DETAIL DRAWINGS |
| DWY | DRIVEWAY | STH | STATE TRUNK HIGHWAY |
| EA | EACH | STA | STATION |
| EB | EASTBOUND | SSPC | STORM SEWER PIPE COMPOSITE |
| EL OR ELEV | ELEVATION | SSCPE | STORM SEWER PIPE CORRUGATED POLYETHYLENE |
| EMB | EMBANKMENT | SSCPP | STORM SEWER PIPE CORRUGATED POLYPROPYLENE |
| EW | ENDWALL | SSPNRC | STORM SEWER PIPE NON-REINFORCED CONCRETE |
| EAT | ENERGY ABSORBING TERMINAL | SSPRC | STORM SEWER PIPE REINFORCED CONCRETE |
| ESALS | EQUIVALENT SINGLE AXLE LOADS | SSPRC | STORM SEWER PIPE REINFORCED CONCRETE |
| EXC | EXCAVATION | SSPRCHE | STORM SEWER PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL |
| EBS | EXCAVATION BELOW SUBGRADE | SE | SUPERELEVATION |
| EXIST | EXISTING | SL OR S/L | SURVEY LINE |
| FERT | FERTILIZER | TEMP | TEMPORARY |
| FE | FIELD ENTRANCE | TI | TEMPORARY INTEREST |
| FL OR F/L | FLOW LINE | TLE | TEMPORARY LIMITED EASEMENT |
| FT | FOOT | TC | TOP OF CURB |
| FTMS | FREE TRAFFIC MANAGEMENT SYSTEM | TL OR T/L | TRANSIT LINE |
| HES | HIGH EARLY STRENGTH | T | TRUCKS (PERCENT OF) |
| HE | HIGHWAY EASEMENT | TYP | TYPICAL |
| CWT | HUNDRED WEIGHT | USH | UNITED STATES HIGHWAY |
| IN DIA | INCH DIAMETER | VAR | VARIABLE |
| INL | INLET | VC | VERTICAL CURVE |
| ID | INSIDE DIAMETER | VPC | VERTICAL POINT OF CURVATURE |
| INTERS | INTERSECTION | VPI | VERTICAL POINT OF INTERSECTION |
| IH | INTERSTATE HIGHWAY | VPT | VERTICAL POINT OF TANGENCY |
| INV | INVERT | W | WEST |
| JT | JOINT | WB | WESTBOUND |

CONVENTIONAL SYMBOLS

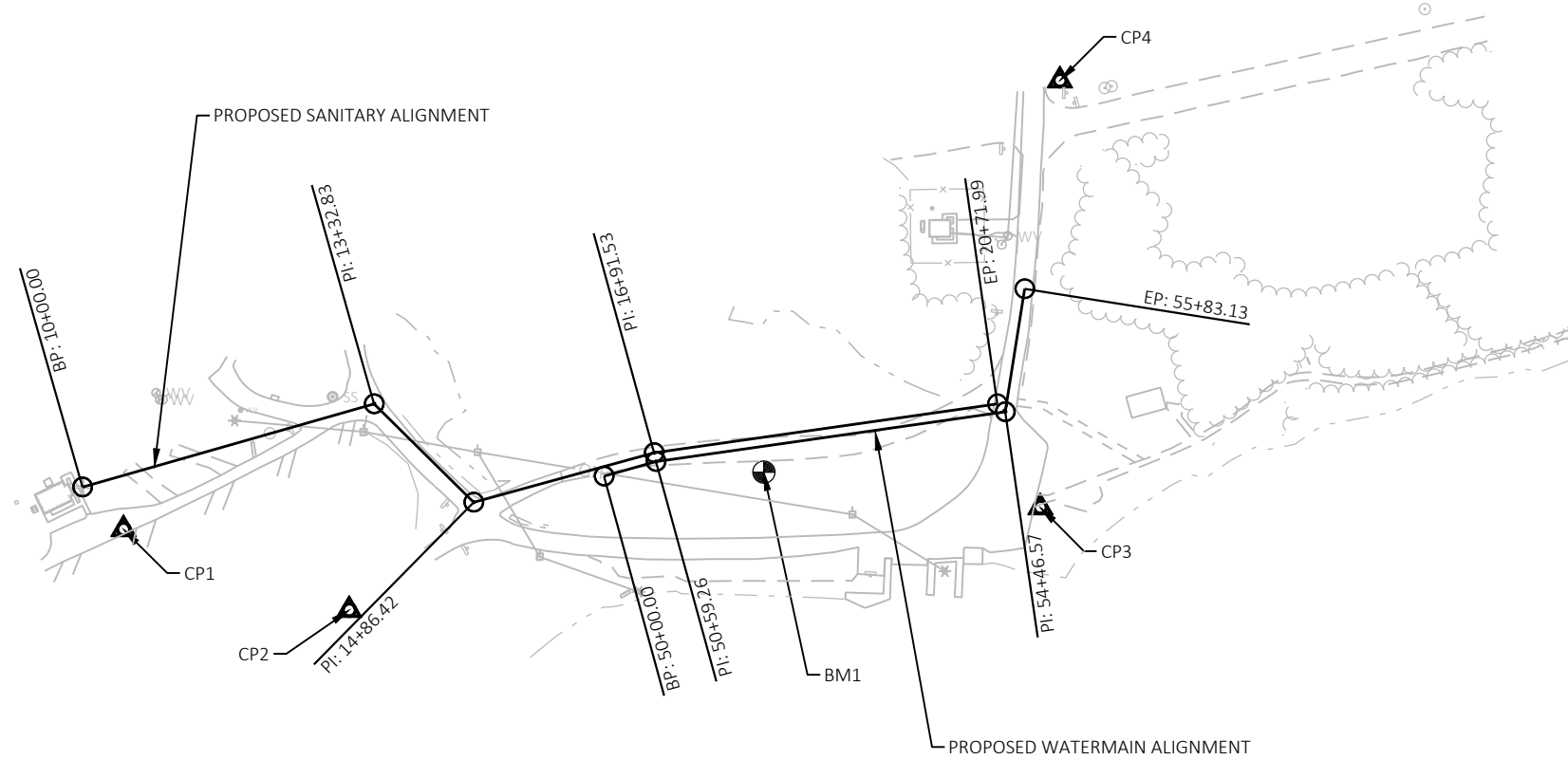
PLAN

| | |
|--------------------------------|--|
| TREE | |
| HYDRANT | |
| WATER VALVE | |
| CURB STOP | |
| SLOPE INTERCEPT | |
| EXISTING CULVERT | |
| PROPOSED CULVERT (Box or Pipe) | |
| COMBUSTIBLE FLUIDS | |
| MARSH AREA | |
| WOODED OR SHRUB AREA | |

PROFILE

| | |
|------------------------|--|
| GRADE LINE | |
| ORIGINAL GROUND | |
| CULVERT (Profile View) | |
| ELECTRIC | |
| FIBER OPTIC | |
| GAS | |
| SANITARY SEWER | |
| STORM SEWER | |
| TELEPHONE | |
| WATER | |
| UTILITY PEDESTAL | |
| POWER POLE | |
| TELEPHONE POLE | |

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ALIGNMENT: ProposedWaterAlignment
 DESCRIPTION:
 LENGTH: 583.13

TANGENT N 486339.80 E 812387.21 STATION 50+00.00
 DISTANCE 59.26 BEARING N74° 38' 28"E

TANGENT N 486355.50 E 812444.35 STATION 50+59.26
 DISTANCE 387.32 BEARING N81° 52' 06"E

TANGENT N 486410.28 E 812827.77 STATION 54+46.57
 DISTANCE 136.56 BEARING N08° 55' 44"E

END N 486545.19 E 812848.96 STATION 55+83.13

ALIGNMENT: ProposedSanitaryAlignment
 DESCRIPTION:
 LENGTH: 1071.99

TANGENT N 486327.64 E 811815.10 STATION 10+00.00
 DISTANCE 332.83 BEARING N74° 05' 26"E

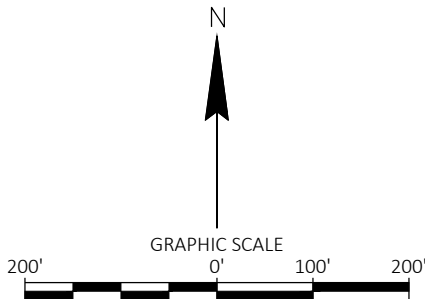
TANGENT N 486418.87 E 812135.18 STATION 13+32.83
 DISTANCE 153.60 BEARING S45° 22' 31"E

TANGENT N 486310.98 E 812244.49 STATION 14+86.42
 DISTANCE 205.11 BEARING N74° 38' 28"E

TANGENT N 486365.30 E 812442.28 STATION 16+91.53
 DISTANCE 380.46 BEARING N81° 52' 05"E

END N 486419.12 E 812818.91 STATION 20+71.99

LEGEND
 MNS = MAGNETIC NAIL
 SPK = SPIKE



| CONTROL POINTS | | | | | |
|----------------|--------------|------------|------------|-----------|-------------|
| NAME | POINT NUMBER | NORTHING | EASTING | ELEVATION | DESCRIPTION |
| CP1 | 21 | 486281.22' | 811859.91' | 615.57' | CP-MNS |
| CP2 | 22 | 486192.56' | 812107.66' | 608.55' | CP-MNS |
| CP3 | 23 | 486305.32' | 812866.00' | 610.07' | CP-SPK |
| CP4 | 24 | 486773.95' | 812887.47' | 632.73' | CP-SPK |

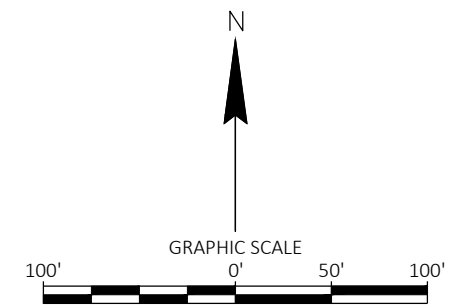
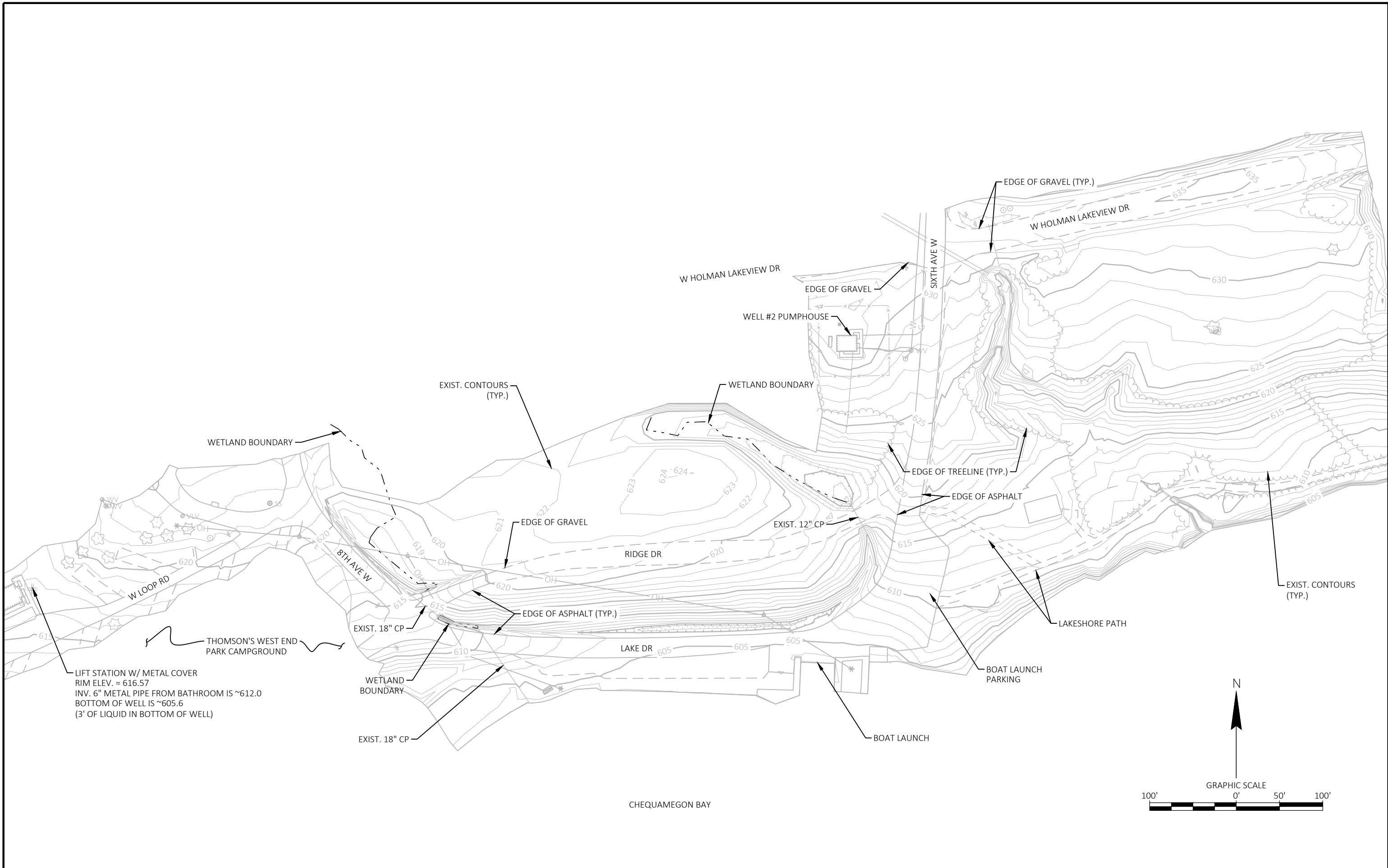
| BENCH MARKS | | | | | |
|-------------|--------------|------------|------------|-----------|-------------------|
| NAME | POINT NUMBER | NORTHING | EASTING | ELEVATION | DESCRIPTION |
| BM1 | 6089 | 486344.04' | 812562.56' | 619.21' | GPS MON SLAB TOWN |

| NOTES | | | | | |
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PLOT DATE: Oct 24, 2023 - 03:21pm

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PLOT DATE: Oct 24, 2023 - 03:21pm



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CEC PROJECT NO.
23290077
DRAWN BY NJG
ISSUE DATE 10/24/2023

PROJECT MANAGER
NICOLE HODKIEWICZ, P.E.
CHECKED BY NKH
APPROVED BY NKH



2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

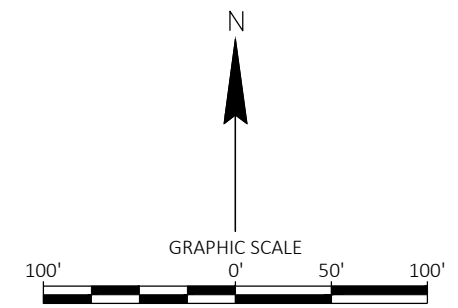
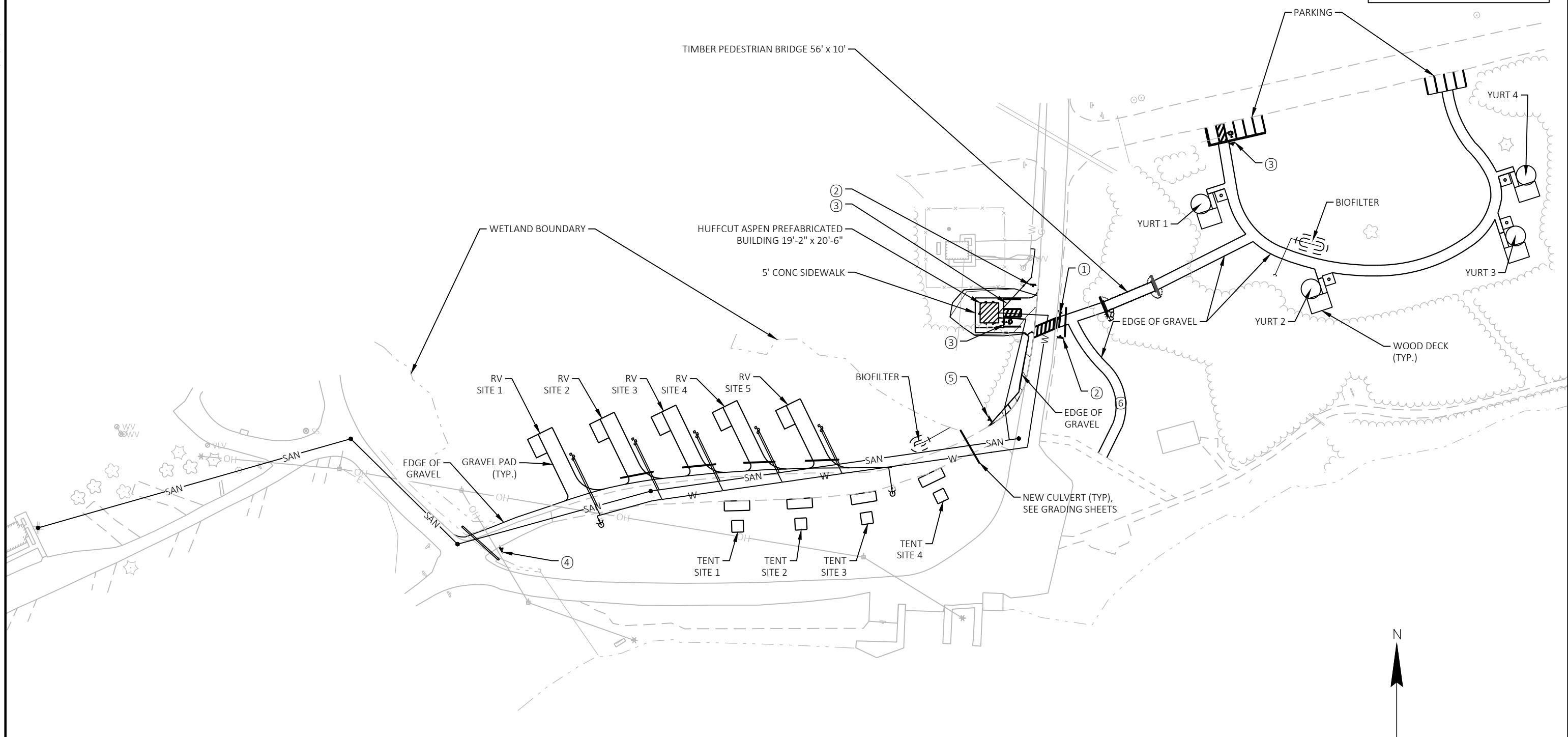
THOMPSON'S WEST END PARK
EXISTING CONDITIONS

SHEET 4

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PLOT DATE: Oct 24, 2023 - 03:21pm

- SIGN NOTES:**
- ①: PATH FOR PEDESTRIANS ONLY
 - ②: PEDESTRIAN CROSSING
 - ③: HC SIGN
 - ④: ONE WAY
 - ⑤: DO NOT ENTER
 - ⑥: ARROW



| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |

CEC PROJECT NO.
23290077

DRAWN BY NJG

ISSUE DATE 10/24/2023

PROJECT MANAGER
NICOLE HODKIEWICZ, P.E.

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APPROVED BY NKH



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RICE LAKE, WISCONSIN 54868-0230
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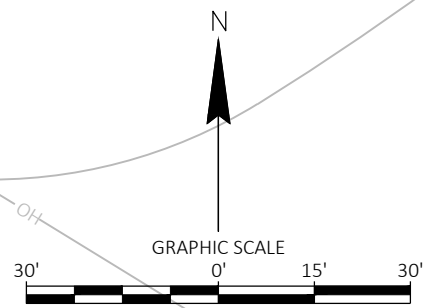
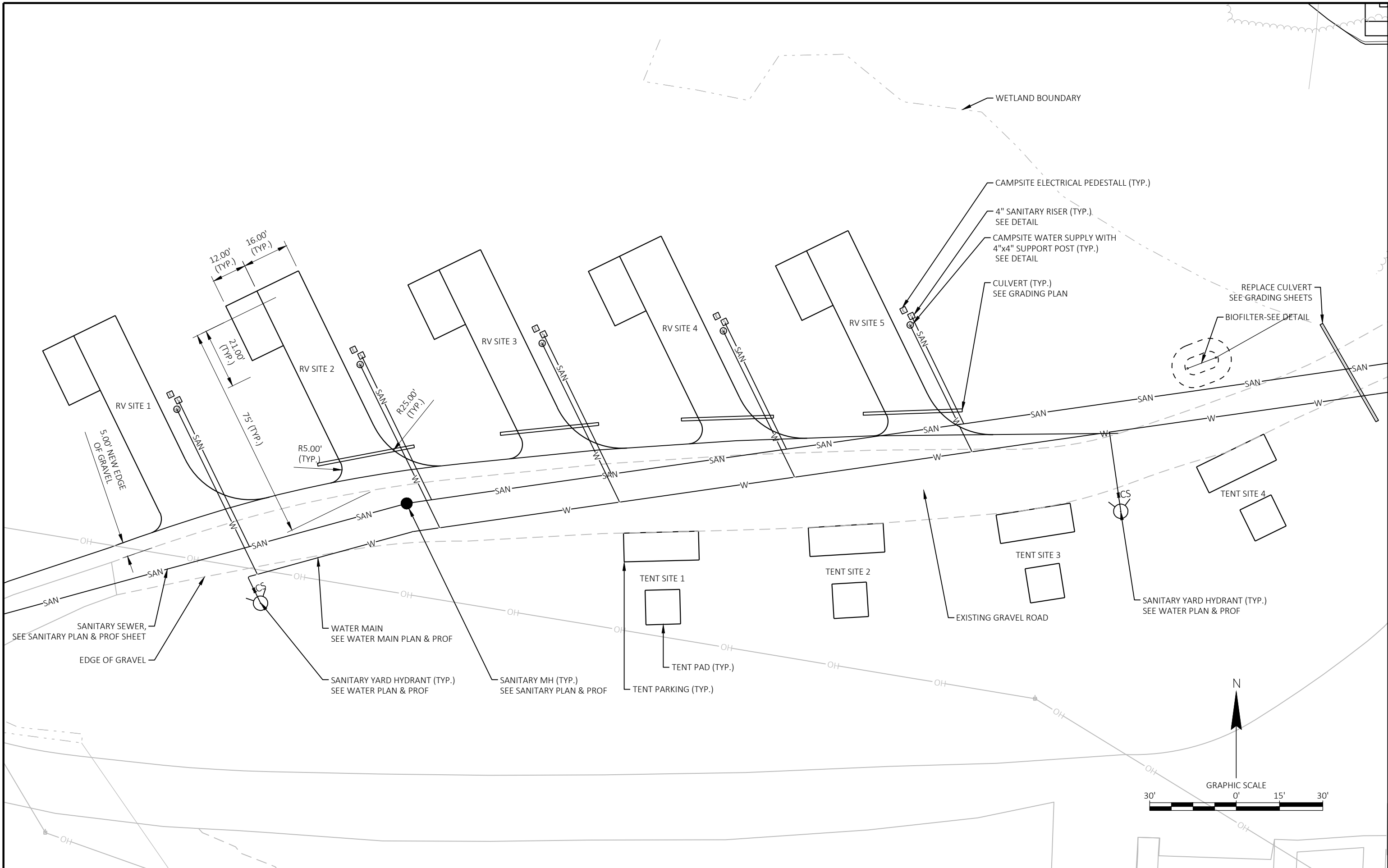
CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
PROPOSED SITE OVERVIEW

SHEET 5

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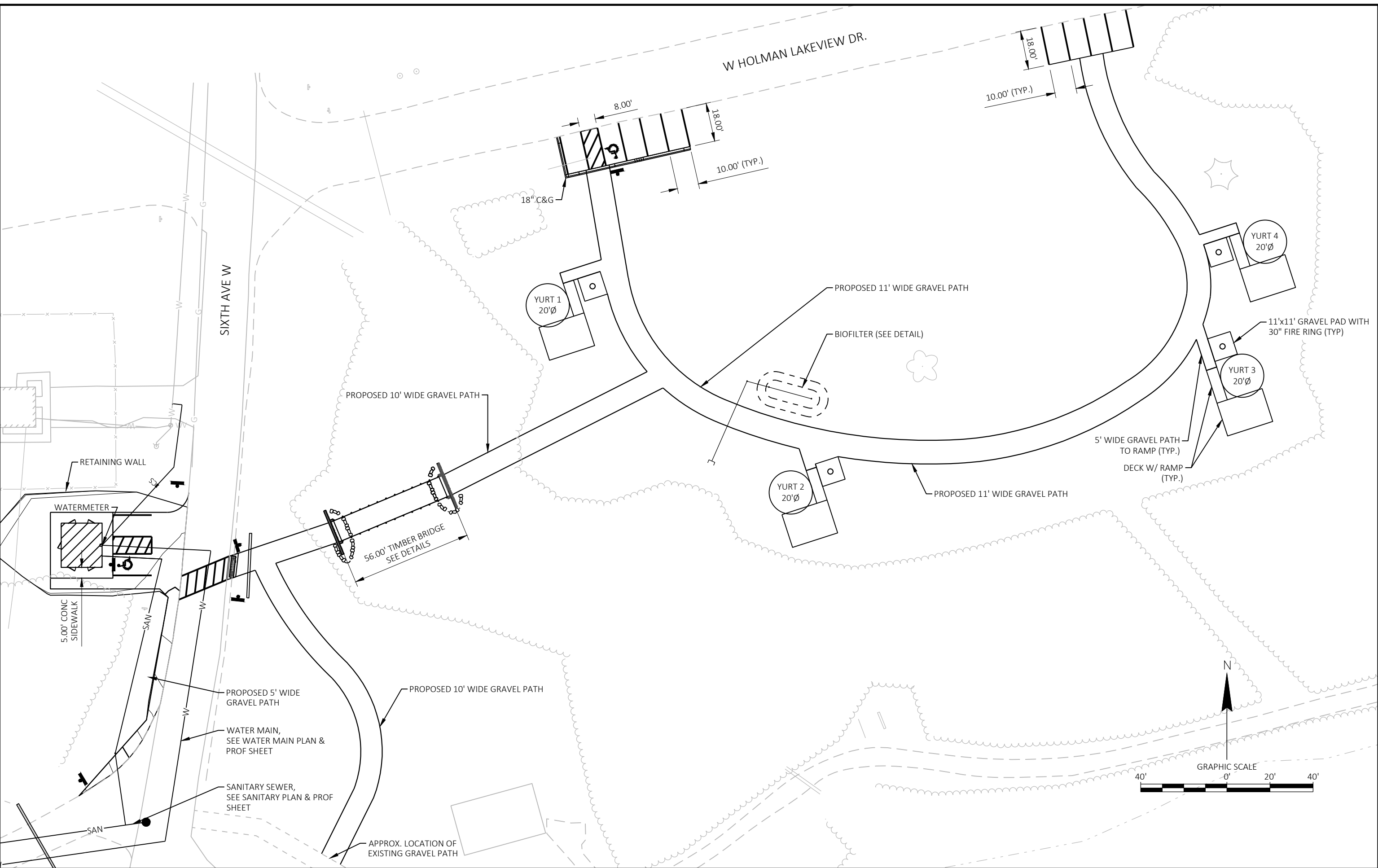
PLOT DATE: Oct 24, 2023 - 03:22pm



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| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | COOPER ENGINEERING 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | ISSUE DATE | APPROVED BY | | CITY OF WASHBURN, BAYFIELD COUNTY | PROPOSED RV AREA LAYOUT |
| | | | 10/24/2023 | NKH | | | |

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PLOT DATE: Oct 24, 2023 - 03:22pm



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| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

COOPER ENGINEERING

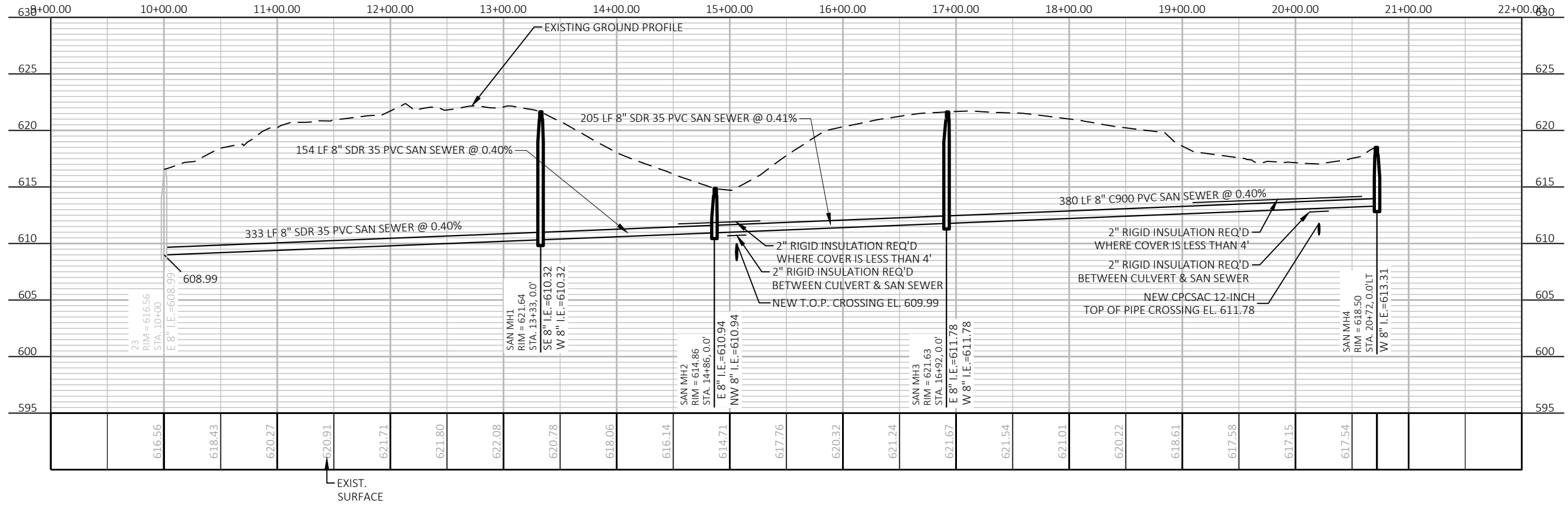
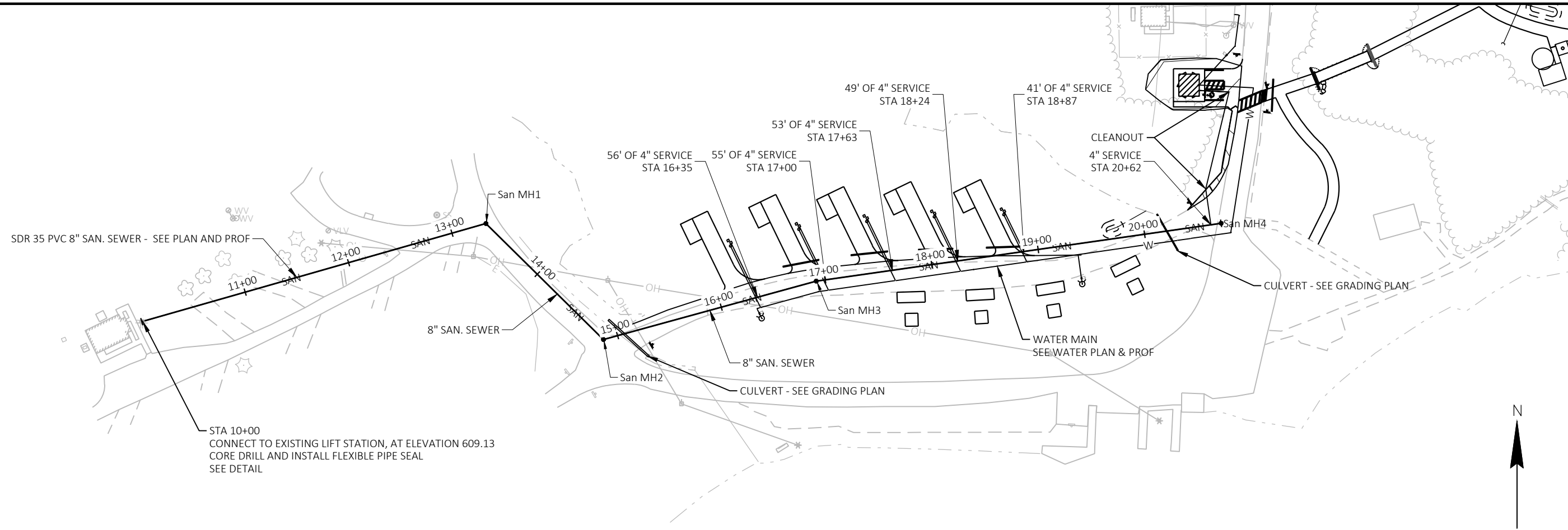
2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
PROPOSED YURT AREA LAYOUT

SHEET 7

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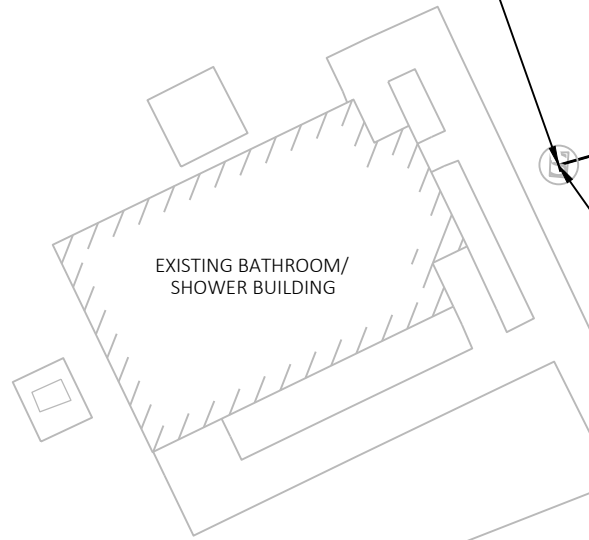
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| NO. | | DATE | REVISIONS | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | <p>2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025</p> | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | DATE | REVISIONS | ISSUE DATE 10/24/2023 | APPROVED BY NKH | CITY OF WASHBURN, BAYFIELD COUNTY | | | |

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PLOT DATE: Oct 24, 2023 - 03:22pm

METAL COVER FOR WET WELL
RIM ELEV - 616.57
INV 6" SERVICE FROM BATHROOM APPROX. ELEV. 612.0
BOTTOM OF WET WELL APPROX. ELEV. 605.6
(LOW WATER LEVEL APPROX. ELEV. 608.6)



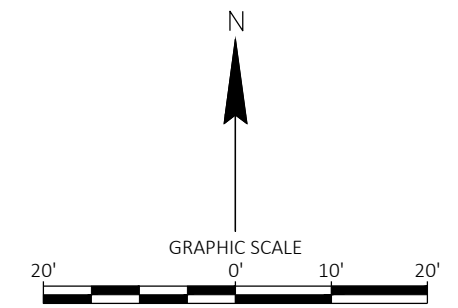
STA 10+00
CONNECT TO EXISTING LIFT STATION, AT ELEVATION 609.13
CORE DRILL AND INSTALL FLEXIBLE PIPE SEAL

SDR 35 PVC 8" SAN. SEWER - SEE PLAN AND PROF

EXISTING GRAVEL
CAMPING PAD (TYP.)

W. LOOP RD

EXISTING GRAVEL
CAMPING PAD (TYP.)



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CEC PROJECT NO.
23290077
DRAWN BY NJG
ISSUE DATE 10/24/2023

PROJECT
MANAGER
NICOLE HODKIEWICZ, P.E.
CHECKED BY NKH
APPROVED BY NKH



2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
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FAX (715) 234-1025

CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

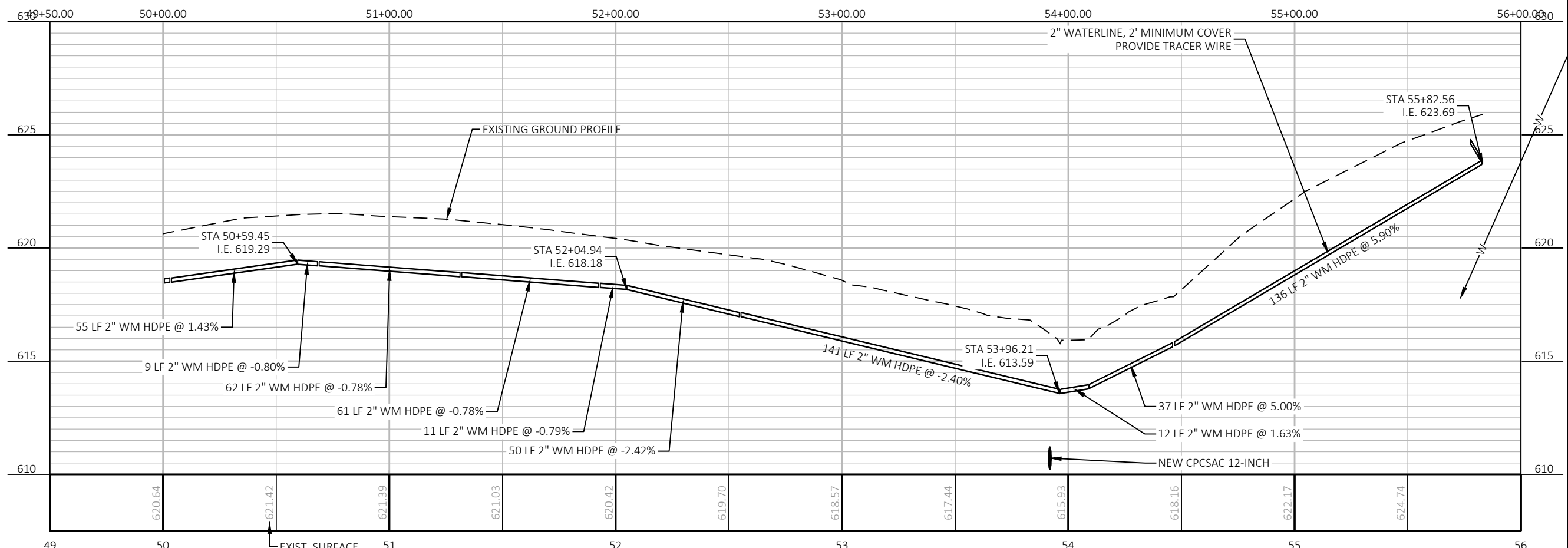
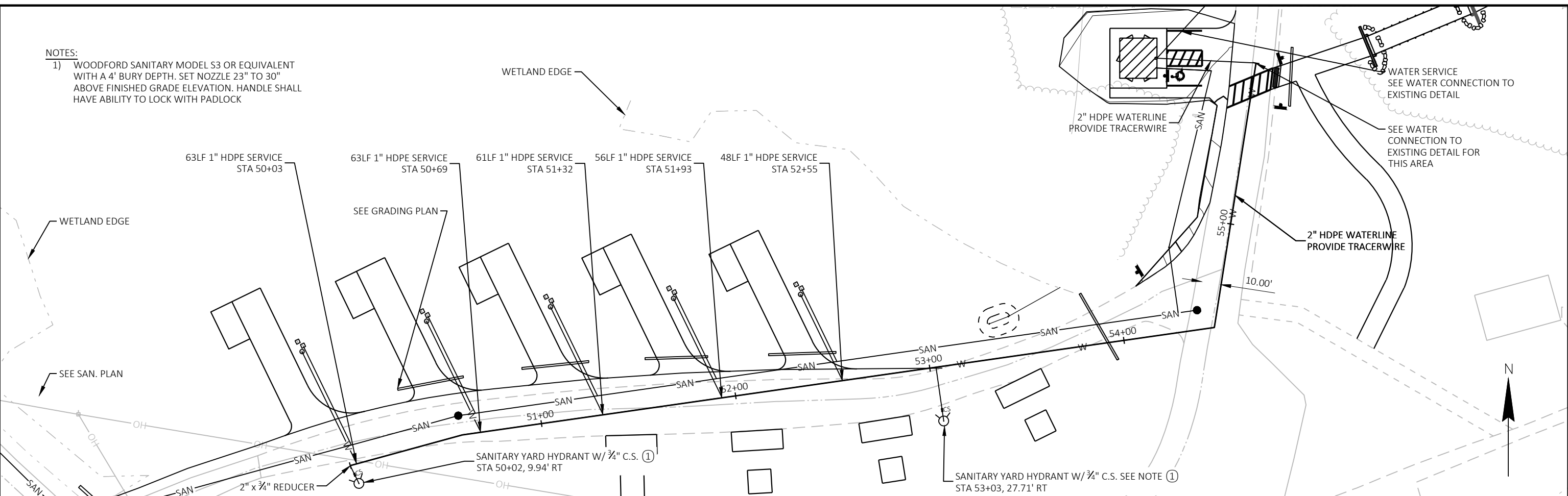
THOMPSON'S WEST END PARK
SANITARY CONNECTION TO EXIST. DETAIL

SHEET 9

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NOTES:

1) WOODFORD SANITARY MODEL S3 OR EQUIVALENT WITH A 4' BURY DEPTH. SET NOZZLE 23" TO 30" ABOVE FINISHED GRADE ELEVATION. HANDLE SHALL HAVE ABILITY TO LOCK WITH PADLOCK

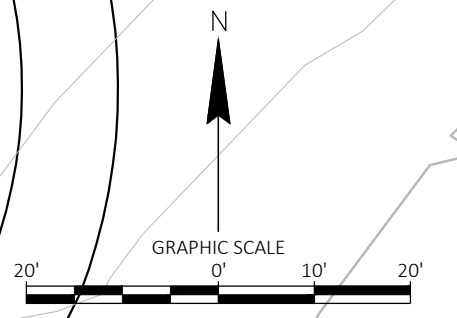
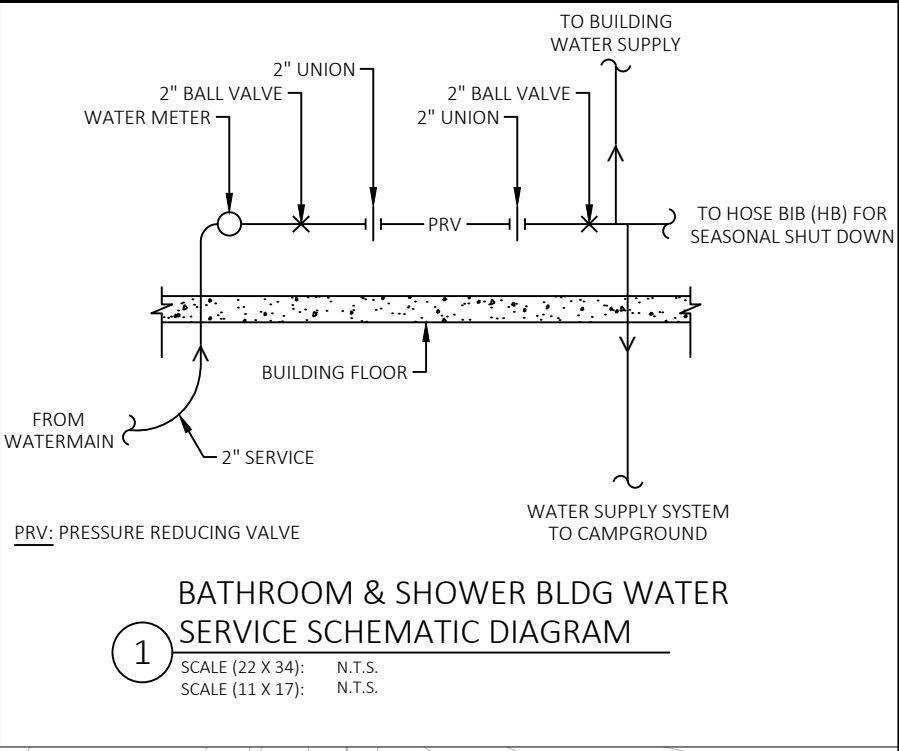
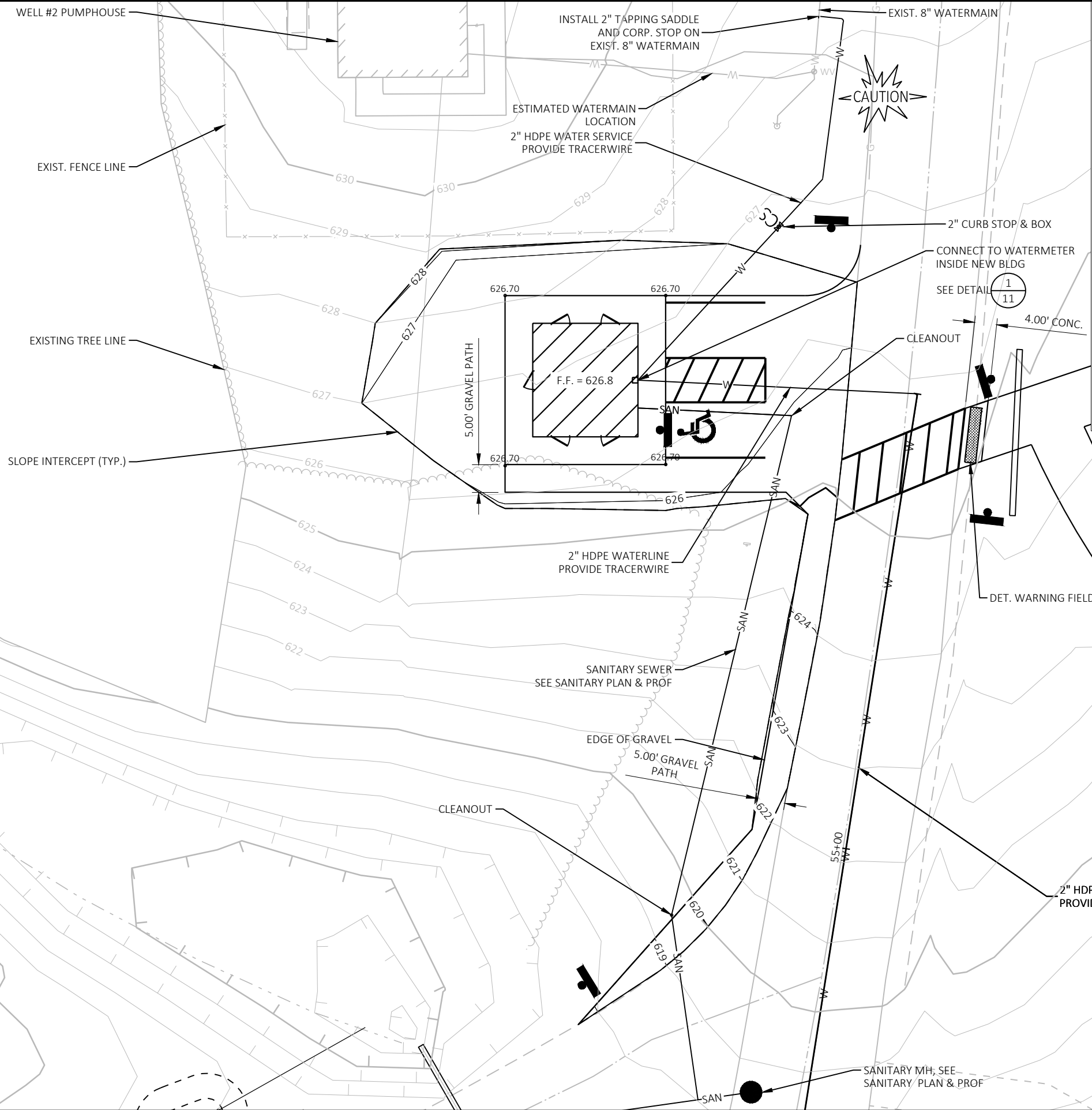


PLOT DATE: Oct 24, 2023 - 03:22pm

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| NO. | | DATE | | REVISIONS | | CEC PROJECT NO. 23290077 DRAWN BY NJG ISSUE DATE 10/24/2023 | | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. CHECKED BY NKH APPROVED BY NKH | | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | | CITY OF WASHBURN CITY OF WASHBURN, BAYFIELD COUNTY | | THOMPSON'S WEST END PARK WATER SUPPLY SYSTEM PLAN AND PROFILE | | SHEET 10 | |
|-----|--|------|--|-----------|--|----------------------------------------------------------------------|--|---------------------------------------------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------|--|------------------------------------------------------------------|--|----------|--|

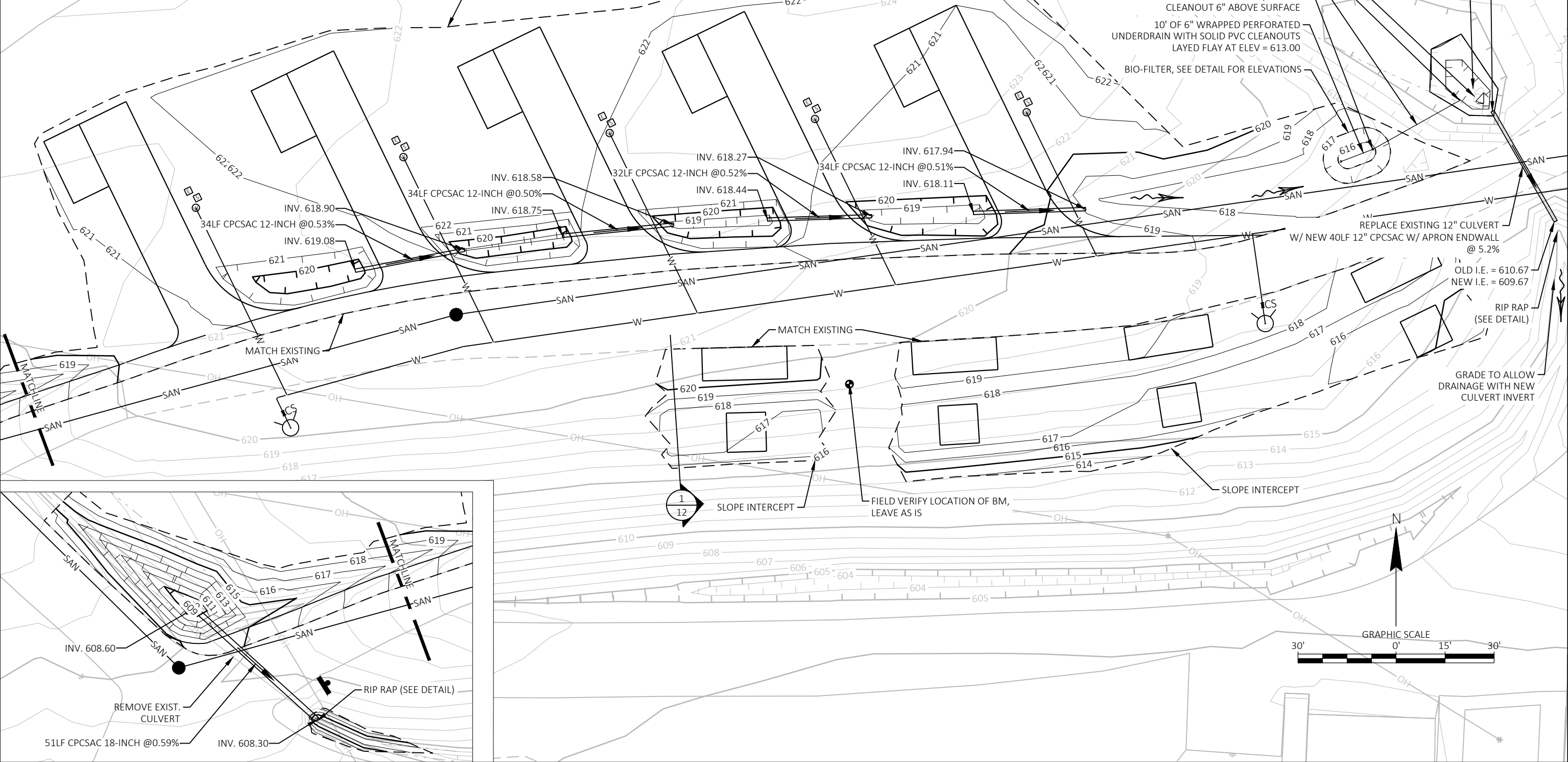
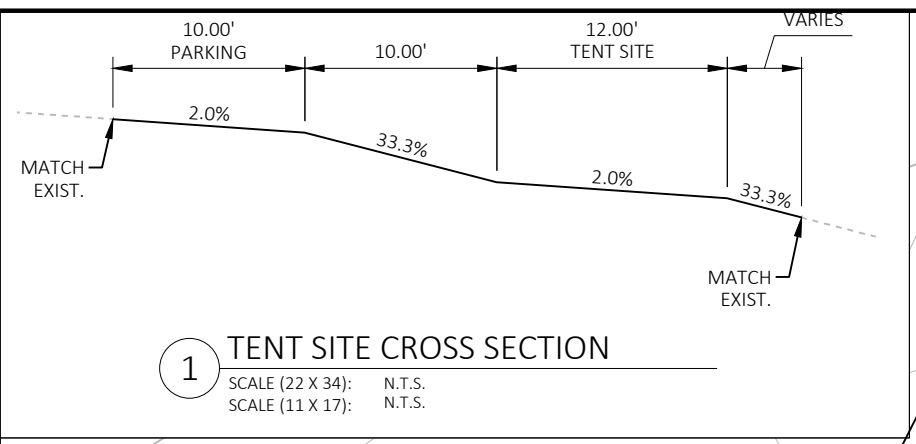
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PLOT DATE: Oct 24, 2023 - 03:22pm



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| NO. | | DATE | | REVISIONS | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| DRAWN BY | | DATE | | REVISIONS | | DRAWN BY NJG | CHECKED BY NKH | | CITY OF WASHBURN, BAYFIELD COUNTY | WATER CONNECTION TO EXIST. DETAIL |
| ISSUE DATE | | DATE | | REVISIONS | | ISSUE DATE 10/24/2023 | APPROVED BY NKH | | | SHEET 11 |

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| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
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| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

COOPER ENGINEERING

2600 COLLEGE DRIVE, P.O. BOX 230
 RICE LAKE, WISCONSIN 54868-0230
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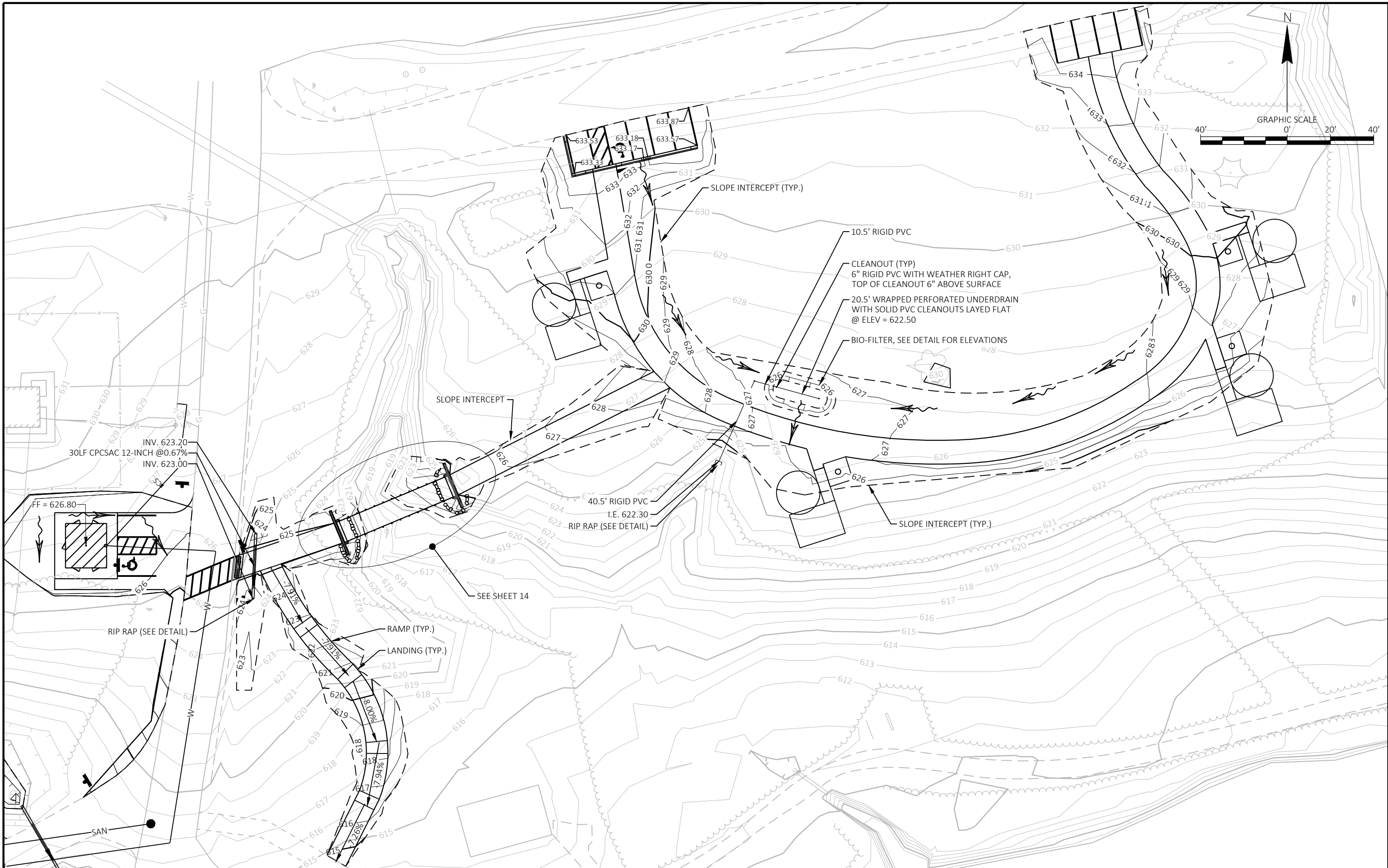
CITY OF WASHBURN
 CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
 RV AREA GRADING PLAN
 SHEET 12

PLOT DATE: Oct 24, 2023 - 03:22pm

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PLOT DATE: Oct 24, 2023 - 03:23pm



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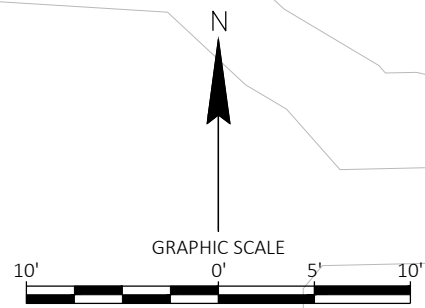
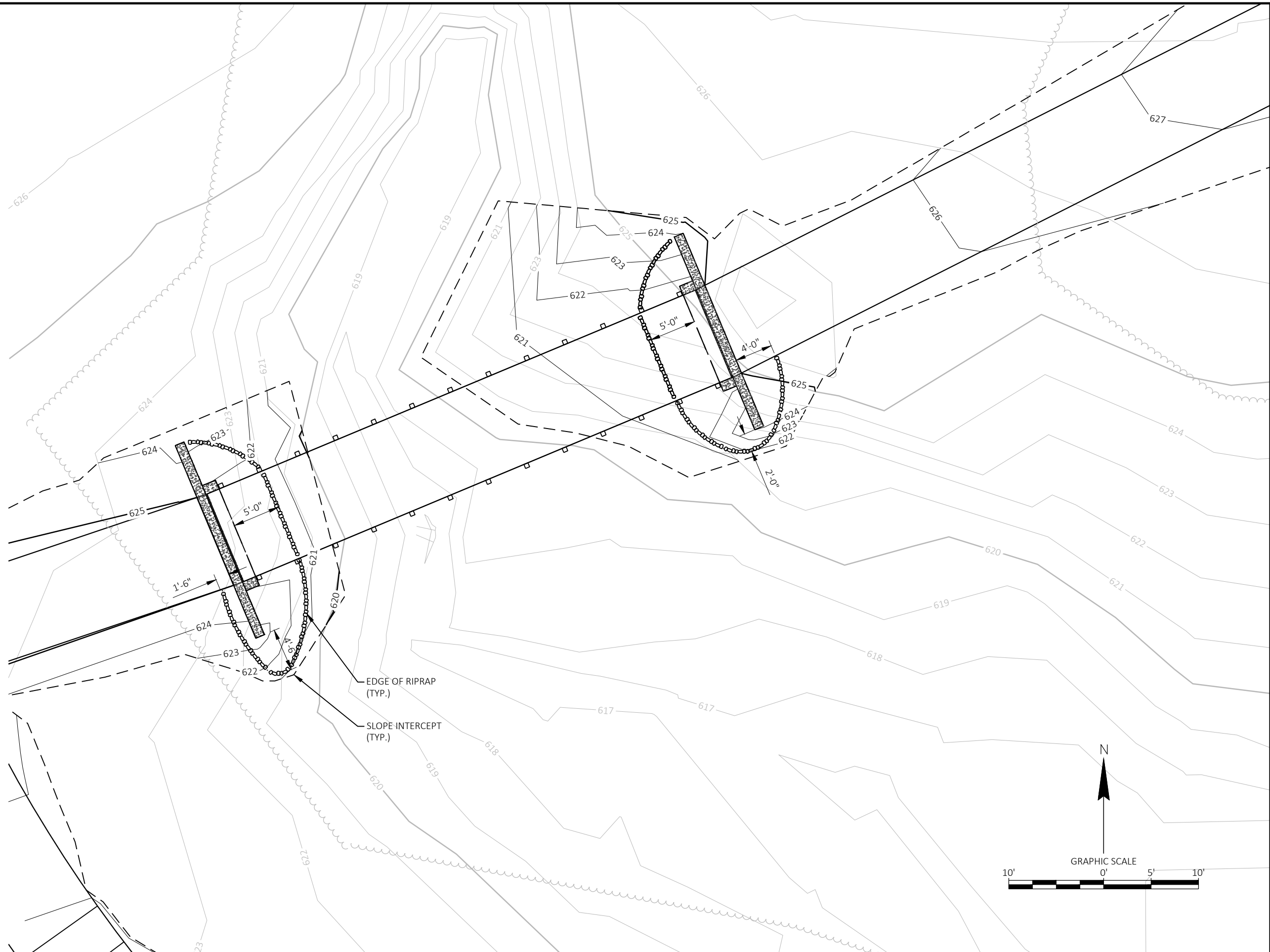
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| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

COOPER ENGINEERING
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CITY OF WASHBURN
 CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
 YURT AREA GRADING PLAN

SHEET 13



| NO. | BY | DATE | REVISIONS |
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| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

COOPER ENGINEERING
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 RICE LAKE, WISCONSIN 54868-0230
 TELEPHONE (715) 234-7008
 FAX (715) 234-1025

CITY OF WASHBURN
 CITY OF WASHBURN, BAYFIELD COUNTY

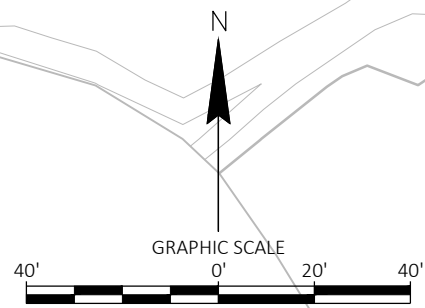
THOMPSON'S WEST END PARK
 BRIDGE GRADING PLAN

SHEET 14

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PLOT DATE: Oct 24, 2023 - 03:23pm

NOTES:
SEED AND EROSION MAT ALL DISTURBED AREAS WITH URBAN CLASS I TYPE B EROSION MAT AS SOON AS POSSIBLE AFTER REACHING FINISH GRADE



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| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

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 RICE LAKE, WISCONSIN 54868-0230
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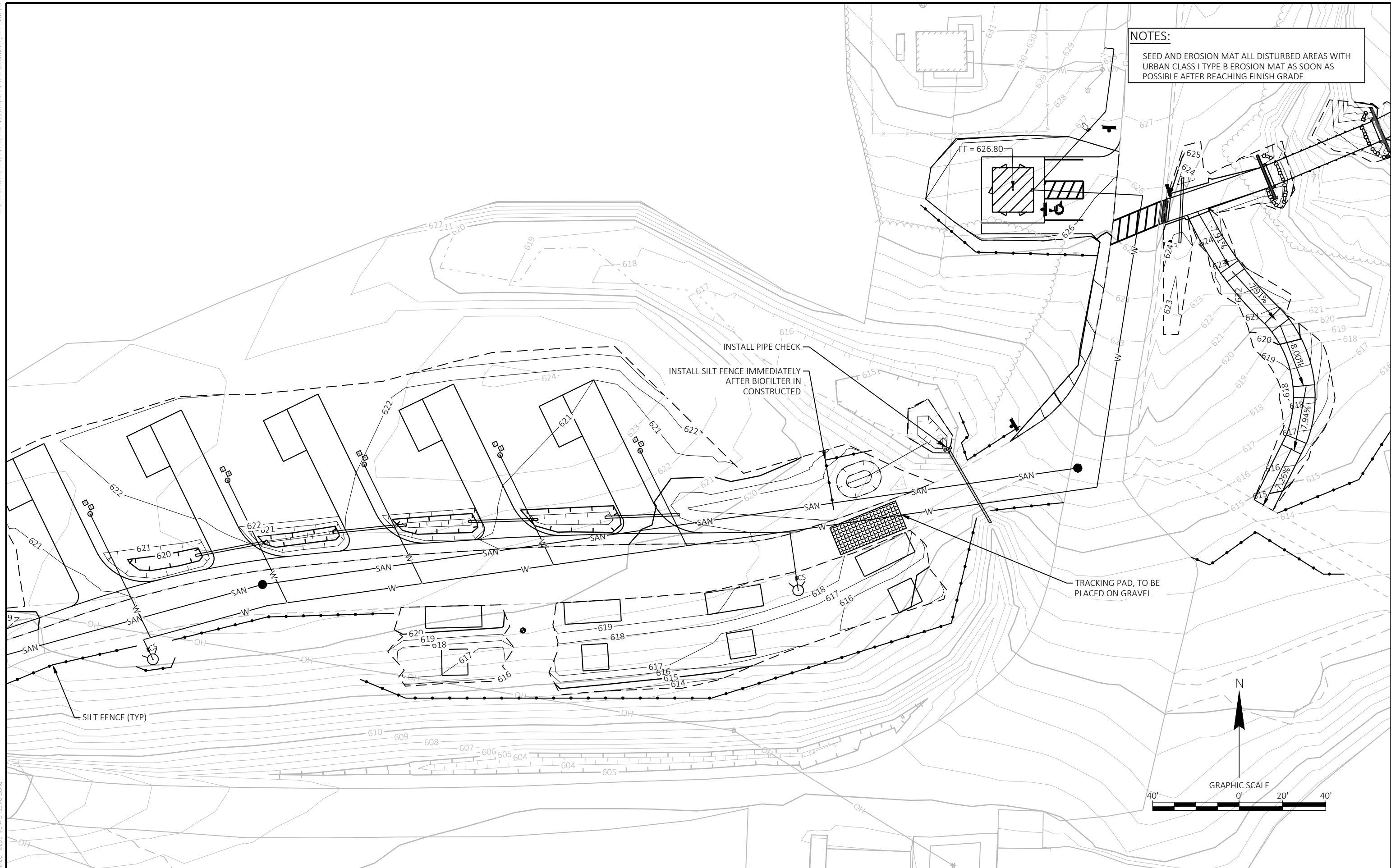
CITY OF WASHBURN
 CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
 EROSION CONTROL PLAN

SHEET 15

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NOTES:
 SEED AND EROSION MAT ALL DISTURBED AREAS WITH URBAN CLASS I TYPE B EROSION MAT AS SOON AS POSSIBLE AFTER REACHING FINISH GRADE



PLOT DATE: Oct 24, 2023 - 03:23pm

| NO. | BY | DATE | REVISIONS |
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| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

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 CITY OF WASHBURN, BAYFIELD COUNTY

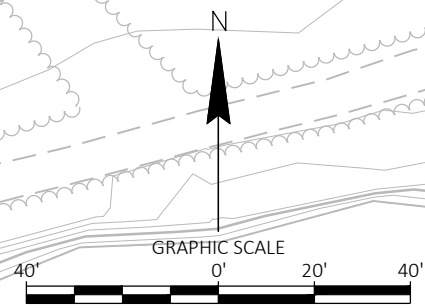
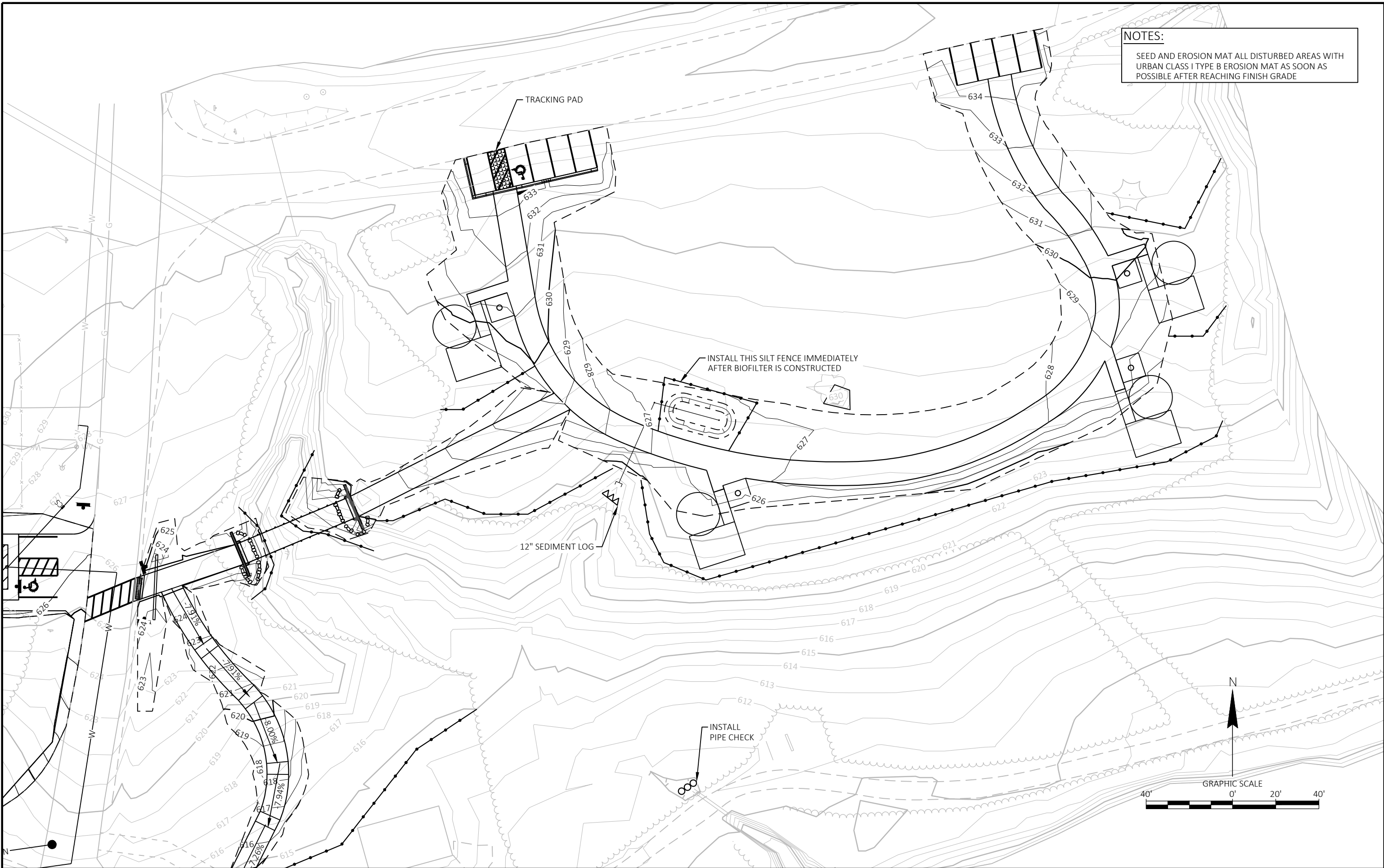
THOMPSON'S WEST END PARK
 EROSION CONTROL PLAN

SHEET 16

G:\2023-proj\23290077\3d\Sheets\SHEETS_GradingAndErosionControl.dwg

PLOT DATE: Oct 24, 2023 - 03:23pm

NOTES:
SEED AND EROSION MAT ALL DISTURBED AREAS WITH URBAN CLASS I TYPE B EROSION MAT AS SOON AS POSSIBLE AFTER REACHING FINISH GRADE



| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |

CEC PROJECT NO.
23290077
DRAWN BY NJG
ISSUE DATE 10/24/2023

PROJECT MANAGER
NICOLE HODKIEWICZ, P.E.
CHECKED BY NKH
APPROVED BY NKH

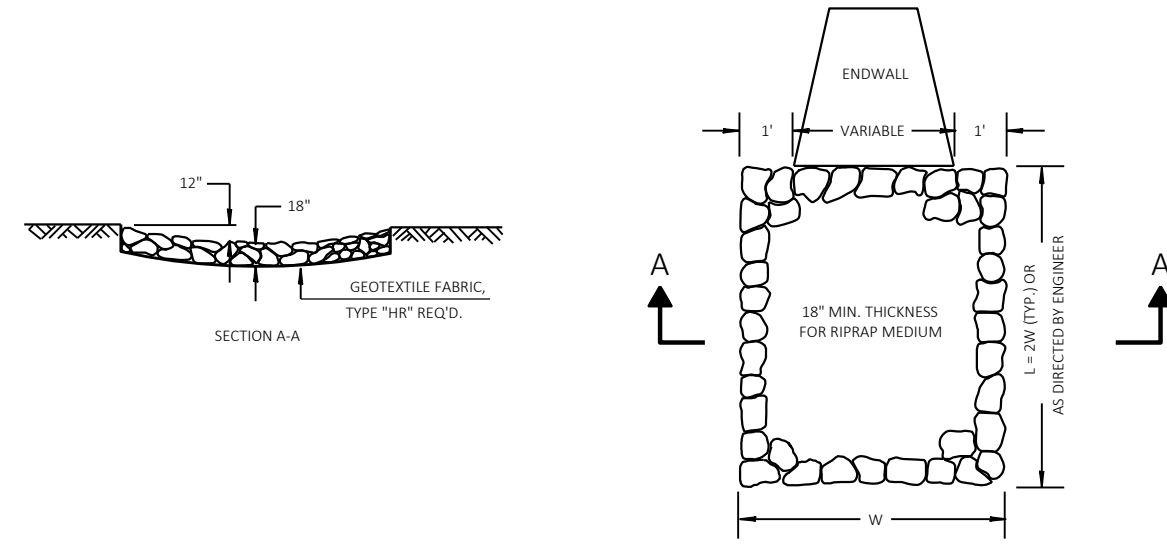


2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025


CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
EROSION CONTROL PLAN

SHEET 17



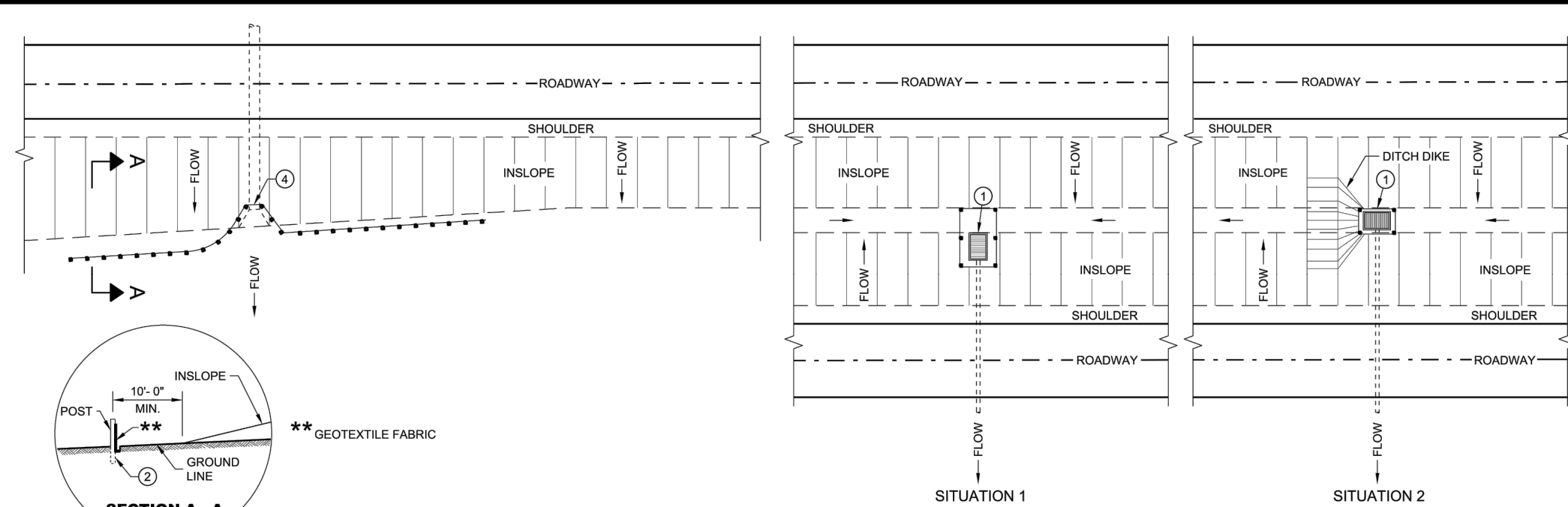
RIPRAP LIGHT TREATMENT AT CULVERTS
FOR BIOFILTER UNDERDRAINS

| | | | | | | | |
|-----------|----|------|-----------------------------|-----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |  2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | DRAWN BY NJG | CHECKED BY NKH | | CITY OF WASHBURN, BAYFIELD COUNTY | EROSION CONTROL DETAILS |
| REVISIONS | | | ISSUE DATE 10/24/2023 | APPROVED BY NKH | | | |

G:\2023\proj\2329007\23d\Sheets\SHEETS_FIG_Details.dwg



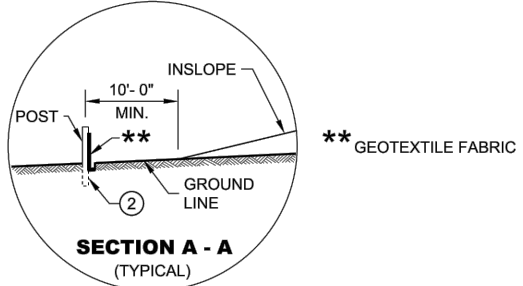
SDD 08E09 Silt Fence



GENERAL NOTES

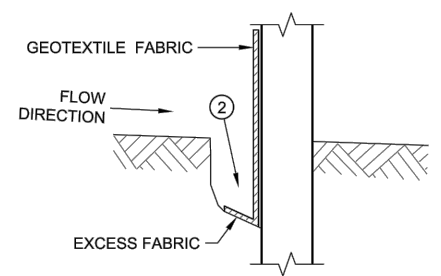
DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

- ① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- ② FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
- ④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- ⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

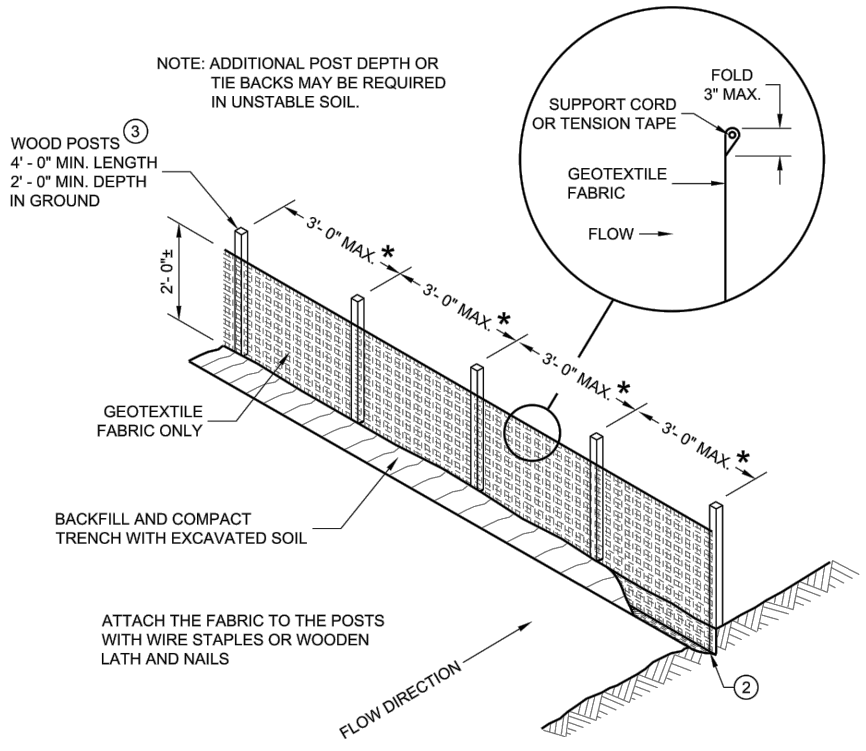


**PLAN VIEW
TYPICAL APPLICATION OF SILT FENCE**

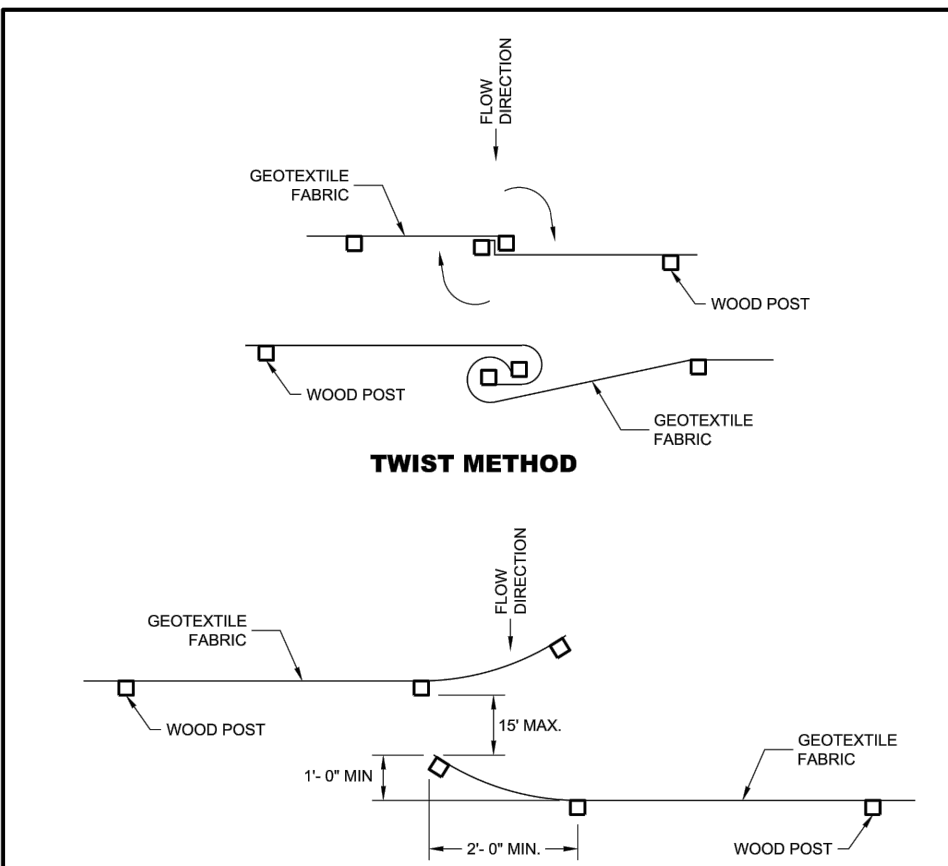
**PLAN VIEW
SILT FENCE AT MEDIAN SURFACE DRAINS**



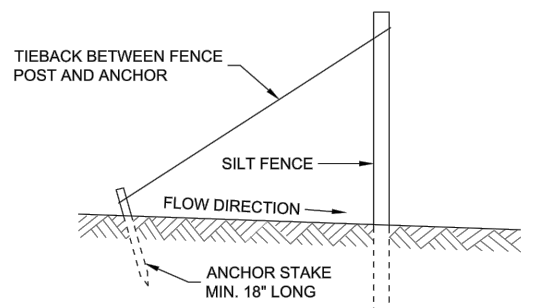
TRENCH DETAIL



SILT FENCE



JOINING TWO LENGTHS OF SILT FENCE



**SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)**

| | |
|----------------------------------------------------|-------------------------------------------------------------|
| SILT FENCE | |
| STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION | |
| APPROVED 4/29/05 DATE | /S/ Beth Cannestra CHIEF ROADWAY DEVELOPMENT ENGINEER |
| <small>FHWA</small> | |

6

6

SDD 08E09 - 06

SDD 08E09 - 06

PLOT DATE: Oct 24, 2023 - 03:23pm

| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |

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|-----------------------------|--------------------------------------------|
| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

COOPER ENGINEERING

2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
EROSION CONTROL DETAILS

G:\2023\proj\2329007\3d\Sheets\SHEETS_ECG_Details.dwg



SDD 08E14 Tracking Pad

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

TRACKING PAD SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

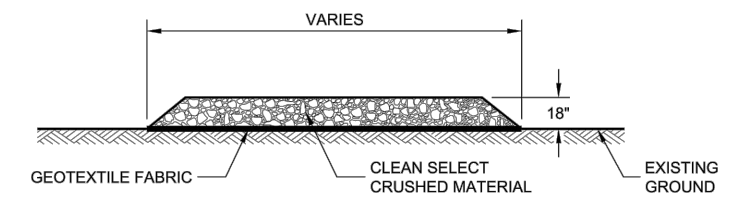
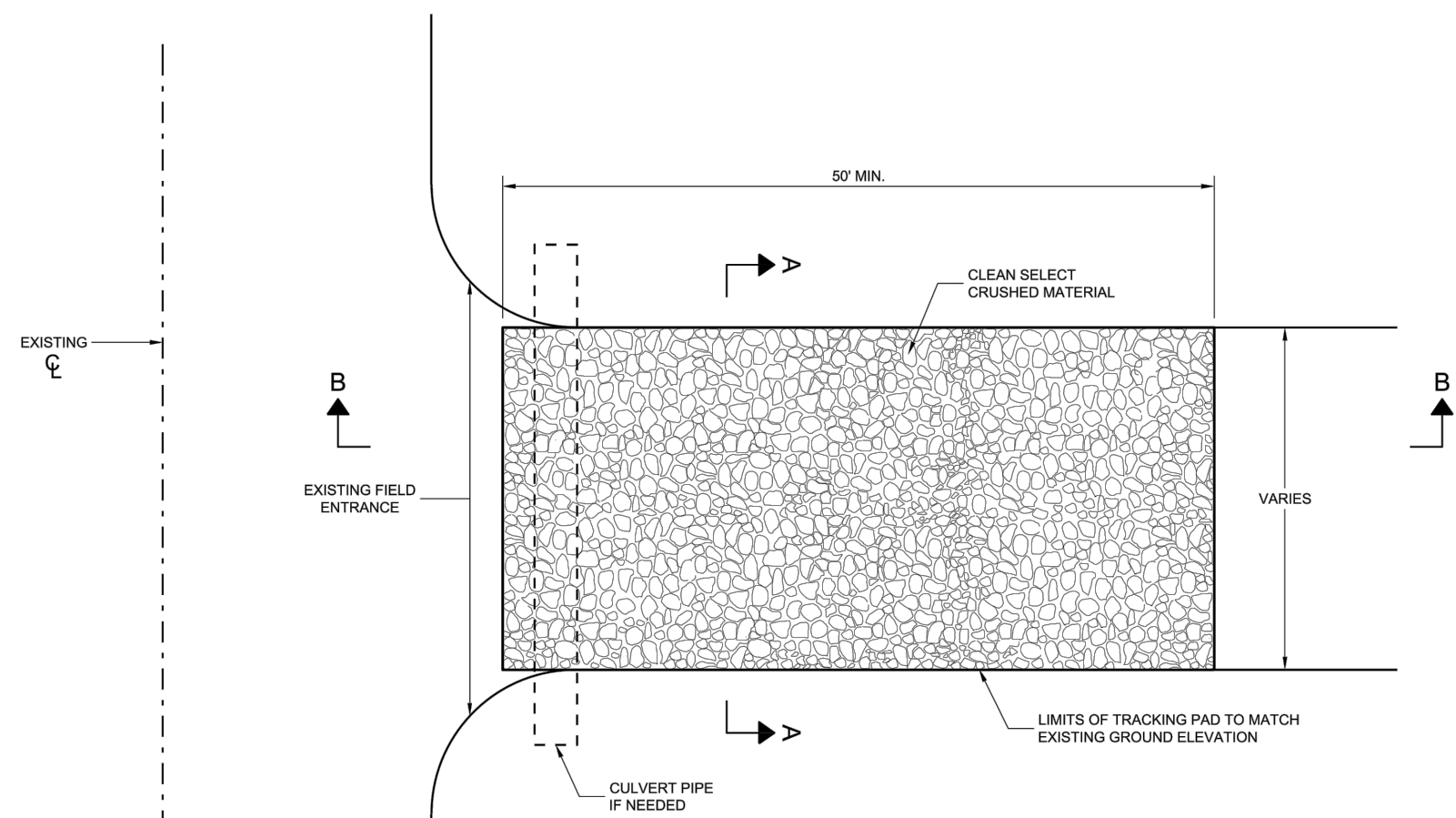
TRACKING PAD TO BE REMOVED AFTER CONSTRUCTION IS COMPLETED.

TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT.

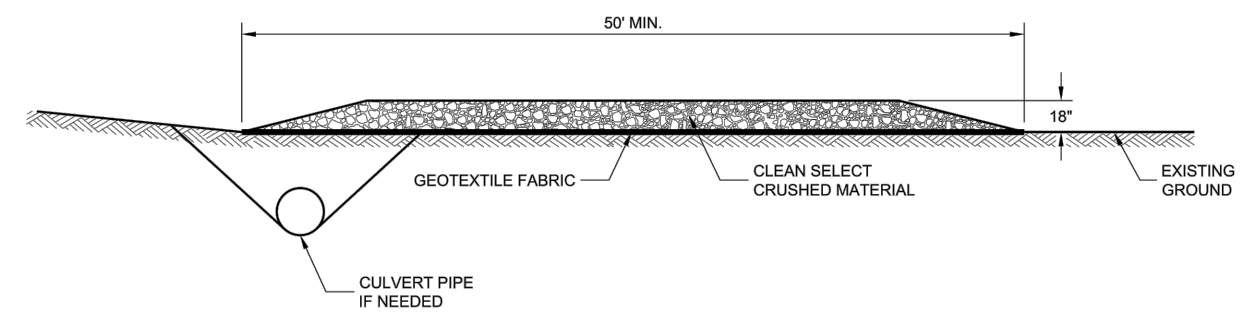
SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY, AROUND OR CONVEYED UNDER THE TRACKING PAD.

CULVERT PIPE OR OTHER BMP USED TO DIVERT WATER AWAY, AROUND OR UNDER THE TRACKING PAD SHALL BE DESIGNED TO CONVEY THE 2 YEAR - 24 HOUR EVENT.

THE COST OF ADDITIONAL BMP TO DIVERT WATER ARE INCIDENTAL TO THE TRACKING PAD BID ITEM.



SECTION A - A



SECTION B - B

6

6

SDD 08E14 - 01

SDD 08E14 - 01

| TRACKING PAD | |
|----------------------------------------------------|----------------------------------------------------------------|
| STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION | |
| APPROVED 3/24/2011 DATE | /s/ Jerry H. Zogg ROADWAY STANDARDS DEVELOPMENT ENGINEER |

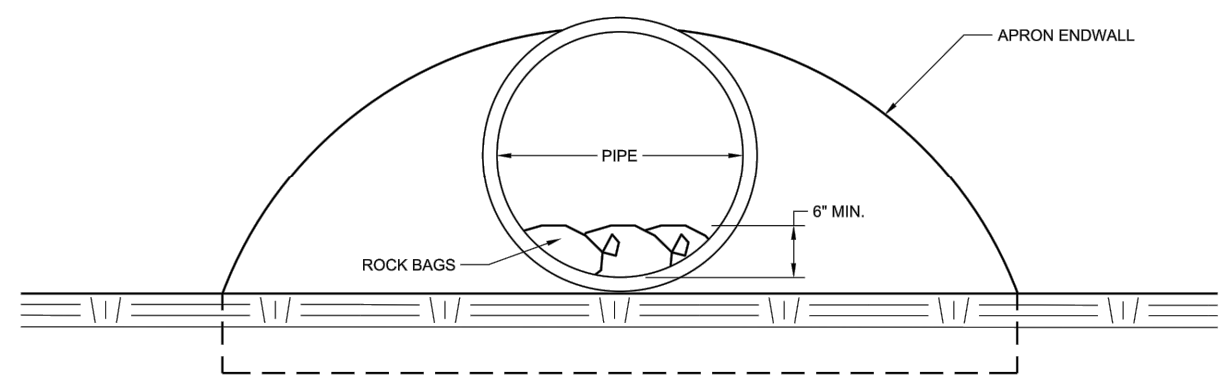
| | | | | | | | | |
|-----|----|------|-----------|-----------------------------|--------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| NO. | BY | DATE | REVISIONS | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| | | | | DRAWN BY NJG | CHECKED BY NKH | | CITY OF WASHBURN, BAYFIELD COUNTY | EROSION CONTROL DETAILS |
| | | | | ISSUE DATE 10/24/2023 | APPROVED BY NKH | | | SHEET 20 |

PILOT DATE: Oct 24, 2023 - 03:23pm

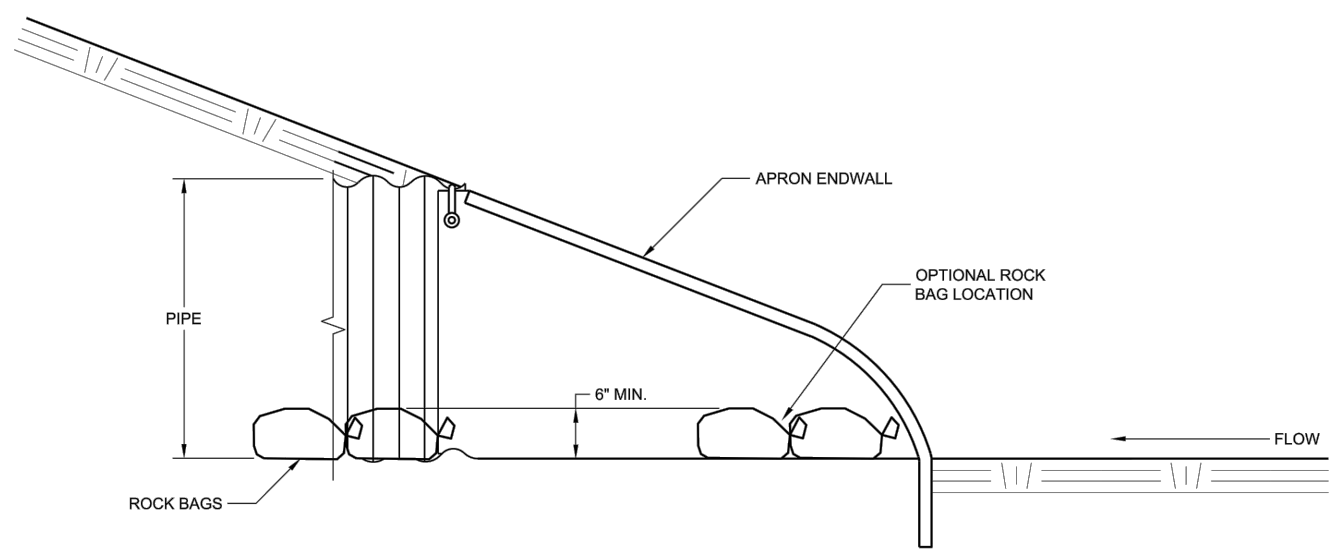
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SDD 08E15 Culvert Pipe Check



END VIEW



SIDE VIEW

CULVERT PIPE CHECK
(INSTALL ON INLET END ONLY)

| | |
|----------------------------------------------------|-----------------------------------------------|
| CULVERT PIPE CHECK | |
| STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION | |
| APPROVED May 2019 DATE | /s/ Daniel Schave EROSION CONTROL ENGINEER |

6

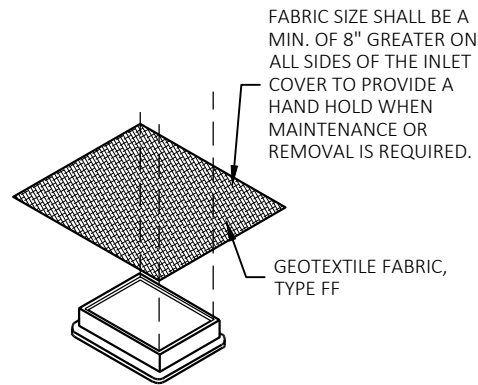
6

SDD 08E15 - 01

SDD 08E15 - 01

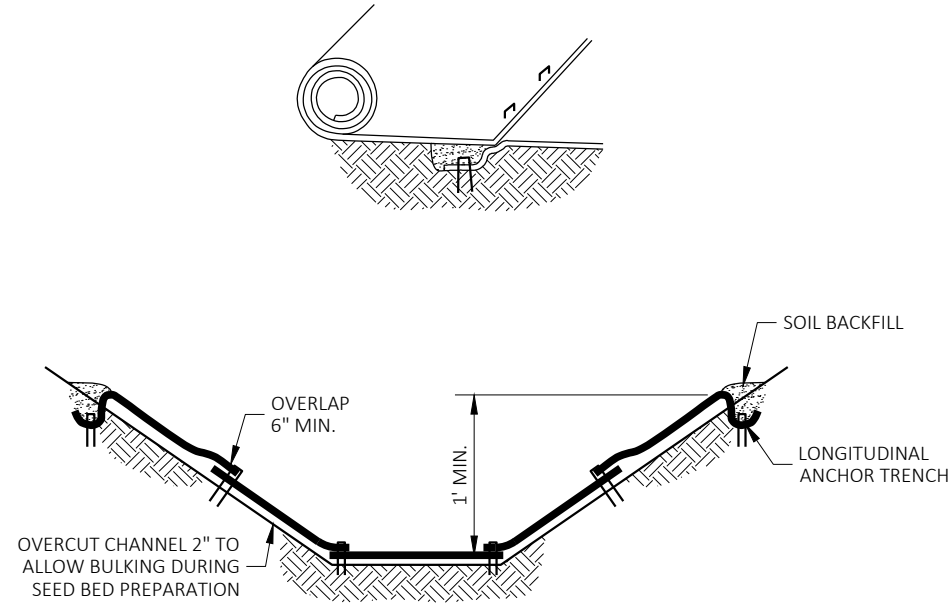
PLOT DATE: Oct 24, 2023 - 03:23pm

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|-----|----|------|-----------|------------|-------------|-----------------------------|--------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| NO. | | DATE | | REVISIONS | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | REVISIONS | ISSUE DATE | APPROVED BY | 10/24/2023 | NKH | | CITY OF WASHBURN, BAYFIELD COUNTY | EROSION CONTROL DETAILS |

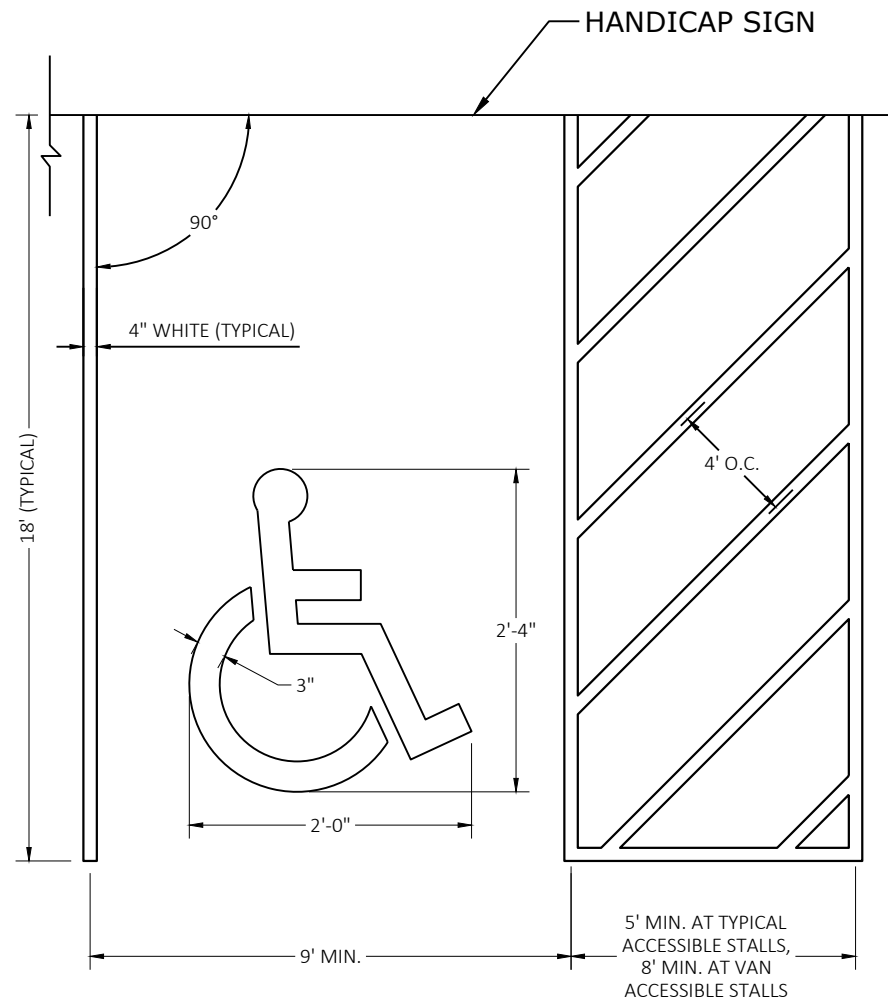
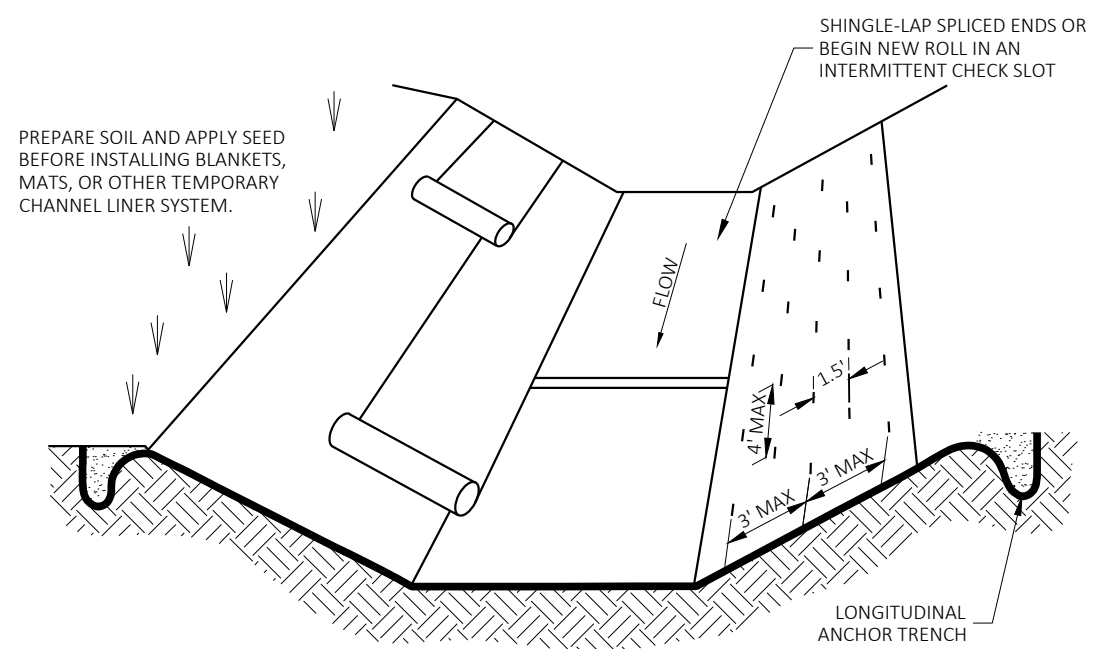


NOTE: WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INLET PROTECTION, TYPE B
NOT TO SCALE



EROSION BLANKET INSTALLATION
NOT TO SCALE



ADA PAVEMENT MARKING
NOT TO SCALE

EROSION CONTROL NOTES

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. THE OWNER RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
8. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING TO EITHER (A) THE SEDIMENT BASIN/TRAP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY FITTING HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
9. INSTALL AND MAINTAIN SILT FENCE PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
10. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES AND SEDIMENT LOGS (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
11. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
12. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH ANNUAL OATS OR ANNUAL RYE. AFTER OCTOBER 15, STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
13. STABILIZE AREAS OF FINAL GRADING THE DAY OF REACHING FINAL GRADE. DO NOT LEAVE BARE SOIL AT THE END OF DAY.
14. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
15. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
16. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING WATER OR STORM SEWERS.
17. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANNING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
18. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), AS APPROPRIATE.
19. SEED ALL DISTURBED AREAS WITH WISDOT SEED MIXTURE # 40 (TURF GRASS) AT A RATE OF 2 LBS./1,000 S.F.
20. PLACE EROSION MAT ON ALL SLOPED SEEDED AREAS AND MULCH ON ALL FLAT SEEDED AREAS.
21. REMOVE SILT FENCE AND TRACKING PAD ONCE SITE IS STABILIZED WITH VEGETATION. LEAVE REMAINING EROSION CONTROL DEVICES IN PLACE PERMANENTLY.

EROSION CONTROL NOTES

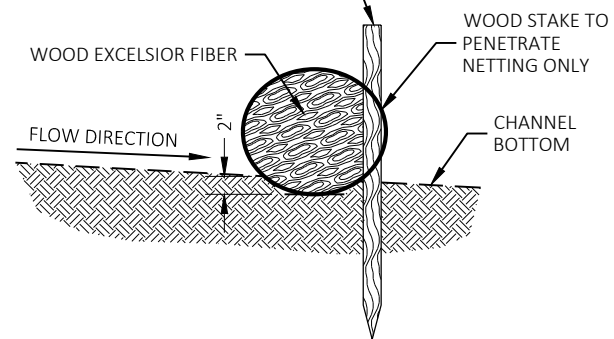
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| NO. | BY | DATE | REVISIONS |
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|-----------------------------|--------------------------------------------|
| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

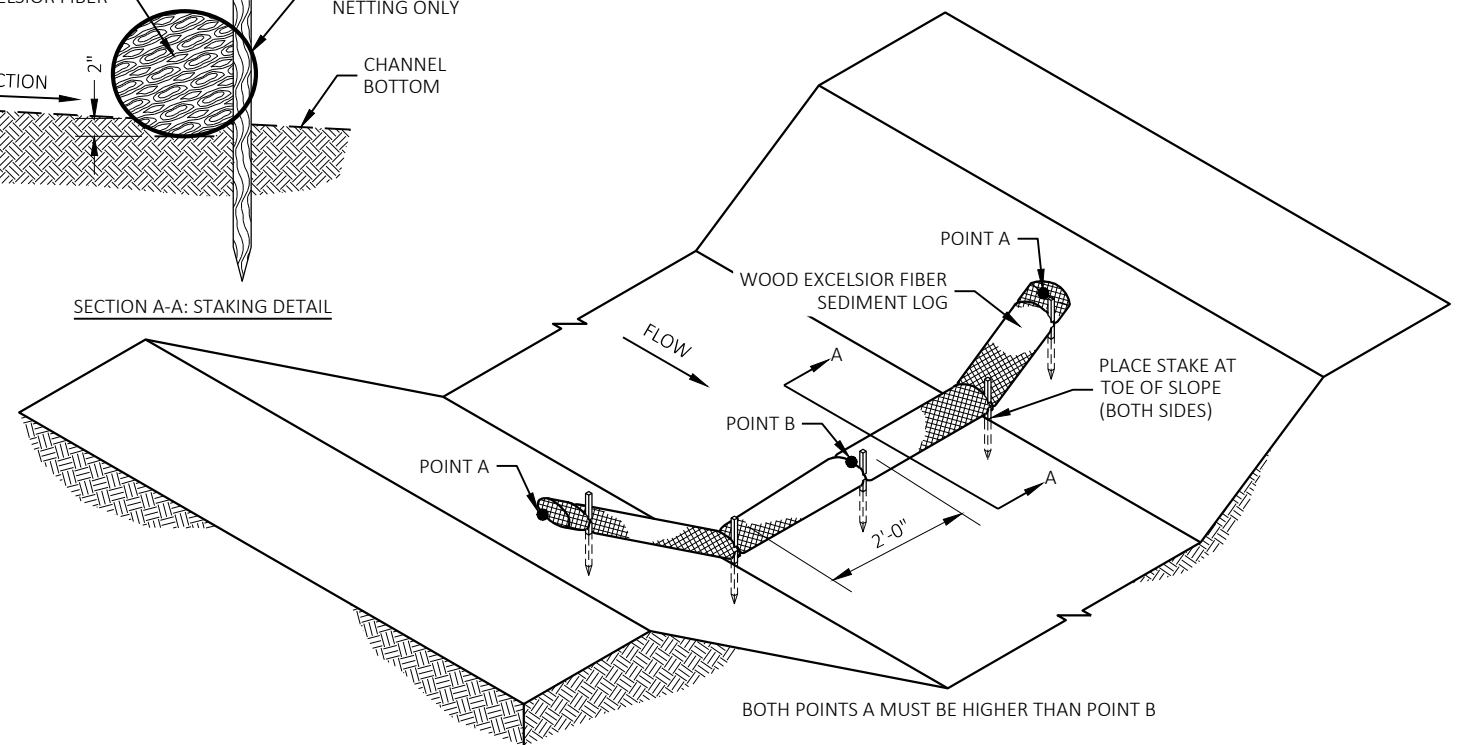
COOPER ENGINEERING
2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

| | |
|-----------------------------------|--------------------------|
| CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| CITY OF WASHBURN, BAYFIELD COUNTY | EROSION CONTROL DETAILS |
| | SHEET 22 |

1" DIAMETER STAKE SHALL EXTEND
A MINIMUM OF 16" INTO GROUND
AND PROTRUDE NO MORE THAN 6"
ABOVE TOP OF LOG



SECTION A-A: STAKING DETAIL



SEDIMENT LOG DITCH CHECK DETAIL
NOT TO SCALE

| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |

| |
|-----------------------------|
| CEC PROJECT NO. 23290077 |
| DRAWN BY NJG |
| ISSUE DATE 10/24/2023 |

| |
|-----------------------------------------------|
| PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| CHECKED BY NKH |
| APPROVED BY NKH |



2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

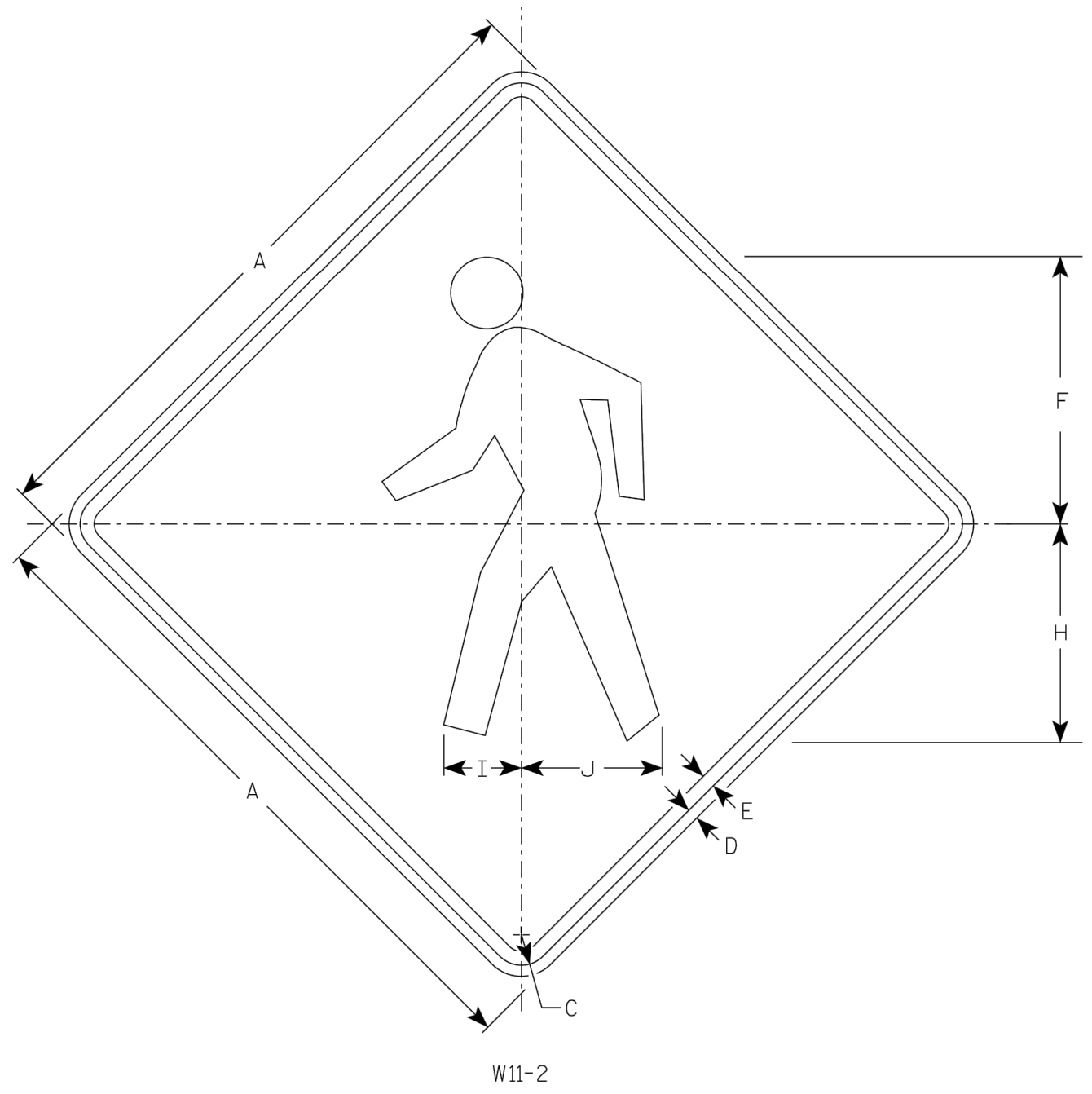
CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
EROSION CONTROL DETAILS

SHEET 23

NOTES

1. Sign is Type II - Type F Reflective
2. Color:
 Background - Yellow
 Message - Black



W11-2

| SIZE | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z | Area sq. ft. |
|------|----|---|-------|-----|-----|--------|---|--------|-------|--------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|-----------------|
| 1 | 24 | | 1 1/8 | 3/8 | 1/2 | 9 3/4 | | 7 7/8 | 2 7/8 | 5 1/8 | | | | | | | | | | | | | | | | | 4.0 |
| 2S | 30 | | 1 3/8 | 1/2 | 5/8 | 12 1/8 | | 9 7/8 | 3 1/2 | 6 3/8 | | | | | | | | | | | | | | | | | 6.25 |
| 2M | 36 | | 1 5/8 | 5/8 | 3/4 | 14 1/2 | | 11 7/8 | 4 1/4 | 7 5/8 | | | | | | | | | | | | | | | | | 9.0 |
| 3 | 36 | | 1 5/8 | 5/8 | 3/4 | 14 1/2 | | 11 7/8 | 4 1/4 | 7 5/8 | | | | | | | | | | | | | | | | | 9.0 |
| 4 | 48 | | 2 1/4 | 3/4 | 1 | 19 3/8 | | 15 3/4 | 5 5/8 | 10 1/4 | | | | | | | | | | | | | | | | | 16.0 |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | |

STANDARD SIGN
W11-2

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R Rauch*
 For State Traffic Engineer

DATE 4/8/2020 PLATE NO. W11-2.8

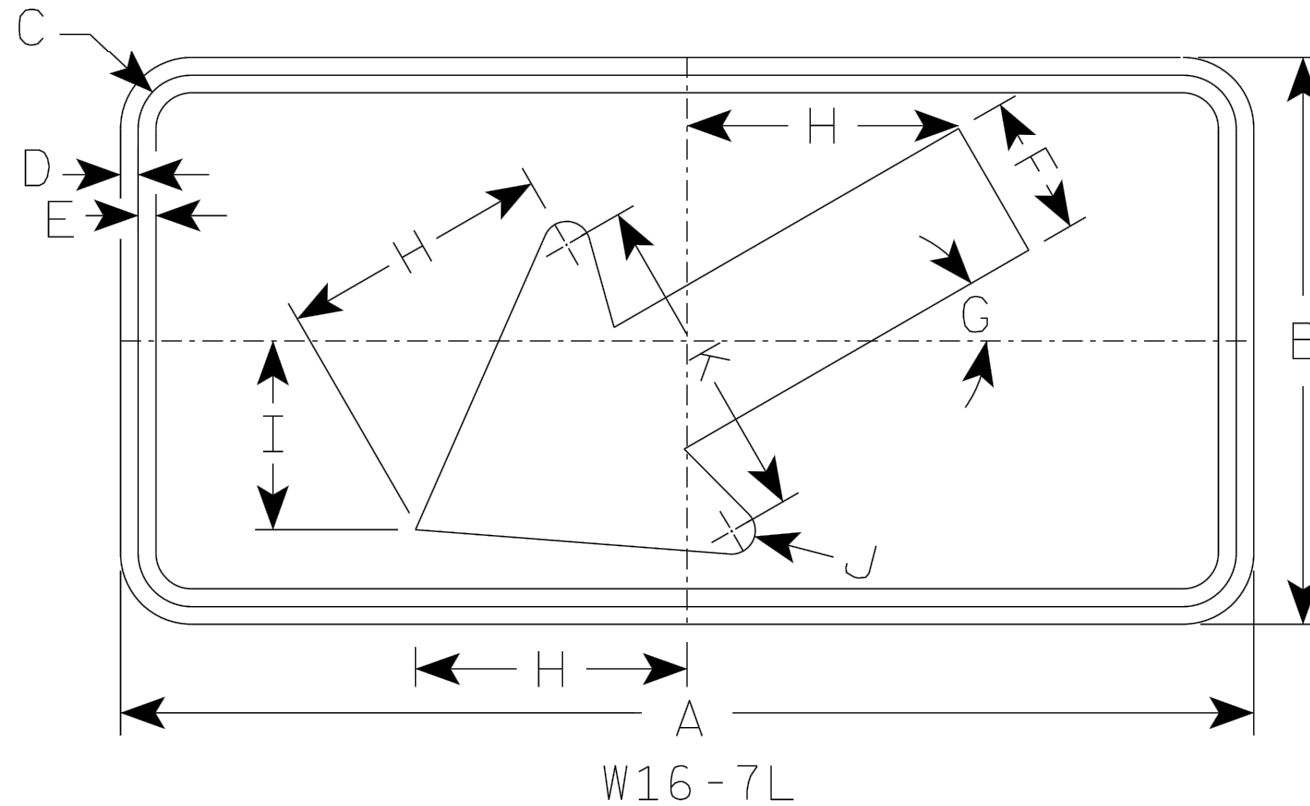
PROJECT NO: _____ HWY: _____ COUNTY: _____ SHEET NO: **E**

FILE NAME : C:\CAEFiles\Projects\tr_stdp\lateW112.DGN PLOT DATE : 08-APRIL-2020 PLOT BY : dotc4c PLOT NAME : THOMPSON'S WEST END PARK PLOT SCALE : WISDOT/CADDs SHEET 42

| | | | | | | | | | |
|-----|----|------|-----------|-----------------------------|--------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| NO. | BY | DATE | REVISIONS | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| | | | | ISSUE DATE 10/24/2023 | CHECKED BY NKH | | | CITY OF WASHBURN, BAYFIELD COUNTY | SIGN DETAILS |
| | | | | APPROVED BY NKH | | | | | SHEET 24 |

NOTES

1. Sign is Type II - Type F Reflective
2. Color:
Background - Yellow
Message - Black
3. W16-7R is the same as W16-7L
except the arrow is reversed along
the vertical centerline.



- * For 36" x 36" Warning Signs, use 30" x 18" W16-7L signs.
- * For 48" x 48" Warning Signs, use 48" x 24" W16-7L signs.

| SIZE | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z | Area sq. ft. |
|------|----|----|-------|-----|-----|-------|-----|--------|---|-----|--------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|-----------------|
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2S | 24 | 12 | 1 1/8 | 3/8 | 3/8 | 3 | 30° | 5 3/4 | 4 | 1/2 | 7 | | | | | | | | | | | | | | | | 2.0 |
| * 2M | 30 | 18 | 1 1/8 | 3/8 | 1/2 | 4 1/2 | 30° | 8 1/2 | 6 | 5/8 | 10 1/4 | | | | | | | | | | | | | | | | 3.75 |
| * 3 | 30 | 18 | 1 1/8 | 3/8 | 1/2 | 4 1/2 | 30° | 8 1/2 | 6 | 5/8 | 10 1/4 | | | | | | | | | | | | | | | | 3.75 |
| * 4 | 48 | 24 | 1 3/8 | 1/2 | 5/8 | 6 | 30° | 11 1/2 | 8 | 1 | 14 | | | | | | | | | | | | | | | | 8.0 |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | |

STANDARD SIGN
W16-7

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R Raub*
For State Traffic Engineer

DATE 3/16/2021 PLATE NO. W16-7.8

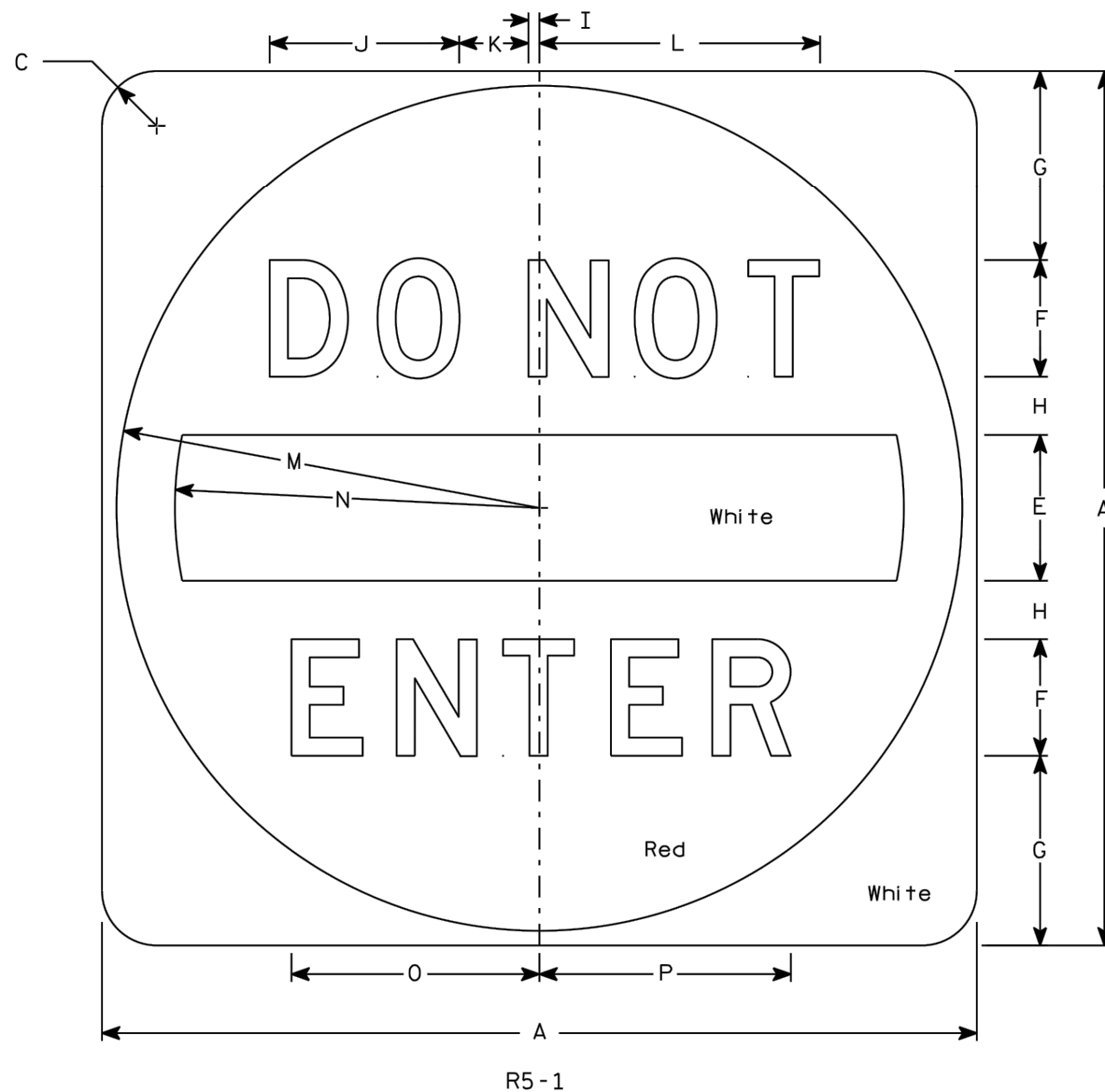
PROJECT NO: _____ HWY: _____ COUNTY: _____ SHEET NO: **E**

FILE NAME : C:\CAEfiles\Projects\tr_stdp\late\W167.dgn PLOT DATE : 16-MAR-2021 3:53 PLOT BY : dotc4c PLOT NAME : _____ PLOT SCALE : \$\$.plotscale. \$\$. WISDOT/CADDS SHEET 42

| | | | | | | | | | |
|-----|----|------|-----------|-----------------------------|--------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------|------------------|--------------------------|
| NO. | BY | DATE | REVISIONS | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| | | | | DRAWN BY NJG | CHECKED BY NKH | | CITY OF WASHBURN, BAYFIELD COUNTY | SIGN DETAILS | SHEET 25 |

NOTES

1. Sign is Type II - Type H Reflective
2. Color:
Background - See detail
Message - White
3. Message Series - D



7

7

| SIZE | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z | Area sq. ft. |
|------|----|---|-------|---|---|---|-------|-------|-----|-------|-------|--------|--------|--------|--------|--------|---|---|---|---|---|---|---|---|---|---|-----------------|
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2S | 30 | | 1 7/8 | | 5 | 4 | 6 1/2 | 2 | 3/8 | 6 1/2 | 2 3/8 | 9 5/8 | 14 1/2 | 12 1/2 | 8 1/2 | 8 5/8 | | | | | | | | | | | 6.25 |
| 2M | 36 | | 2 1/4 | | 6 | 5 | 7 1/2 | 2 1/2 | 1/2 | 8 1/8 | 3 | 12 1/8 | 17 1/2 | 15 | 10 5/8 | 10 3/4 | | | | | | | | | | | 9.0 |
| 3 | 36 | | 2 1/4 | | 6 | 5 | 7 1/2 | 2 1/2 | 1/2 | 8 1/8 | 3 | 12 1/8 | 17 1/2 | 15 | 10 5/8 | 10 3/4 | | | | | | | | | | | 9.0 |
| 4 | 36 | | 2 1/4 | | 6 | 5 | 7 1/2 | 2 1/2 | 1/2 | 8 1/8 | 3 | 12 1/8 | 17 1/2 | 15 | 10 5/8 | 10 3/4 | | | | | | | | | | | 9.0 |
| 5 | 48 | | 3 | | 8 | 6 | 11 | 3 | 5/8 | 9 3/4 | 3 5/8 | 14 1/2 | 23 1/2 | 20 | 12 3/4 | 12 7/8 | | | | | | | | | | | 16.0 |

PROJECT NO: _____ HWY: _____ COUNTY: _____ SHEET NO: **E**

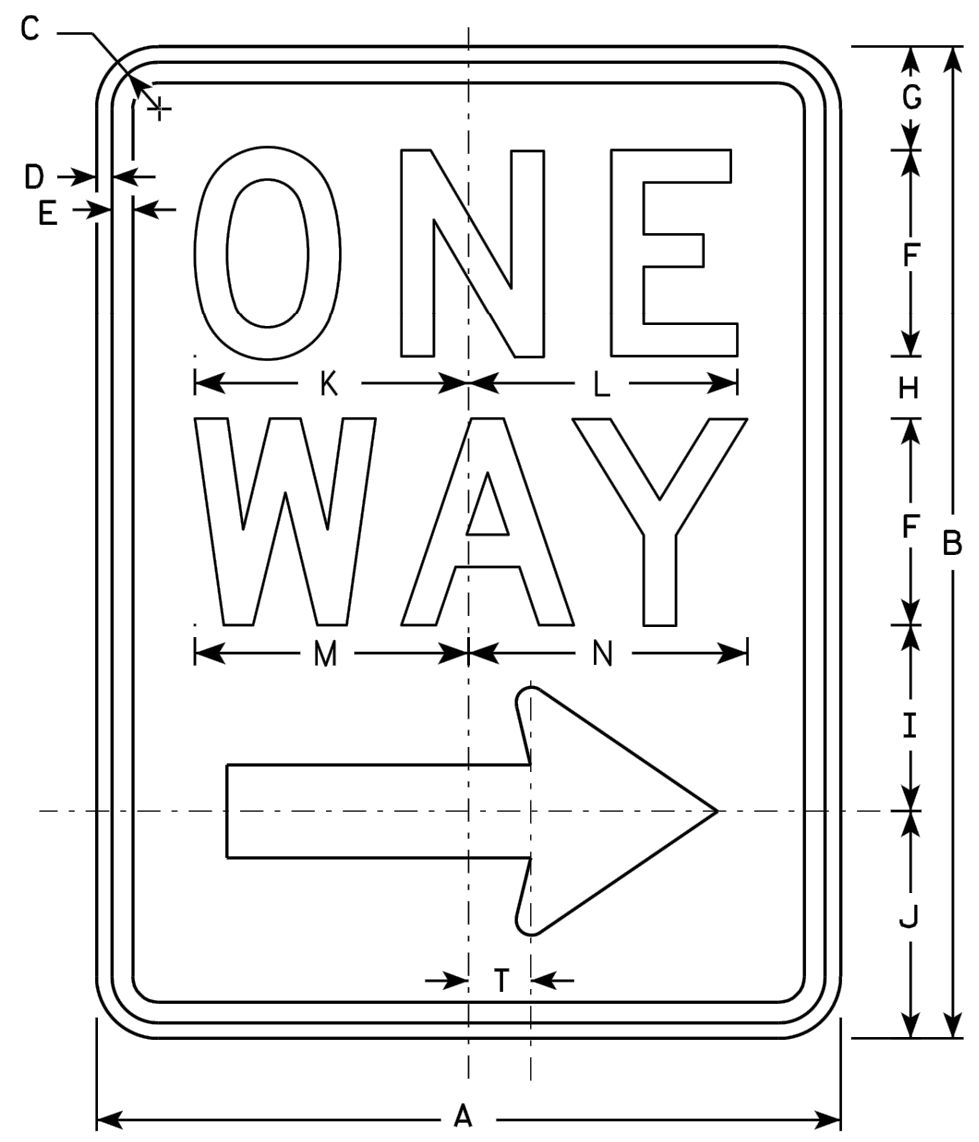
STANDARD SIGN
R5-1

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R. Rauch*
for State Traffic Engineer

DATE 3/15/18 PLATE NO. R5-1.16

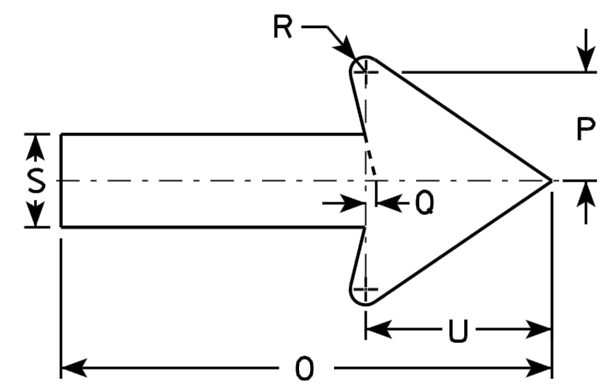
G:\2023\proj\2329007\3d\Sheet\SHETS_EG_Details.dwg



R6-2R

NOTES

1. Sign is Type II - Type H Reflective - reference WIS DOT Standard Specification for HIGHWAY and STRUCTURE CONSTRUCTION latest edition.
2. Color:
Background - White
Message - Black
3. Message Series - D
4. Corners may be square or rounded when base material is plywood but borders shall be rounded as shown. When base material is metal, the corners and borders shall be rounded.
5. R6-2L same as R6-2R except arrow points to the left.



7

7

| SIZE | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z |
|------|----|----|-------|-----|-----|----|-------|-------|-------|--------|--------|--------|--------|--------|--------|-------|-----|-----|-------|-------|-------|---|---|---|---|---|
| 1 | 18 | 24 | 1 1/8 | 3/8 | 1/2 | 5 | 2 1/2 | 1 1/2 | 4 1/2 | 5 1/2 | 6 5/8 | 6 1/2 | 6 5/8 | 6 3/4 | 11 7/8 | 2 5/8 | 1/4 | 3/8 | 2 1/4 | 1 1/2 | 4 1/2 | | | | | |
| 2S | 24 | 30 | 1 1/8 | 3/8 | 1/2 | 6 | 3 | 2 1/2 | 5 1/2 | 7 | 8 1/8 | 8 1/8 | 8 1/2 | 8 5/8 | 16 | 3 1/2 | 3/8 | 1/2 | 3 | 2 | 6 | | | | | |
| 2M | 30 | 36 | 1 3/8 | 1/2 | 5/8 | 8 | 2 1/2 | 2 5/8 | 6 7/8 | 8 | 10 1/2 | 10 1/2 | 11 1/4 | 11 1/4 | 20 | 4 3/8 | 1/2 | 5/8 | 3 3/4 | 2 1/2 | 7 1/2 | | | | | |
| 3 | 36 | 48 | 1 7/8 | 1/2 | 5/8 | 10 | 5 1/4 | 3 1/4 | 9 | 10 1/2 | 12 3/4 | 12 3/4 | 13 1/4 | 13 1/2 | 24 | 5 5/8 | 1/2 | 3/4 | 4 3/4 | 3 | 9 | | | | | |
| 4 | 36 | 48 | 1 7/8 | 1/2 | 5/8 | 10 | 5 1/4 | 3 1/4 | 9 | 10 1/2 | 12 3/4 | 12 3/4 | 13 1/4 | 13 1/2 | 24 | 5 5/8 | 1/2 | 3/4 | 4 3/4 | 3 | 9 | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | |

STANDARD SIGN
R6-2 R&L

WISCONSIN DEPT OF TRANSPORTATION

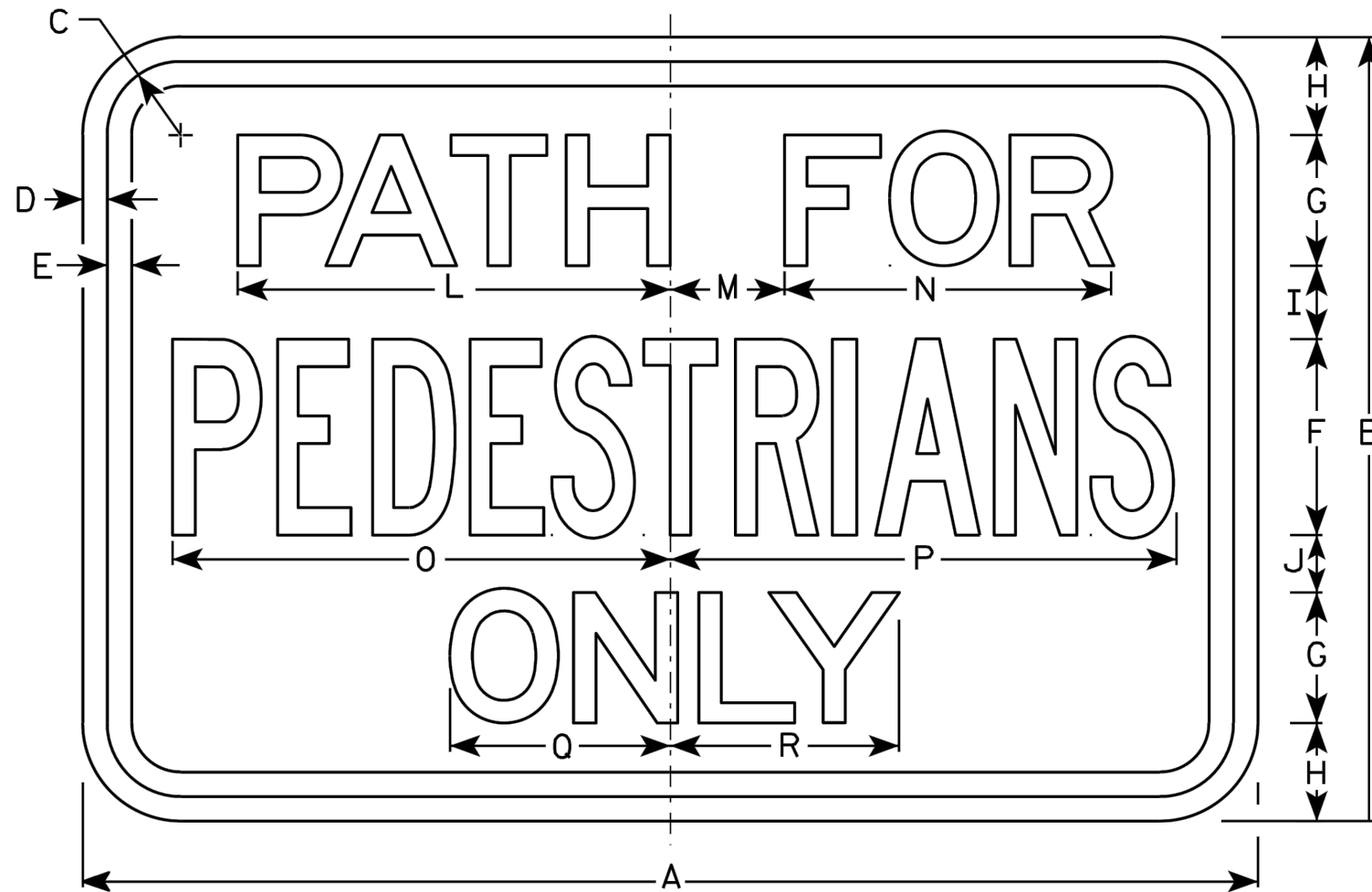
APPROVED *Matthew R. Rauch*
For State Traffic Engineer

DATE 11/2/10 PLATE NO. R6-2.8

PROJECT NO: _____ HWY: _____ COUNTY: _____ SHEET NO: **E**

NOTES

1. Sign is Type II - Type H Reflective - reference WIS DOT Standard Specification for HIGHWAY and STRUCTURE CONSTRUCTION latest edition.
2. Color:
Background - White
Message - Black
3. Message Series - See Note 5
4. Corners may be square or rounded when base material is plywood but borders shall be rounded as shown. When base material is metal, the corners and borders shall be rounded.
5. Lines 1 & 3 are Series E.
Line 2 is Series B.



R55-53

| SIZE | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z | Area sq. ft. |
|------|----|----|-------|-----|-----|---|---|-------|-------|-----|---|-------|-------|---|-------|-------|-------|-------|---|---|---|---|---|---|---|---|--------------|
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2S | 18 | 12 | 1 1/8 | 3/8 | 3/8 | 3 | 2 | 1 1/2 | 1 1/8 | 7/8 | | 6 5/8 | 1 3/4 | 5 | 7 5/8 | 7 3/4 | 3 3/8 | 3 1/2 | | | | | | | | | 1.50 |
| 2M | 18 | 12 | 1 1/8 | 3/8 | 3/8 | 3 | 2 | 1 1/2 | 1 1/8 | 7/8 | | 6 5/8 | 1 3/4 | 5 | 7 5/8 | 7 3/4 | 3 3/8 | 3 1/2 | | | | | | | | | 1.50 |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | |

STANDARD SIGN
R55-53

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R. Rauch*
for State Traffic Engineer

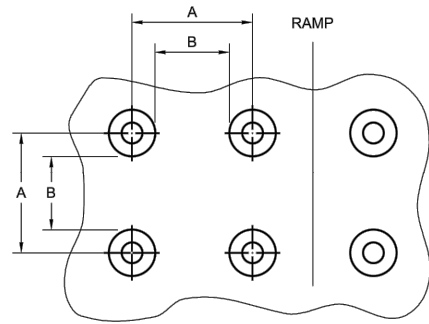
DATE 3/30/11 PLATE NO. R55-53.6

PROJECT NO: _____ HWY: _____ COUNTY: _____ SHEET NO: **E**

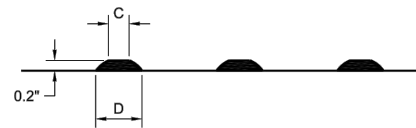
| | | | | | | | | |
|-----|----|------|-----------|----------------------------------------------------------------------|---------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|--------------------------|
| NO. | BY | DATE | REVISIONS | EEC PROJECT NO. 23290077 DRAWN BY NJG ISSUE DATE 10/24/2023 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. CHECKED BY NKH APPROVED BY NKH | COOPER ENGINEERING 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN THOMPSON'S WEST END PARK CITY OF WASHBURN, BAYFIELD COUNTY | SIGN DETAILS SHEET 28 |
|-----|----|------|-----------|----------------------------------------------------------------------|---------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|--------------------------|

| | MIN. | MAX. |
|----------|-------|------|
| A | 1.6" | 2.4" |
| B | 0.65" | 1.5" |
| C | * | * |
| D | 0.9" | 1.4" |

* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.

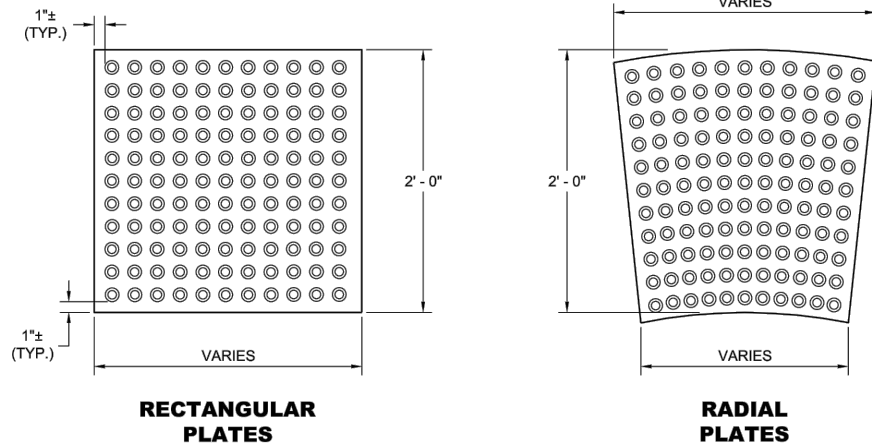


PLAN VIEW

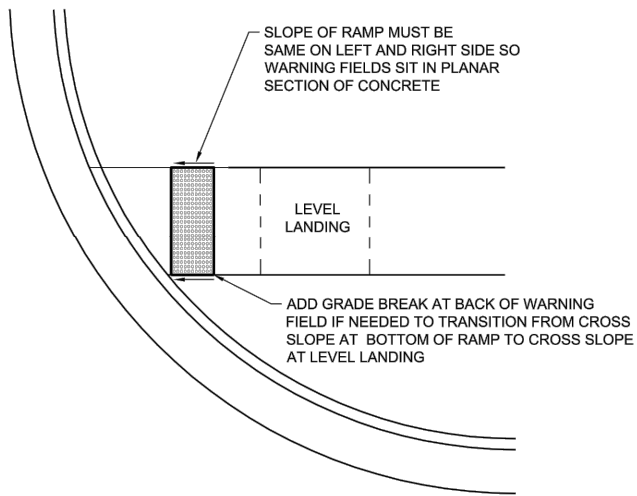


ELEVATION VIEW

**TRUNCATED DOMES
DETECTABLE WARNING PATTERN DETAIL**



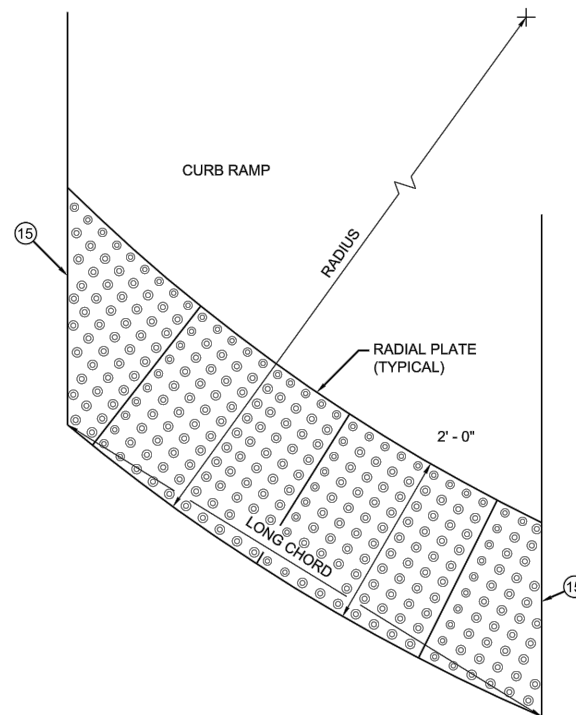
**PLAN VIEW
DETECTABLE WARNING FIELDS (TYPICAL)**



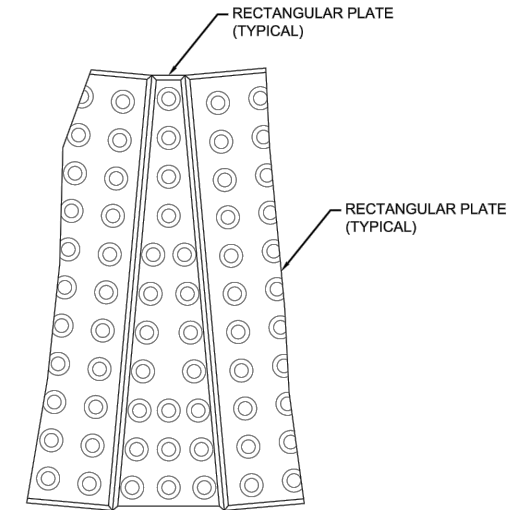
**DETECTABLE WARNING FIELD
PLANAR INSTALLATION**

GENERAL NOTES

- DETECTABLE WARNING FIELDS THAT ARE INSTALLED AT A CURB RAMP SHALL BE FROM THE SAME MANUFACTURER.
- PLACE ALL DETECTABLE WARNING FIELD SYSTEMS IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATION.
- FIELD CUTS AT INTERMEDIATE JOINTS WITHIN THE RADIAL DETECTABLE WARNING FIELD ARE PROHIBITED.
- DETERMINE FINAL RADIAL WARNING FIELD CONFIGURATION AND ITS INDIVIDUAL PLATE LOCATIONS. PERFORM PRE-LAYOUT PRIOR TO PLACEMENT IN PLASTIC CONCRETE. FOLLOW MANUFACTURER'S PRODUCT LIST AND INSTALLATION RECOMMENDATIONS.
- FOR RADIAL DETECTABLE WARNING FIELD APPLICATIONS WHERE STANDARD RADIAL PLATES ARE NOT AVAILABLE AT AN INTERSECTION CURB RADIUS, A COMBINATION OF SQUARE OR RECTANGULAR PLATES AND RADIAL PLATES MAY BE USED TO FORM RADIAL CONFIGURATION. RADIAL WEDGE PLATES IN COMBINATION WITH SQUARE PLATES ARE ALSO ACCEPTABLE. FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- REFER TO CONTRACT AND STANDARD SPECIFICATIONS FOR FIELD CUTTING REQUIREMENTS.
- DO NOT EMBED IN CONCRETE ANY FIELD-CUT PLATES WITH CUT EDGES SHORTER THAN 6 INCHES. CONSULT WITH MANUFACTURER FOR RE-DRILLING AND ANCHORING REQUIREMENTS OF FIELD-CUT PLATES.
- FIELD SAW CUTS ALONG RADIAL DETECTABLE WARNING PLATES WILL BE NECESSARY TO MATCH EACH CURB RAMP EDGE. AVOID CUTTING THROUGH DOMES WHENEVER POSSIBLE. MAKE FIELD CUTS TRUE TO LINE AND WITHIN 1/8" DEVIATION. SMOOTH EDGES OF FIELD CUT PLATES.



**PLAN VIEW
RADIAL DETECTABLE
WARNING FIELD ATTRIBUTES**



**PLAN VIEW
RADIAL WEDGE PLATE
CONNECTION DETAIL**

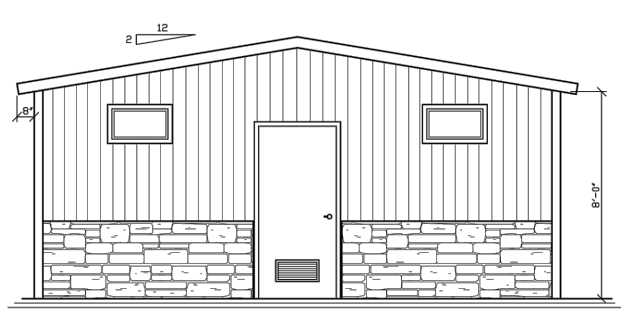
| CURB RAMPS RECTANGULAR AND RADIAL DETECTABLE WARNING PLATES | |
|----------------------------------------------------------------------------|-----------------------------------------------------------------------|
| STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION | |
| APPROVED July 2023 DATE | /S/ Rodney Taylor ROADWAY STANDARDS DEVELOPMENT UNIT SUPERVISOR |
| FHWA | |

6

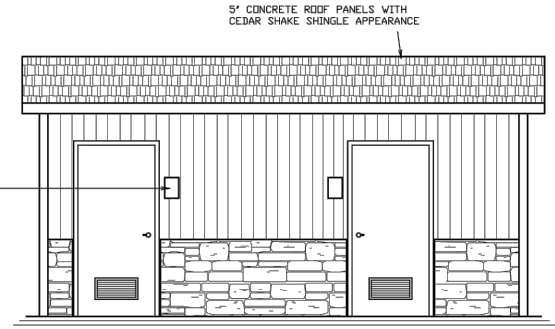
6

SDD 08D05-219

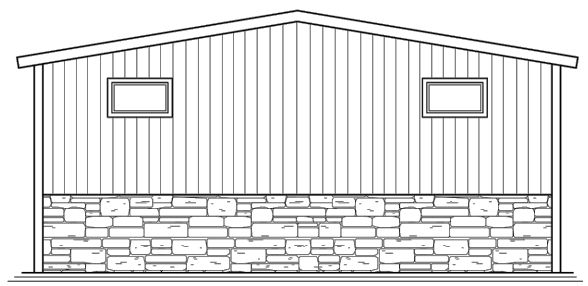
SDD 08D05-219



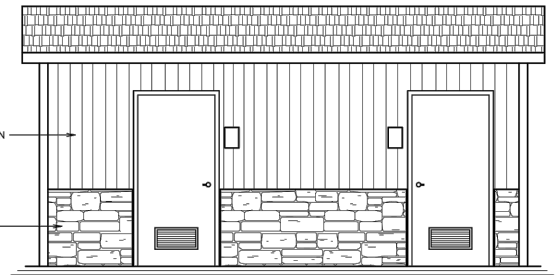
LEFT ELEVATION
SCALE: 1/4" = 1'-0" N.T.S.



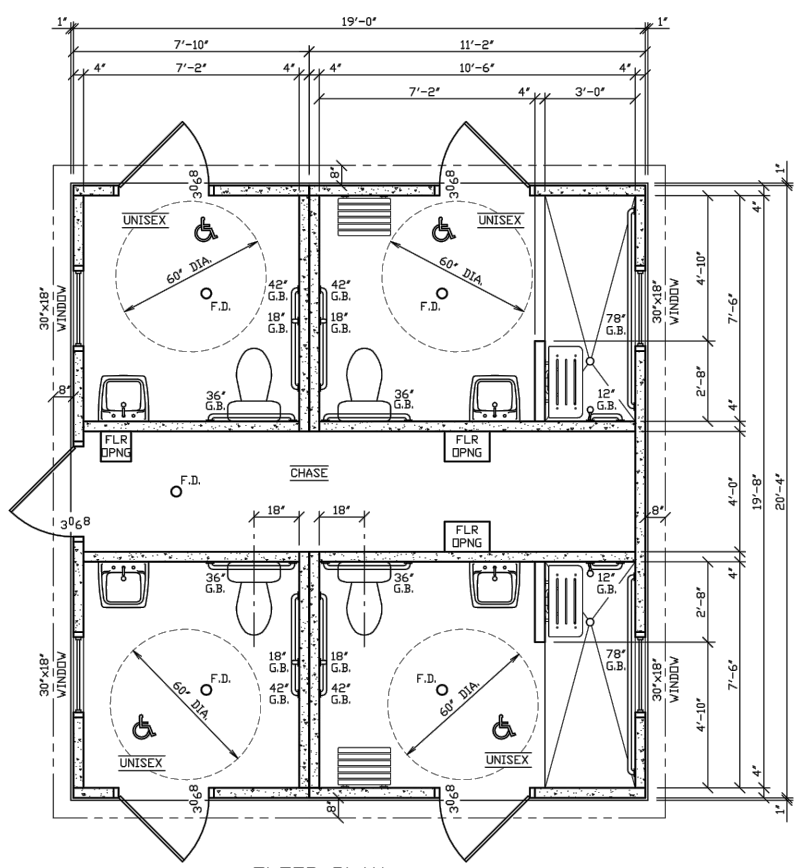
FRONT ELEVATION
SCALE: 1/4" = 1'-0" N.T.S.



RIGHT ELEVATION
SCALE: 1/4" = 1'-0" N.T.S.



REAR ELEVATION
SCALE: 1/4" = 1'-0" N.T.S.



FLOOR PLAN
SCALE: 1/4" = 1'-0" N.T.S.




715.723.7446
HUFFCUTT.COM

4154 123RD ST
CHIPPEWA FALLS, WI

G:\2023\proj\2329007\CAD\Sheets\BATHHOUSE.dwg

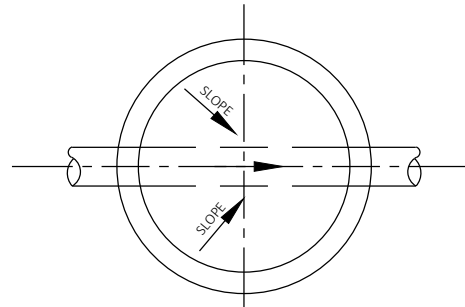
PLOT DATE: Oct 24, 2023 - 03:23pm

| | | | | | | | | | |
|-----|----|------|-----------------------------|--------------------------------------------|---------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|-----------------------------------------------|----------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |  | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN CITY OF WASHBURN, BAYFIELD COUNTY | THOMPSON'S WEST END PARK BATHHOUSE DETAILS | SHEET 30 |
| NO. | BY | DATE | ISSUE DATE | APPROVED BY | | | | | |
| | | | 10/24/2023 | NKH | | | | | |

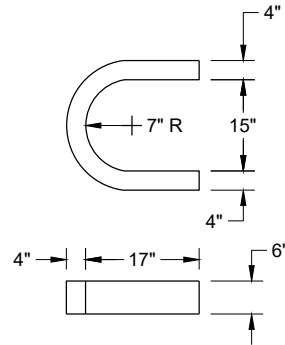
G:\2023\proj\2329007\3d\Sheets\Details.dwg

GENERAL NOTES

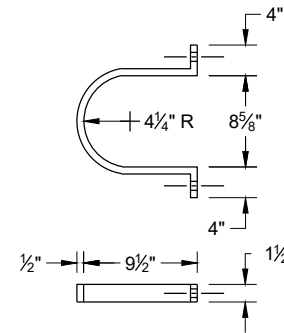
1. DETAILS SHALL NOT BE SCALED
2. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION OF THE UTILITIES IN THE FIELD.



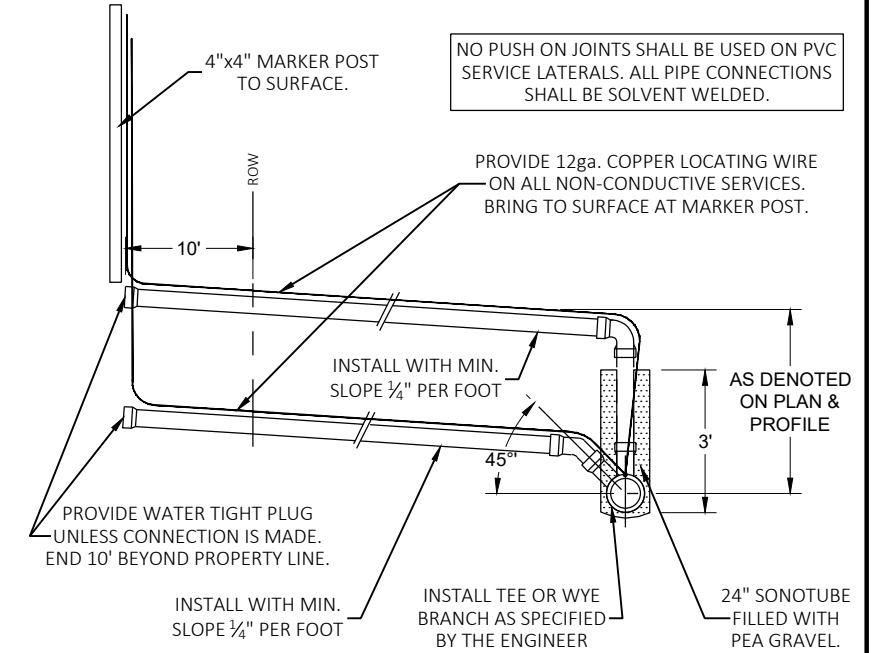
PLAN VIEW
N.T.S.



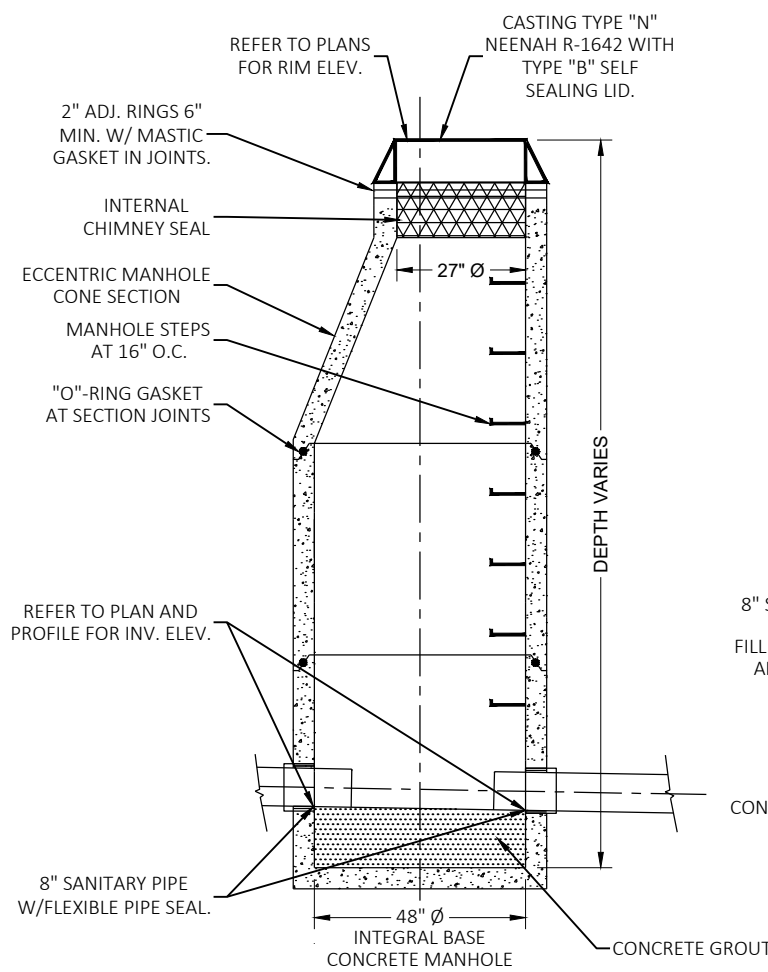
HORSESHOE DETAIL
N.T.S.



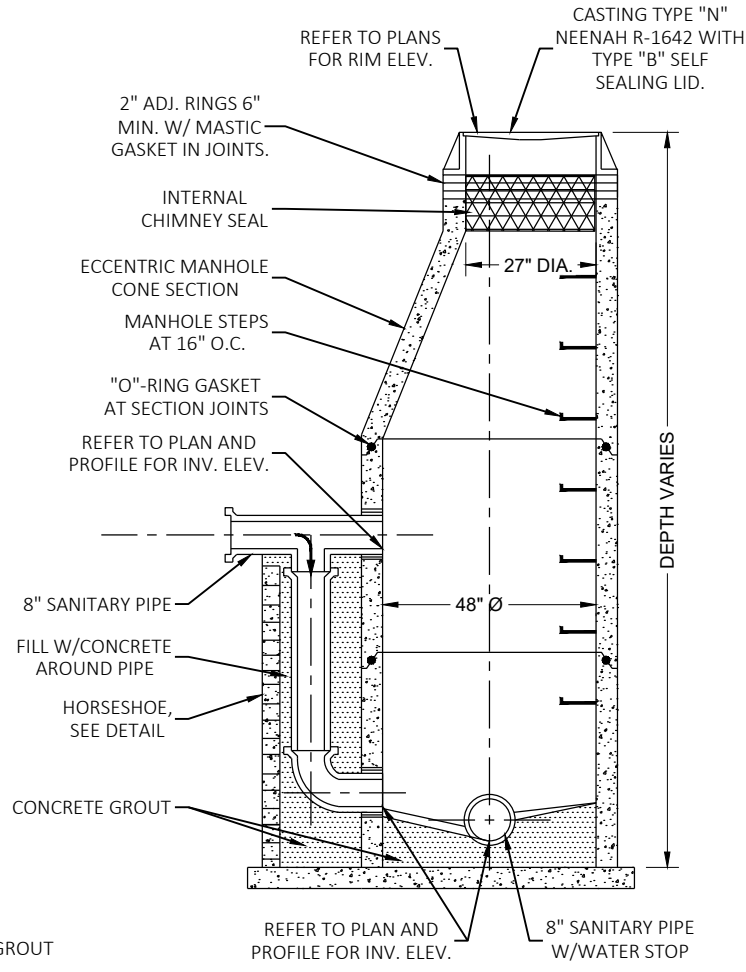
STRAP DETAIL
N.T.S.



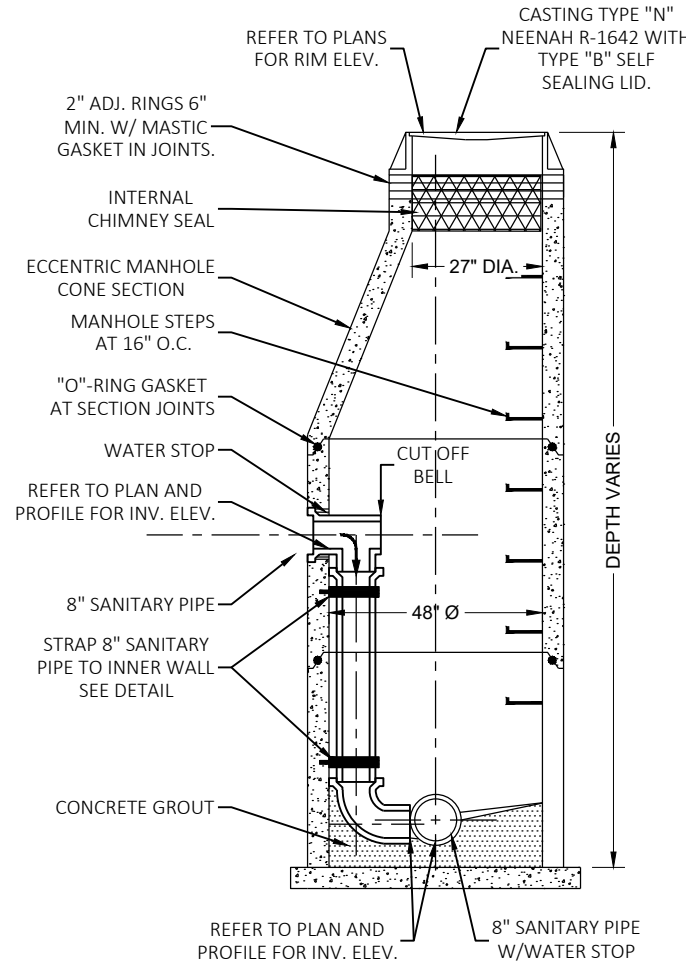
STANDARD CONNECTION BUILDING SEWER CONNECTION DETAILS
N.T.S.



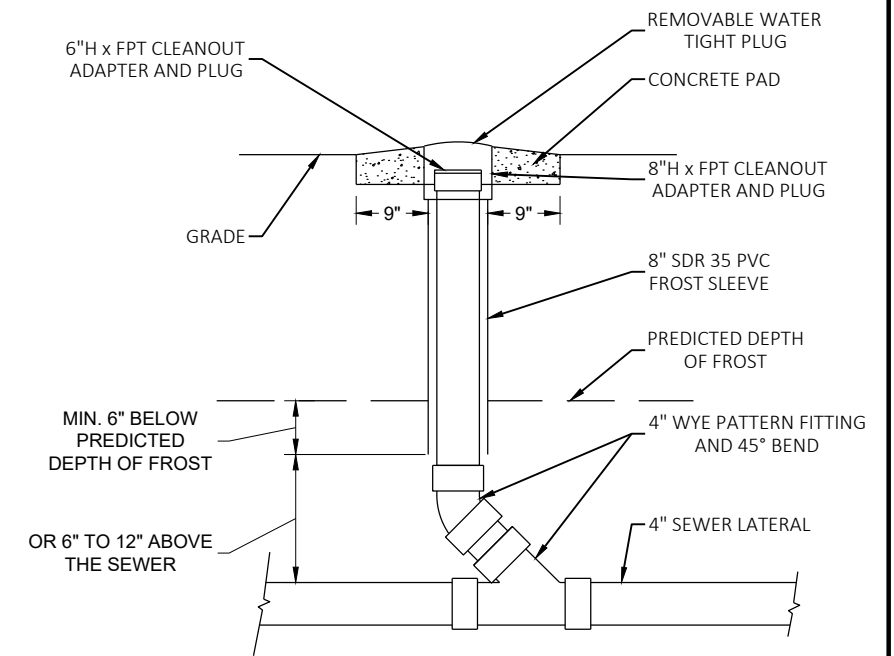
SANITARY MANHOLE
N.T.S.



OUTSIDE DROP MANHOLE
N.T.S.



INSIDE DROP MANHOLE
N.T.S.



CLEANOUT
N.T.S.

PLOT DATE: Oct 24, 2023 - 03:23pm

| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |

| | |
|-----------------------------|--------------------------------------------|
| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

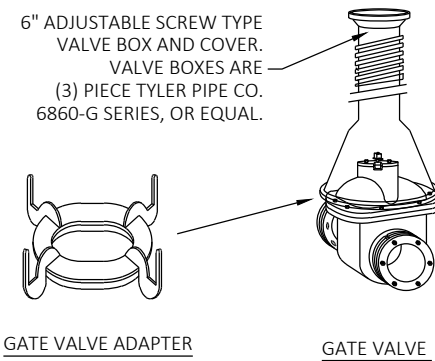


2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

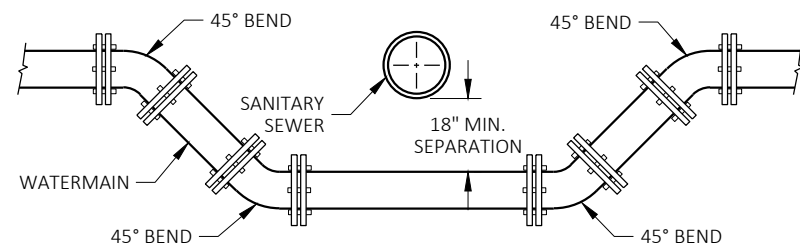
THOMPSON'S WEST END PARK
SANITARY SEWER DETAILS

SHEET 31

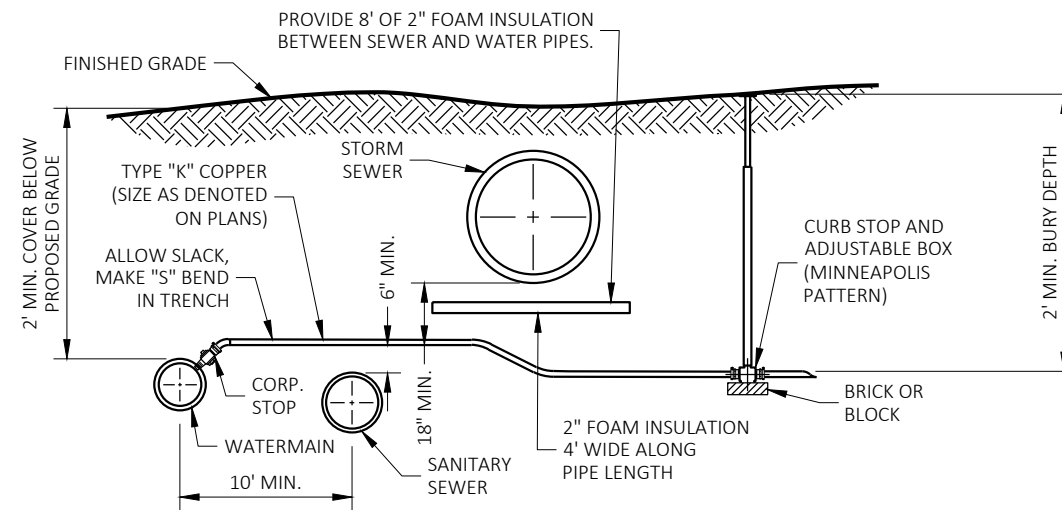


GATE VALVE ADAPTER GATE VALVE


GATE VALVE ADAPTER DETAIL
(TYPICAL ALL VALVES)



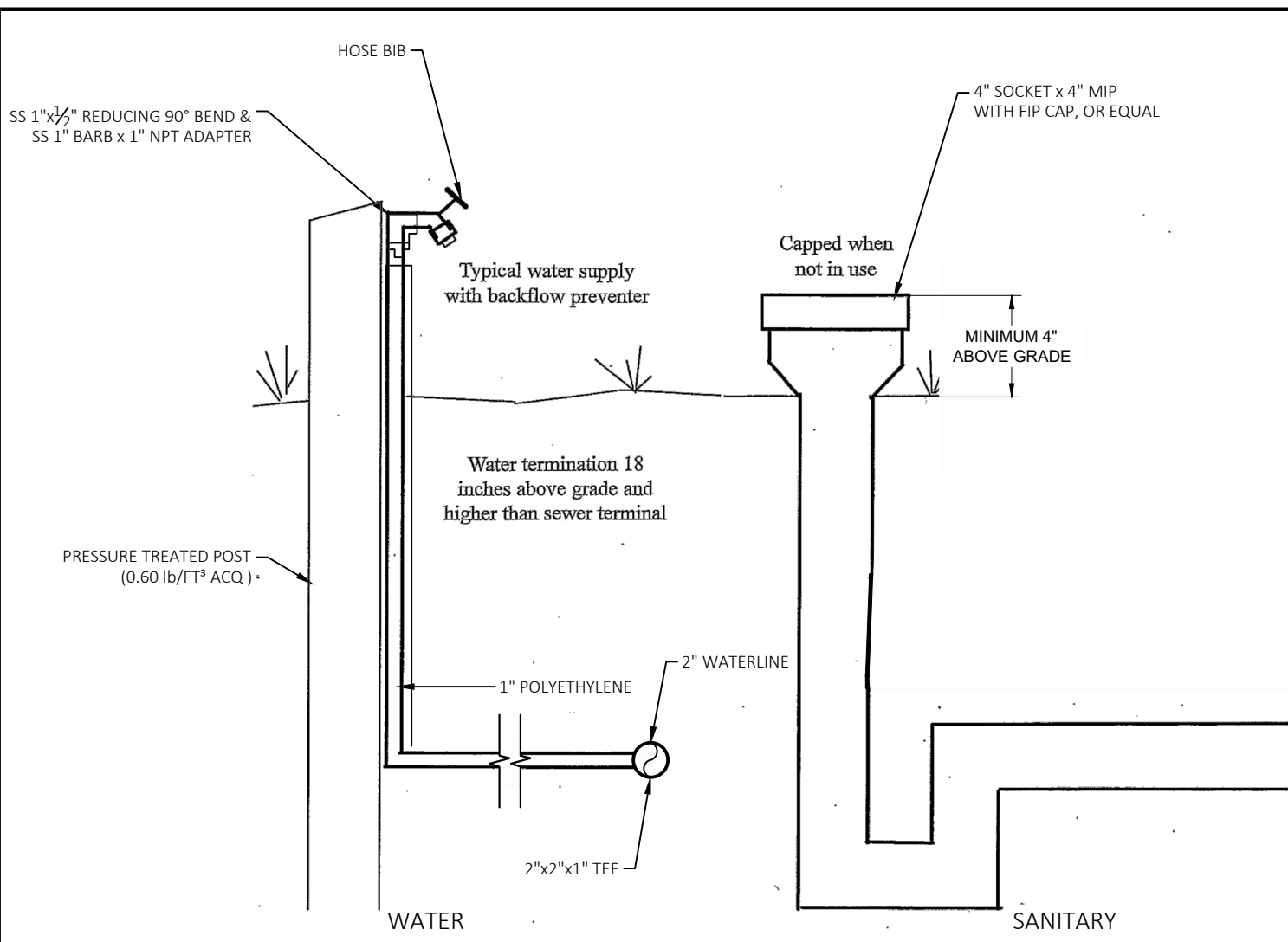
1 WATERMAIN OFFSET DETAIL
NOT TO SCALE



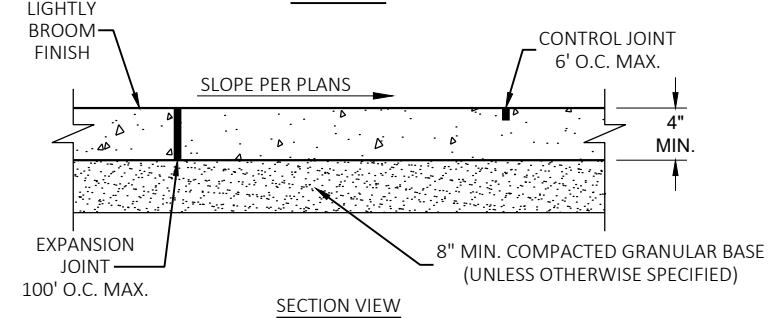
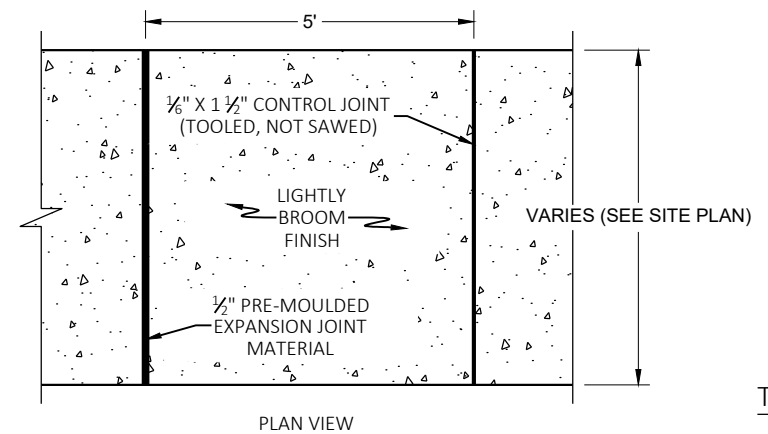
1 TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

| | | | | | | | |
|-----|----|------|-----------------------------|-----------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |  COOPER ENGINEERING 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | ISSUE DATE | APPROVED BY | | CITY OF WASHBURN, BAYFIELD COUNTY | WATER MAIN DETAILS |
| | | | 10/24/2023 | NKH | | | |

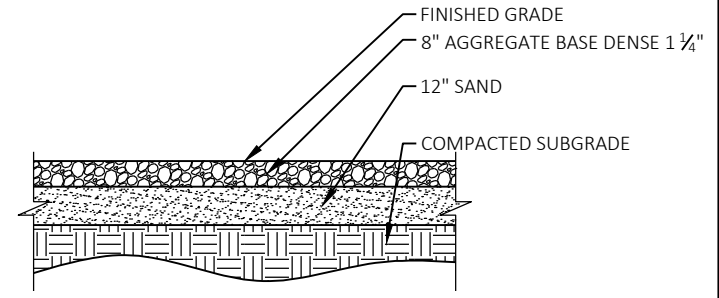
G:\2023\proj\23290077\CAD\Sheets\DETAILS_SHEETS_Details.dwg



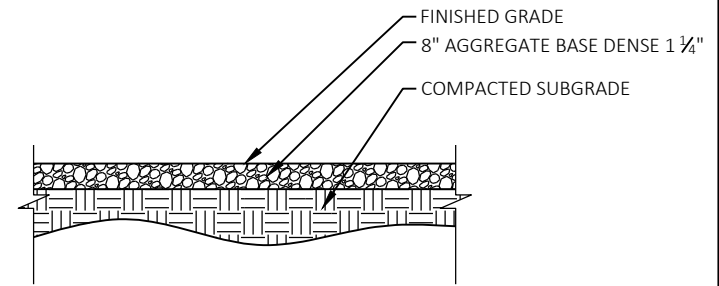
CAMPSITE UTILITY RISERS
N.T.S.



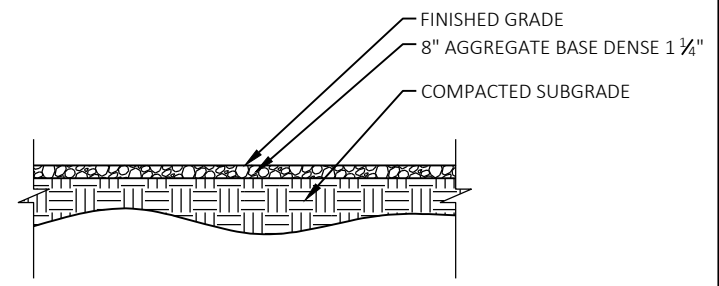
SIDEWALK SECTION
N.T.S.



TYPICAL SECTION - RV PAD
N.T.S.



TYPICAL SECTION - TENT & YURT PARKING
N.T.S.



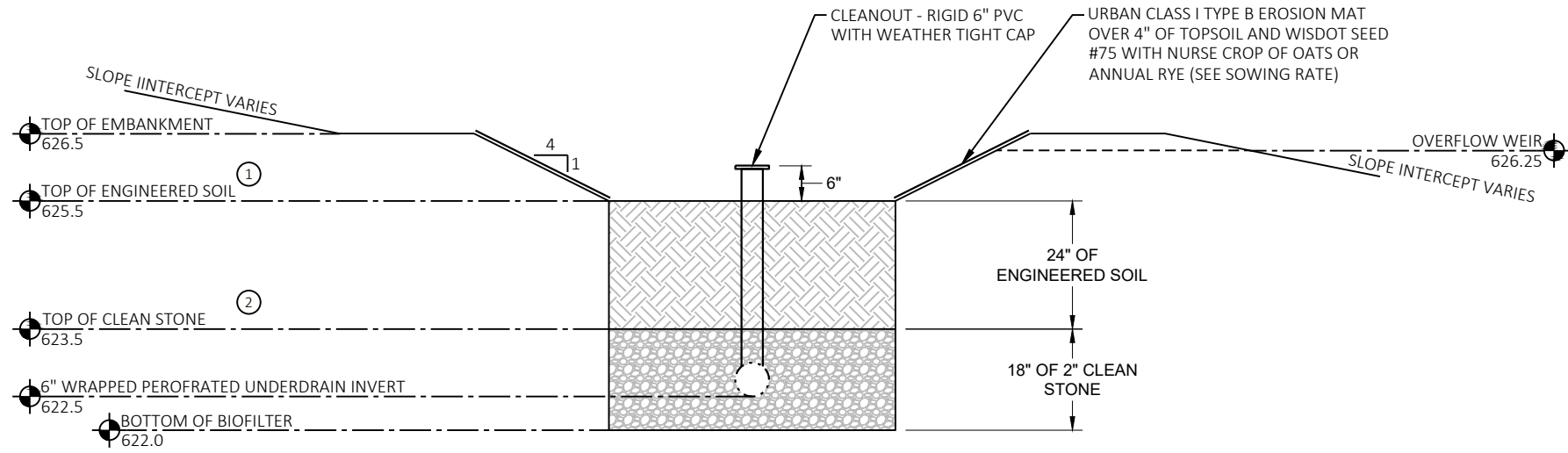
TYPICAL SECTION - PATHS
N.T.S.

PLOT DATE: Oct 24, 2023 - 03:23pm

| | | | | | | | | | | | | | | | | |
|-----|--|----|------|-----------|-----------------------------|-----------------|--------------------------|--------------------------------------------|-------------------|--------------------|-----------------------------------------------------------------------------------------------------------------------|------------------|-----------------------------------|--------------------------|-----------------|----------|
| NO. | | BY | DATE | REVISIONS | CEC PROJECT NO. 23290077 | DRAWN BY NJG | ISSUE DATE 10/24/2023 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | CHECKED BY NKH | APPROVED BY NKH | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | CITY OF WASHBURN, BAYFIELD COUNTY | THOMPSON'S WEST END PARK | UTILITY DETAILS | SHEET 33 |
|-----|--|----|------|-----------|-----------------------------|-----------------|--------------------------|--------------------------------------------|-------------------|--------------------|-----------------------------------------------------------------------------------------------------------------------|------------------|-----------------------------------|--------------------------|-----------------|----------|



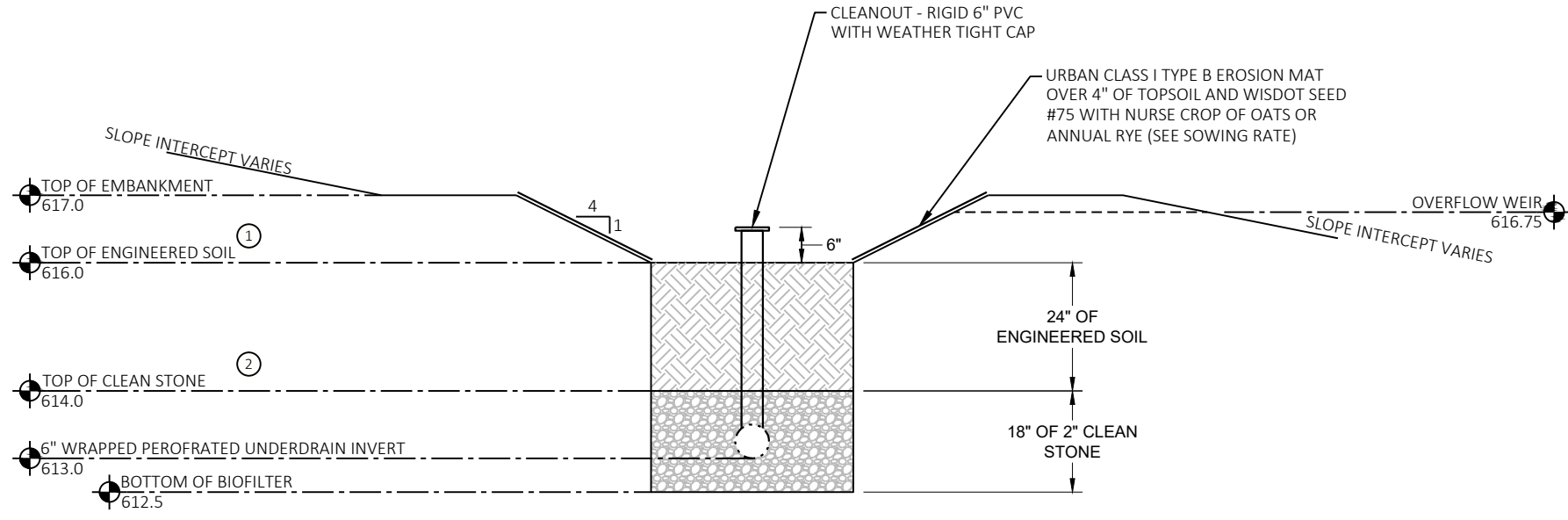
G:\2023\proj\2329007\3d\Sheets\Sheets_Details.dwg



1 EAST BIOFILTER
 SCALE (22 X 34): N.T.S.
 SCALE (11 X 17): N.T.S.

NOTES:
 1) ENGINEERED SOIL WILL BE 85% SAND AND 15% COMPOST AND WILL MEET DNR CONSERVATION PRACTICE STANDARD 1004
 2) CLEAN STONE WILL BE WASHED AND 2" IN SIZE

BIOFILTER PLANTINGS: CONSULT WITH NURSERY FOR APPROPRIATE NATIVE PLANT PLUGS, AND SHRUBS. PLANT 12" O.C.
 BOTTOM WEST BIOFILTER ± 60 PLANTS
 BOTTOM EAST BIOFILTER ± 200 PLANTS
BIOFILTER SLOPES: SEED WITH WISDOT SEED #75 AT A RATE OF 0.7LBS/ 1000 S.F. INCLUDE A NURSE CROP OF ANNUAL RYE AT A SOWING RATE OF- 5 LBS/ ACRE SPRING 15 LBS/ ACRE FALL



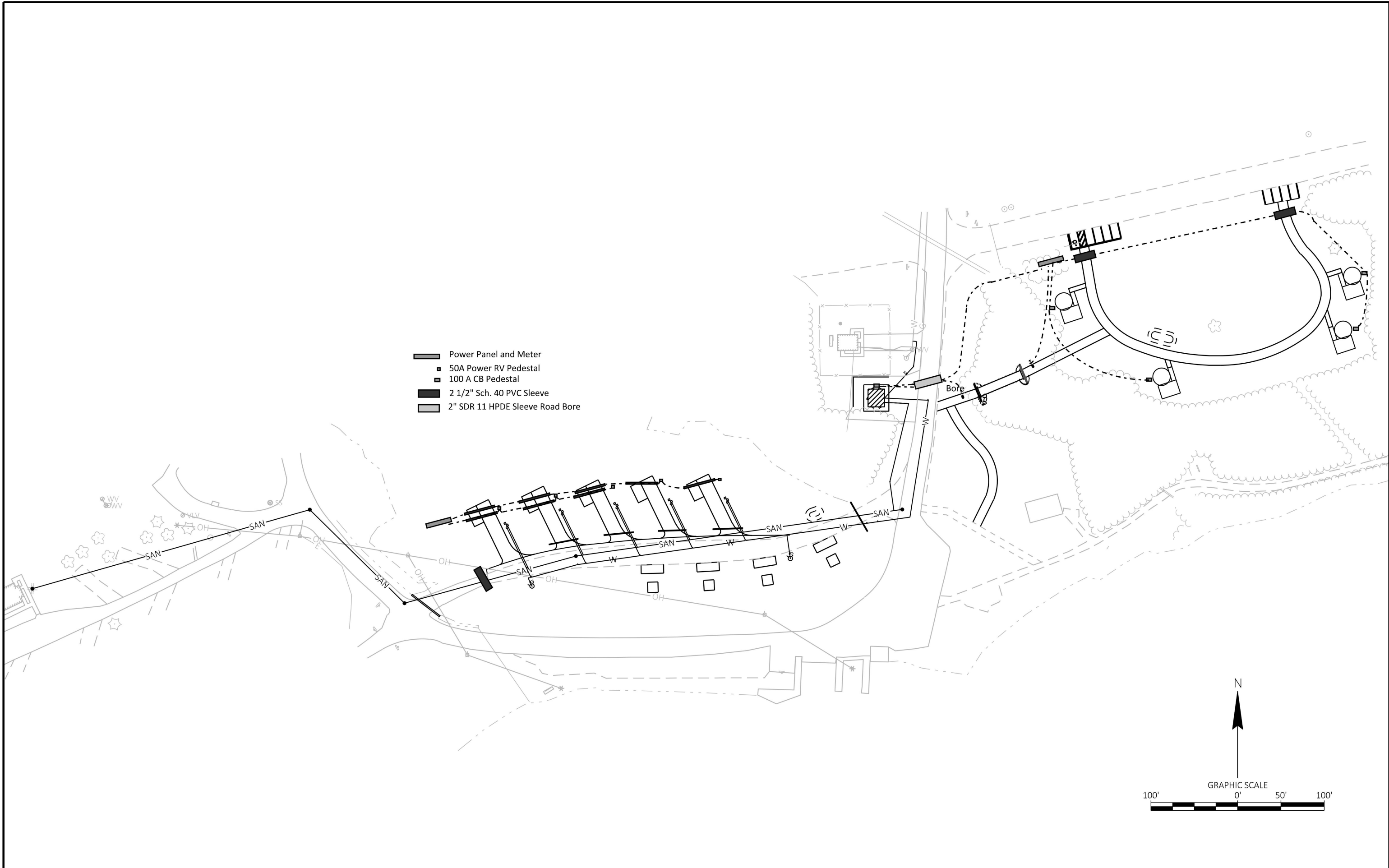
2 WEST BIOFILTER
 SCALE (22 X 34): N.T.S.
 SCALE (11 X 17): N.T.S.

PLOT DATE: Oct 24, 2023 - 03:23pm

| | | | | | | | | | |
|-----|------|-----------|-----------------------------|--------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|-----------------------------------|--|--------------------------|--|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | | CITY OF WASHBURN | | THOMPSON'S WEST END PARK | |
| NO. | DATE | REVISIONS | DRAWN BY NJG | CHECKED BY NKH | | CITY OF WASHBURN, BAYFIELD COUNTY | | BIOFILTER DETAILS | |
| | | | ISSUE DATE 10/24/2023 | APPROVED BY NKH | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | | | | |

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PLOT DATE: Oct 24, 2023 - 03:24pm



| | | | | | | | |
|-----------|----|------|-----------------------------|-----------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | COOPER ENGINEERING 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | ISSUE DATE | APPROVED BY | | CITY OF WASHBURN, BAYFIELD COUNTY | POWER PEDESTAL LAYOUT |
| REVISIONS | | | 10/24/2023 | NKH | | | |

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Distribution

| Quantity | Label/I.D. | Description | Equipment | Derated Load | Circuit Rating | OCP | AIC Rating | Motor Amp | Circuit Amp | Circuit Length | Feeder Size | Ground Condu | Amperage | Type | Raceway Size | Notes | Notes |
|----------|------------|------------------------------------------------------------------|--------------------------------|--------------|----------------|-----|----------------|-----------|-------------|----------------|-------------|--------------|----------|---------------------------------------------|--------------|------------------------------|------------------------------|
| 1 | | Meter Socket 320A 5 Term | Camp Ground Service | 0 | 0 | | AIC Rating 18K | | | 20 | 750KCMIL AL | | | | 4" PVC | Install exp. joints at panel | |
| 1 | | Meter Socket 200A 5 Term | Yurt Area Service | | 0 | | AIC Rating 18K | | 0 | 10 | 4/0 AL | | | | 3" PVC | Install exp. joints at panel | |
| 1 | | 200A 3R 30 Position Panel | Camp Ground | 24310 | 143 | 200 | AIC Rating 18K | | | 20 | 3/0 CU | #2 CU | | | | Service Entrance rated | Install Grounding Electrodes |
| 1 | | 400A 3R 30 Position Panel | Yurt Camp | 33511 | 283 | 400 | AIC Rating 18K | | | 20 | 500Kcmil CU | #2 CU | | | | Service Entrance rated | Install Grounding Electrodes |
| 4 | | 120/240V, 2P, 100ACB NEMA-3R | Yurt Sites | | 125 | | AIC Rating 10K | | | | | | | | | Install exp. joints at panel | Install Grounding Electrodes |
| 1 | | 120/240V, 2P, 100ACB, W/1-20A CB NEMA-3R | Shower House | | 125 | | AIC Rating 10K | | | | | | | Connect to metallic water line if available | | Install exp. joints at panel | Install Grounding Electrodes |
| 5 | | NEMA 3R J-Box for Incoming feeder transition to #2 CU conductors | Hoffman TB3R201 Terminal J-Box | | 0 | | | | | | | | | | | | |
| 4 | | NEMA 1 12 Postion Loadcenter W 1-2P 20A CB and 6 1P-20A CB | Yurt Sites and Shower House | | 125 | | AIC Rating 10K | | | | | | | | | | |
| 18 | | Totals | | 57821 | | | | | | | | | | | | | |

MPDP Campground Panel 200A Main Circuit Breaker 120/240 VAC AIC Rating 18K Bottom Feed 30 Positon 3R rating

| Quantity | Label/I.D. | Description | Equipment | Derated Load | Circuit Rating | OCP | AIC Rating Load | Motor Amp | Circuit Amp | Circuit Length | Feeder Size | Ground Condu | Disconnect | Amperage | Type | Raceway Size | Notes | Notes |
|----------|------------|---------------------------------|-------------|---------------------------|----------------|-------|-----------------|----------------|----------------|----------------|----------------|--------------|-------------|-----------|--------|--------------|-------------------------------|------------------------------|
| 3 | CB-1.3 | 50A 120/240 VAC Camp site | Sites 1,2,3 | 9600 | Pedestal | 14400 | 80 | 125 | AIC Rating 18K | 75 | 200 | 3C-2 /0 AL | #2 AL ECG | CB in Ped | 80 | XHHW-2 | 2" PVC Sch 40 | Install exp. joints at panel |
| 2 | CB-2.4 | 50A 120/240 VAC Camp site | Sites 4,5 | 9600 | Pedestal | 9600 | 60 | 125 | AIC Rating 18K | 50 | 329 | 3C-2/0 AL | #2 AL ECG | CB in Ped | 80 | XHHW-2 | 2" PVC Sch 40 | Install exp. joints at panel |
| 1 | CB-5.7 | Spare Circuit Breaker | | | | 0 | 0 | 125 | AIC Rating 18K | | | | | | | | | |
| 1 | CB-6.8 | Spare Circuit Breaker | | | | 0 | 0 | 125 | AIC Rating 18K | | | | | | | | | |
| 1 | CB-9,11 | Spare Circuit Breaker | | | | 0 | 0 | 125 | AIC Rating 18K | | | | | | | | | |
| 1 | CB-10,12 | Spare Circuit Breaker | | 0 | | 0 | 60 | AIC Rating 18K | | | | | | | | | | |
| 6 | | Spare Circuit Breakers (qty -6) | | 0 | | 0 | 20 | AIC Rating 18K | | | | | | | | | | |
| 1 | | Lighting Circuit | 130 | Light Fixtures | 130 | 1 | 20 | AIC Rating 18K | 1.5 | 500 | 2-C W/G #10 UF | #10CU | CB in Panel | 20 | UF | 1" PVC | Install exp. joints at panel | |
| 1 | | 20A WP GFCI Receptacle | 1500 | Mount on Distribuion pane | 180 | 2 | 20 | AIC Rating 18K | 16 | 6 | #12 Cu | #12 Cu | CB in Panel | | XHHW-2 | NA | WP 20A GFCI with in use cover | |
| Total | 17 | | | | | 24310 | 143 | | | | | | | | | | | |

MPDP Yurt Camp Panel 400A Main Circuit Breaker 120/240 VAC AIC Rating 18K Bottom Feed 30 position 3R rating

| Quantity | Label/I.D. | Description | Equipment | Derated Load | Calc Amp | OCP | AIC Rating | Motor Amp | Circuit Amp | Circuit Length | Feeder Size | Ground Condu | Disconnect | Amperage | Type | Raceway Size | Notes | Notes |
|----------|------------|---------------------------------|-----------|---------------------------|----------|------|------------|----------------|----------------|----------------|----------------|--------------|-------------|-----------|--------|---------------|------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| 2 | CB-1.3 | Feeder Circuit Breaker | Yurts 1,2 | 9600 | Pedestal | 9600 | 80 | 100 | AIC Rating 18K | 50 | 240 | 3C-2/0 AL | #2 AL ECG | CB in Ped | XHHW-2 | 2" PVC Sch 40 | #2CU XHHW-2 from Ped CB to Yurt. Install 3R J-Box at 100A CB Post for incoming feeder transition | Install exp. joints at panels |
| 2 | CB-2.4 | Feeder Circuit Breaker | Yurts 3,4 | 9600 | Pedestal | 9600 | 80 | 100 | AIC Rating 18K | 50 | 475 | 3C 4/0 AL | 2/0 AL ECG | CB in Ped | XHHW-2 | 2" PVC Sch 40 | #2CU XHHW-2 from Ped CB to Yurt. Install 3R J-Box at 100A CB Post for incoming feeder transition | Install exp. joints at panels |
| 1 | CB-5.7 | Spare Circuit Breaker | | | | | 125 | AIC Rating 18K | | | | | | | | | | |
| 1 | CB-6.8 | Spare Circuit Breaker | | | | | 100 | AIC Rating 18K | | | | | | | | | | |
| 1 | CB-10,12 | Shower House | 14000 | | 14000 | 60 | 100 | AIC Rating 18K | | 300 | 3C 4/0 AL | 2/0 AL ECG | CB in Panel | | XHHW-2 | 2" PVC Sch 40 | #2CU XHHW-2 from Ped CB to Building. Install 3R J-Box at CB Post for incoming feeder transition. W 1P 20A CB for Light | Install exp. joints at panel |
| 1 | | Lighting Circuit | 130 | Light Fixtures | 130 | 1 | 20 | AIC Rating 18K | 1.5 | 500 | 2-C W/G #10 UF | #10CU | CB in Panel | 20 | UF | 1" PVC | | |
| 1 | | 20A WP GFCI Receptacle | 1500 | Mount on Distribuion pane | 180 | 2 | 20 | AIC Rating 18K | 16 | 6 | #12 Cu | #12 Cu | CB in Panel | | XHHW-2 | NA | WP 20A GFCI with in use cover | |
| 1 | | Spare Circuit Breakers (qty -6) | 1 | | 1 | 0 | 20 | AIC Rating 18K | | | | | | | | | | |
| Total | 10 | | 34831 | | 33511 | 223 | | | 0 | | | | | | | | | |

All underground conductors to be XHHW-2 direct bury with schedule 40 PVC Raceway risers.Type CU conductors except as noted for AL Provide expansion couplings at each structure.

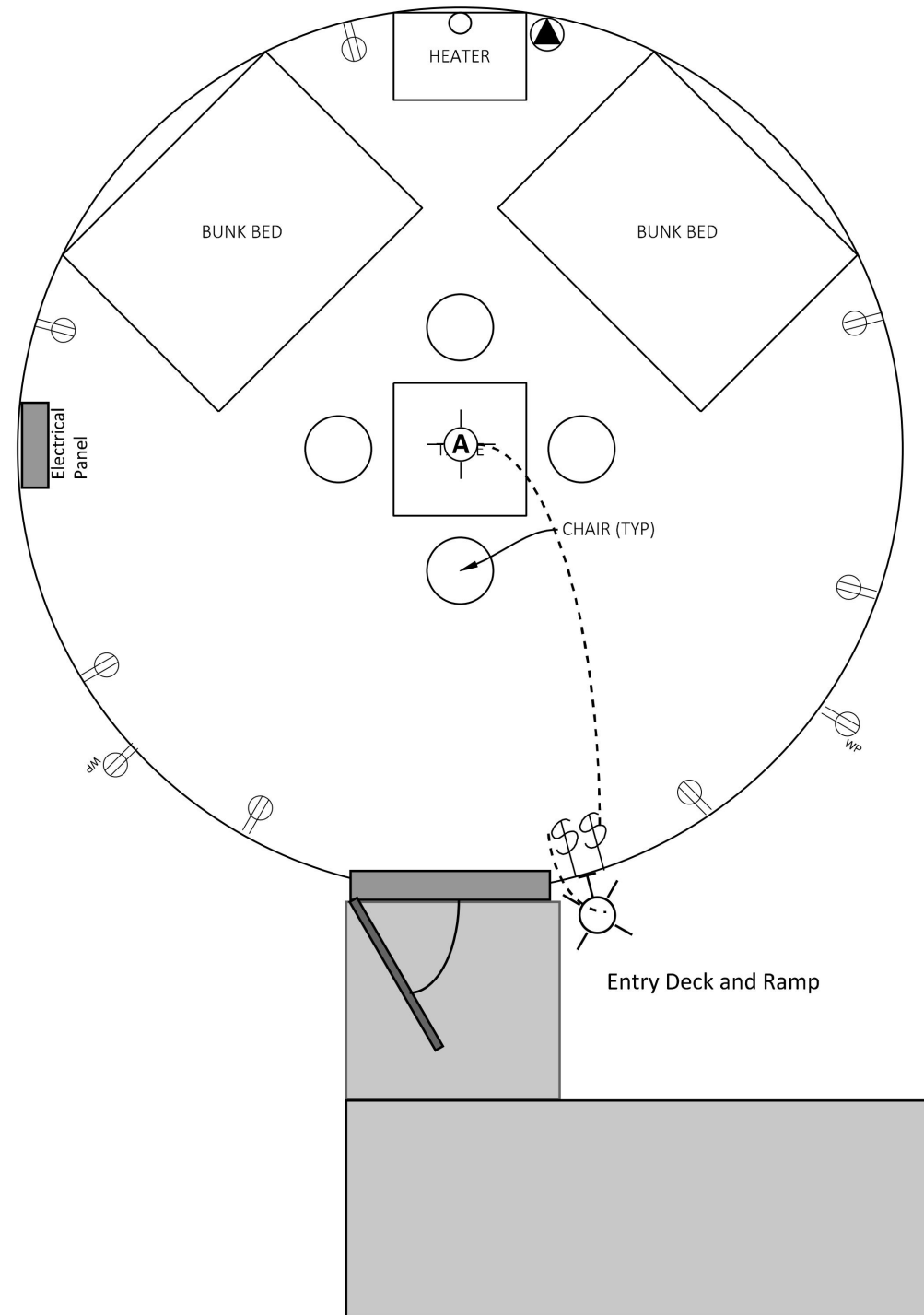
Bath and Shower Buildings Connect to panel board in manufactured building Provide and install 100A 3R CB Pedestal for main disconnect. Install 2 Driven 8" 5/8" diameter ground rods. Connect to interior metallic water piping if available

Yurt Structures Connect to panel board in manufactured building Provide and install 100A 3R CB Pedestal for main disconnect. Install 2 Driven 8" 5/8" diameter ground rods. Connect to interor metallic water piping if available

Power Pedestal 1-5 Install 2 Driven 8" 5/8" diameter ground rods.

| Quantity | Description | Model Number | Controls |
|----------|--------------------------|----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 2 | A 10' Pole mounted light | Lithonia Lighting: DSX1 LED P1 40K BLC MVOLT | DDBXD Photo Cell |
| 2 | Pole 10 | " Square Steel Pole, 10' Height | DDBXD DARK BRONZE SSS 10 4C -4" 11g DM19AS 1 at 90 UL listed label(includes NEC Compliant Cover) Color DDBXD Type 5 Base with ground rod. Top of base 6" AGL |

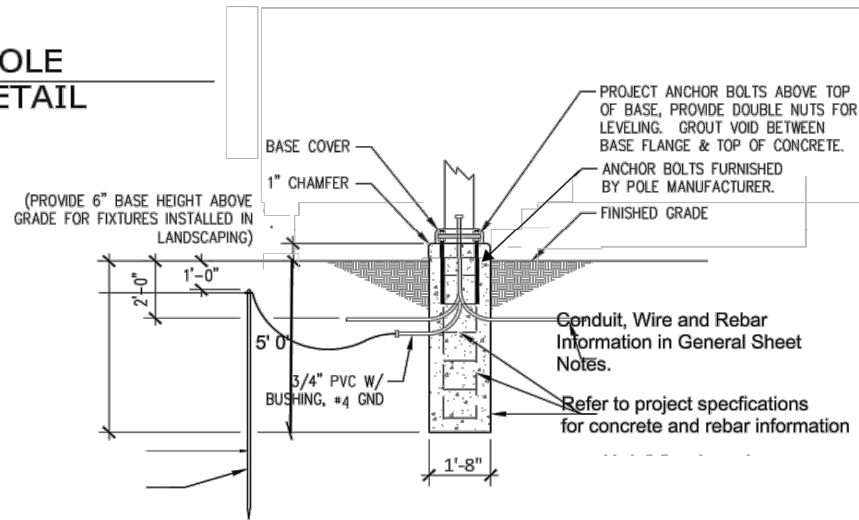
PLOT DATE: Oct 24, 2023 - 03:24pm



1 YURT ELECTRICAL DETAIL
 SCALE (22 X 34): N.T.S.
 SCALE (11 X 17): N.T.S.

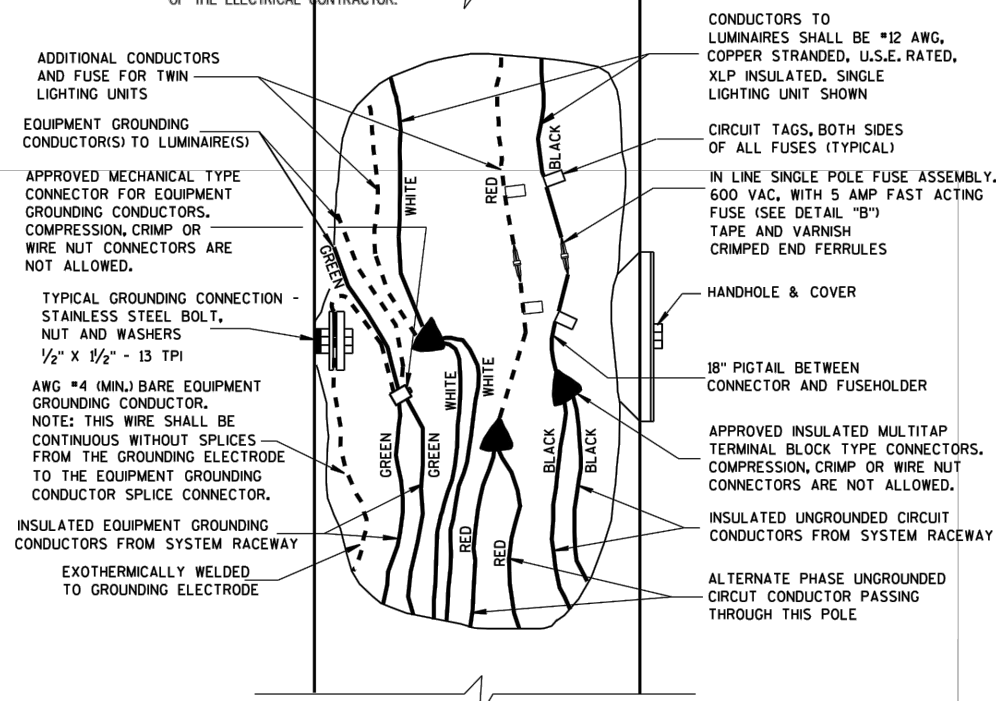
| | | | | | | | | |
|-----------|----|------|-----------------------------|-----------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------|------------------|--------------------------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | DRAWN BY NJG | CHECKED BY NKH | | | | |
| REVISIONS | | | ISSUE DATE 10/24/2023 | APPROVED BY NKH | | | | |

LIGHT POLE BASE DETAIL



NOTES:

- REFER TO CIVIL ENGINEERING SPECIFICATIONS; COORDINATE WORK WITH GENERAL CONTRACTOR.
- CONCRETE BASES MAY BE PROVIDED BY GENERAL CONTRACTOR, BUT ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.



**3 WIRE - 120, 240 OR 480 VAC (UNGROUNDING CONDUCTOR)
WITH GROUNDED CONDUCTOR AND
WITH EQUIPMENT GROUNDING CONDUCTOR**

General Notes

Details of Construction Materials and Workmanship not shown on this drawing shall conform to pertinent requirements of this contract.

Bases shall be excavated by use of a circular auger.

Top surfaces of concrete bases shall be trowel finished and chamfered.

Install 1 1/4" Sch 40 PVC Conduit.
Lighting Circuit conductors shall be #10 XHHW-2 CU
Pole mounted lighting circuits are 208 or 240 VAC

Conduit sizes and locations shall be as shown on the plans.

Minimum bending radius of on conduit is equal 6 X diameter,

Conduit height above concrete bases shall be 1 inch. All metallic conduit ends shall be reamed and threaded.

All conduit ends at the top of the concrete bases shall be capped. If metallic or plugged if non-metallic immediately after placement and before concrete is poured. Conduit in which wire or cable is not installed shall remain capped.

If base requires a deep form because of loose dirt or fill. The form shall be removed before backfilling around the base. Back fill shall be Tamped tight against the bare concrete base if layers of 1 foot or less.

A No 4 stranded copper equipment grounding conductor shall enter the base through a 3/4" conduit installed for grounding purposes. Leaving a 4' coil of wire above the concrete base. The equipment grounding conductor shall be neatly coiled and the coils tied together.

Anchor rods shall be 1" X 60" or as furnished with fixture pole.

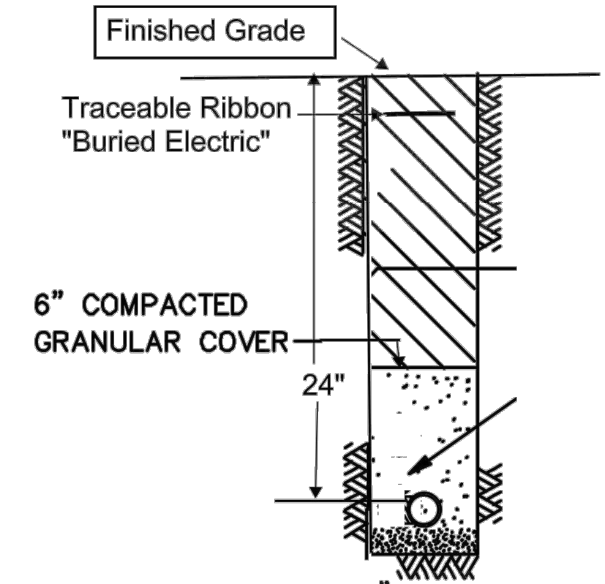
Anchor rods shall be threaded 12" in length on each end of the rod. Anchor rods shall be manufactured in accordance with Section 654.2.1 and 641.2.2 of the standard specifications. ASTM A-687 (Grade 105)

Welding of the anchor rods to the cage is unacceptable. Tie wires shall be used.

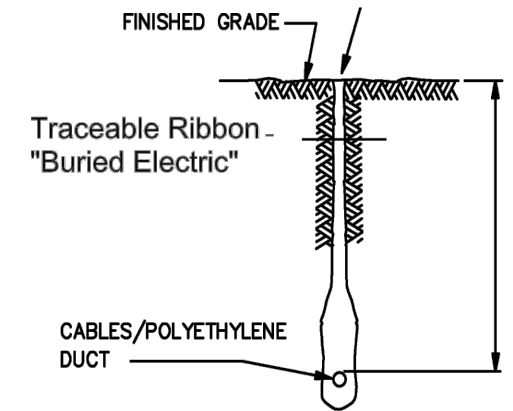
Bare steel shall be coated with powered epoxy resin in accordance with section 505 of the standard specifications.

Minimum depth of conduit exiting the concrete base shall be 24". The maximum depth shall be 36" except with written approval of the engineer.

- 4 anchor rods
- 6 No. 6 x 5' 6" bar steel reinforcement.
- 8 No. 4 x 6' 2" bar steel reinforcement @ 12"



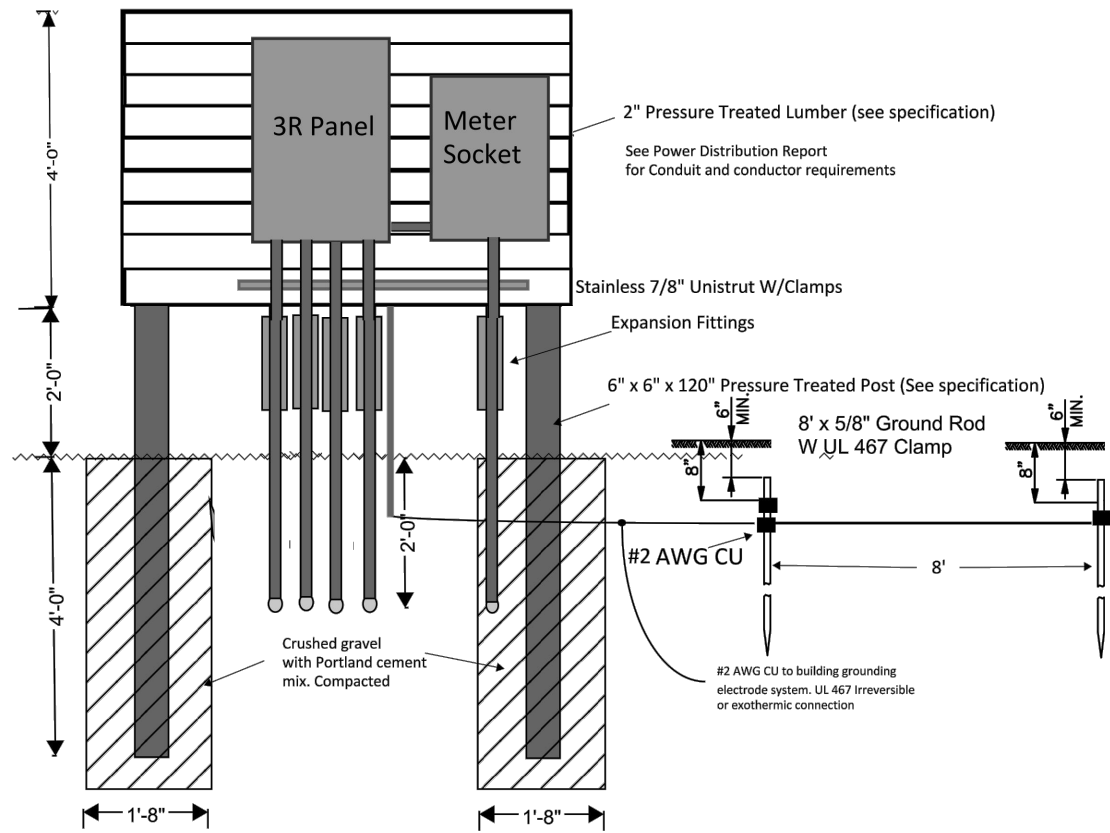
**Detail-Underground
Conduit Installation**



**Detail-Underground
cable/Duct Installation**

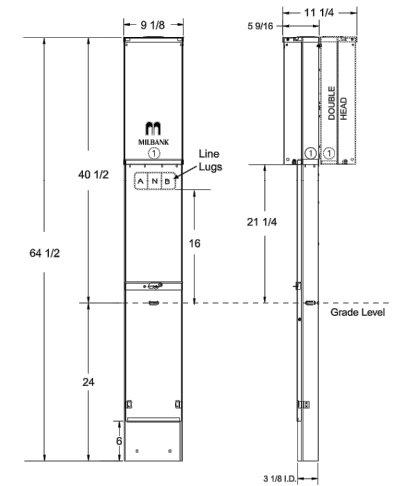
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Electrical Service Panel Details



8 MILLENNIUM SERIES POWER OUTLET PEDESTALS

Power Outlet Pedestals 125 Amps | Unmetered | 120/240 VAC



Specifications

- UL listed 125 Amps, 120/240 Volt—1Ø power outlet.
- Short circuit current withstand rating 10,000 RMS symmetrical amperes.
- Type 3R welded enclosure for durable outdoor use.
- Enclosure constructed with galvanized 16 gauge steel.
- Direct burial or pad mounted post constructed with 16 gauge galvanized steel. Two removable front covers for ease of installation. Accepts up to (3) 2 1/2" conduits.
- ANSI 61 grey polyester powder coat finish.
- Convenient concentric knock-out configurations.
- Hub opening with closure plate allows for meter retrofit.
- Wire terminations accept copper or aluminum conductors for loop feed wiring.
- Line: (2) #6-350 kcmil per phase, ground: (2) #14-2/0, neutral: (2) #6-350 kcmil
- Six circuit plated copper interior accepts standard plug-in type circuit breakers. Rated up to 125 Amps.
- Three position self-grounded receptacle bridge accepts most standard NEMA receptacles with mounting plates.
- Components factory wired with stranded copper wire.
- Lockable hinge cover and dead front are removable for installation and maintenance. Stay-open hinge cover has safety interlock on dead front. Dead front must be removed before hinge cover can be removed.
- LED or fluorescent site light kits available. Factory or field installable. See accessories page.
- Unit weight - single: 48 lbs., double: 70 lbs.

9 MILLENNIUM SERIES POWER OUTLET PEDESTALS

Power Outlet Pedestals 125 Amps | Unmetered | 120/240 VAC

125 Amps | Unmetered Power Outlet Pedestals

| Catalog Number | Mounting Type | Powerheads | Receptacle Configuration | Circuit Breaker Configuration | Loop Feed | Connectors (Line) | Dimensions D" W" H" | Knockouts |
|----------------|---------------|------------|--------------------------|-------------------------------|-----------|-------------------|------------------------|-----------|
| U5200-XL | Direct Burial | Single | — | — | Yes | #6-350 | 5 9/16" 8 1/4" 64 1/2" | 1 1/4" |
| U5200-XL-332 | Direct Burial | Single | A | W | Yes | #6-350 | 5 9/16" 8 1/4" 64 1/2" | 1 1/4" |
| U5200-XL-41 | Direct Burial | Single | B | X | Yes | #6-350 | 5 9/16" 8 1/4" 64 1/2" | 1 1/4" |
| U5200-XL-55 | Direct Burial | Single | C | Y | Yes | #6-350 | 5 9/16" 8 1/4" 64 1/2" | 1 1/4" |
| U5200-XL-75 | Direct Burial | Single | D | Z | Yes | #6-350 | 5 9/16" 8 1/4" 64 1/2" | 1 1/4" |
| U5210-XL | Pad Mount | Single | — | — | Yes | #6-350 | 5 9/16" 8 1/4" 40 1/2" | 1 1/4" |
| U5220-XL | Direct Burial | Double | — | — | Yes | #6-350 | 11 1/4" 8 1/4" 64 1/2" | 1 1/4" |
| U5220-XL-41 | Direct Burial | Double | B | X | Yes | #6-350 | 11 1/4" 8 1/4" 64 1/2" | 1 1/4" |
| U5220-XL-75 | Direct Burial | Double | D | Z | Yes | #6-350 | 11 1/4" 8 1/4" 64 1/2" | 1 1/4" |
| U5230-XL | Pad Mount | Double | — | — | Yes | #6-350 | 11 1/4" 8 1/4" 40 1/2" | 1 1/4" |

Receptacle Configurations

| A | B | C | D |
|---|---|---|---|
| | | | |

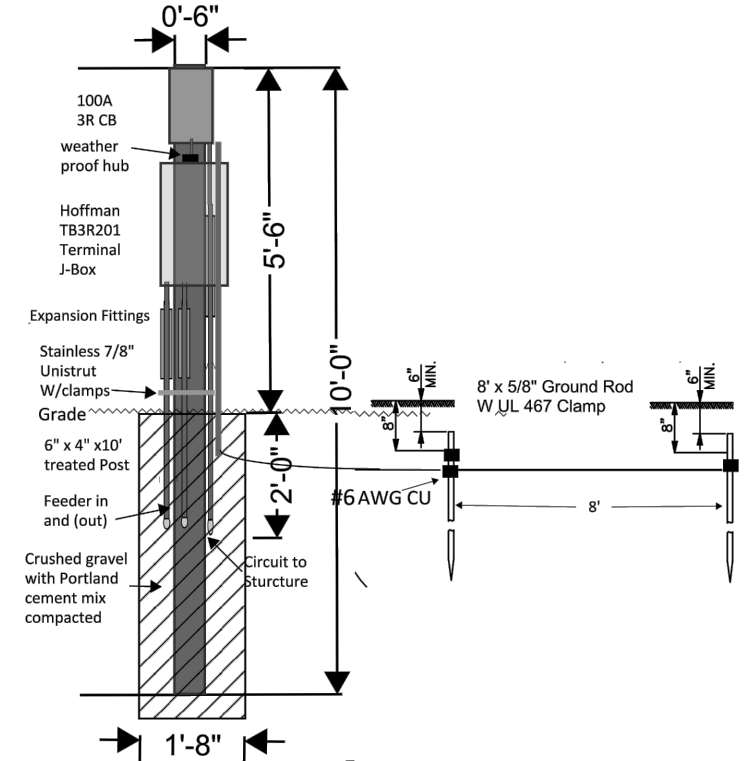
Circuit Breaker Configurations

| W | X | Y | Z |
|---|---|---|---|
| | | | |

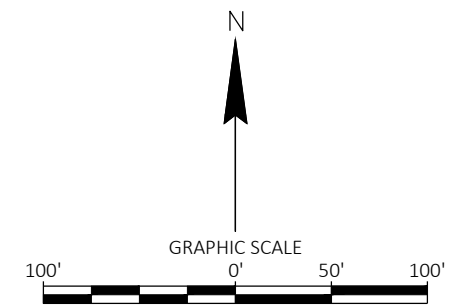
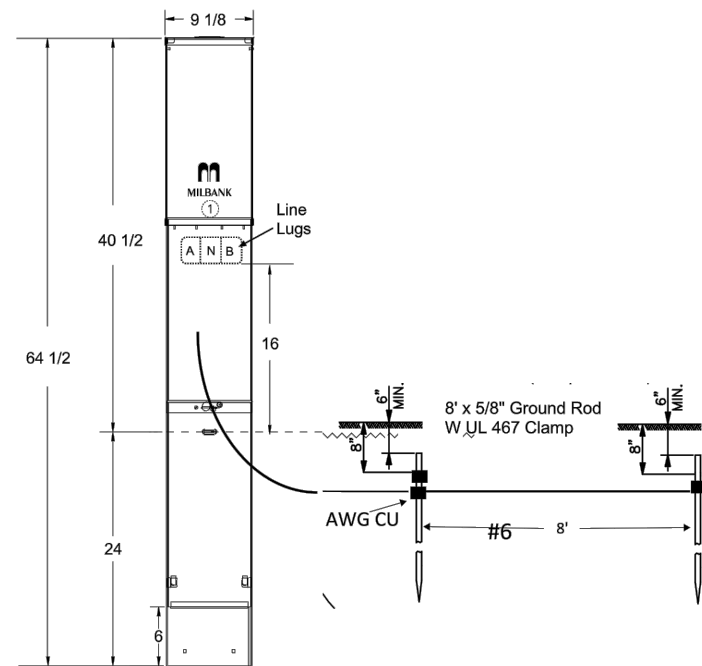
Notes

- 20 Amps GFI receptacles are weather resistant and tamper resistant.
- 20 Amps GFI required at each RV site by UL and NEC 551-71.
- LED or fluorescent site light kits available. Factory or field installable. See accessories page.
- Contact factory for additional configurations not shown here.

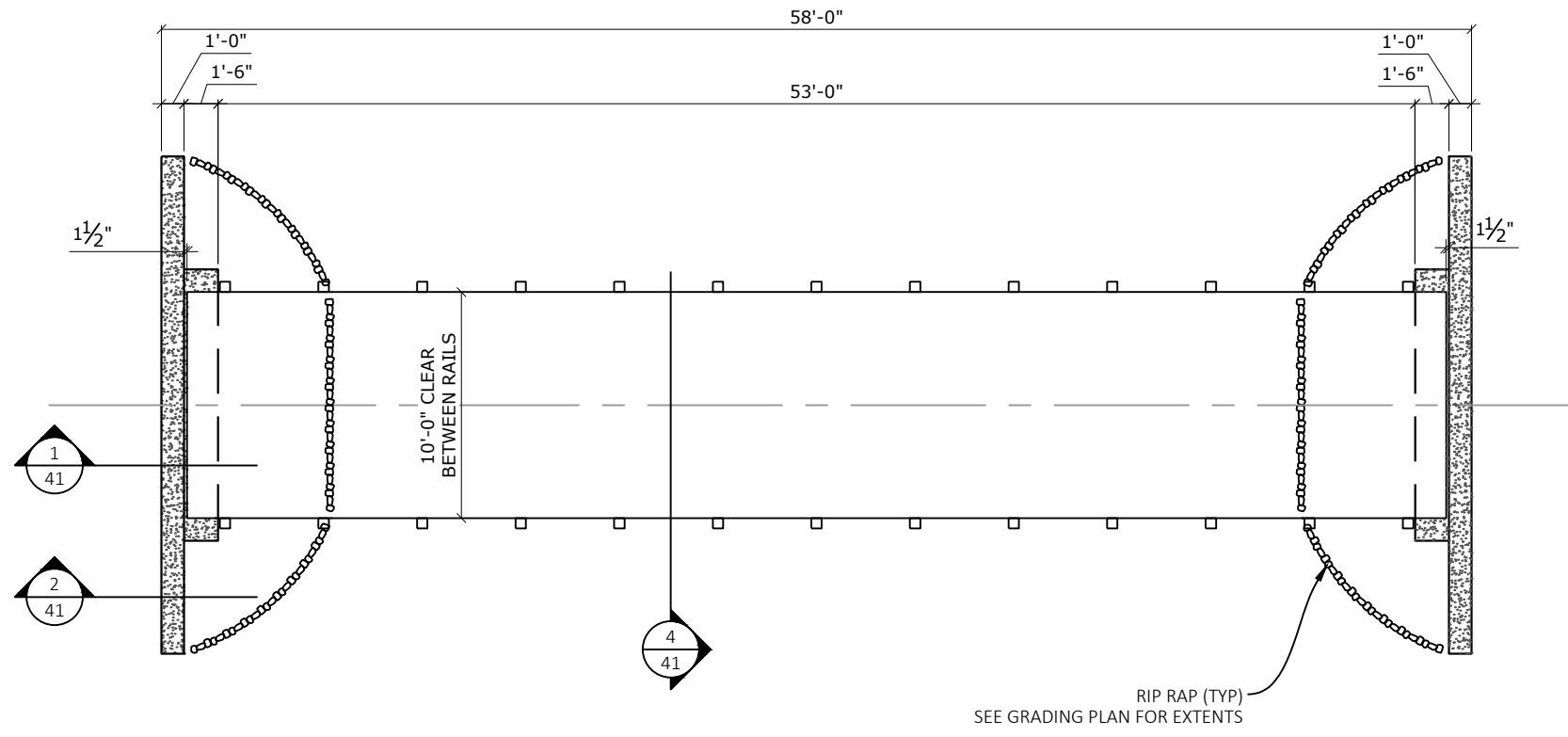
Yurt Site and Shower House Circuit Breaker With terminal J-Box



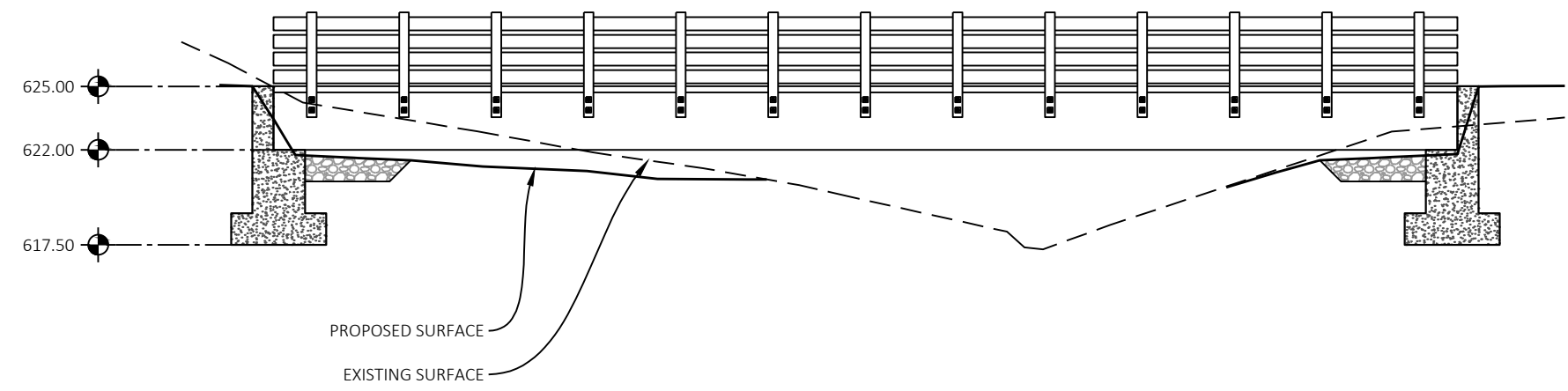
Campsite Power Pedestal Details



PLOT DATE: Oct 24, 2023 - 03:24pm



1 BRIDGE PLAN DETAIL
 SCALE (22 X 34): 1/4" = 1'-0"
 SCALE (11 X 17): 1/8" = 1'-0"



2 BRIDGE SECTION DETAIL
 SCALE (22 X 34): 1/4" = 1'-0"
 SCALE (11 X 17): 1/8" = 1'-0"

| | | | | | | | | |
|-----|----|------|-----------------------------|-----------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------|-----------------------------------|--------------------------|
| | | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | ISSUE DATE | APPROVED BY | | | CITY OF WASHBURN, BAYFIELD COUNTY | BRIDGE PLAN & ELEVATION |

G:\2023\proj\2329007\3d\Sheets\SHSHEETS_Bridge_Details.dwg

NOTES:

- ①: PROVIDE U-SHAPE BARS INDICATED WITH 12-INCH VERTICAL LEGS
- ②: 18-INCH RUBBERIZED MEMBRANE WATERPROOFING. SEE ALL HORIZ. AND VERT. JOINTS ON THE BACKFACE ABOVE THE FOOTING
- ③: KEYED CONSTRUCTION JOINT FORMED BY BEVELED 2x4
- ④: THE 3'-0" BACKWALL HEIGHT IS BASED UPON A DESIGN USING (4) FLU-LAM BEAMS AND 4-INCH DECK PLANKS, OTHER DESIGNS MAY REQUIRE ADJUSTMENTS TO THIS HEIGHT. COORDINATE WITH THE ENGINEER

MATERIALS

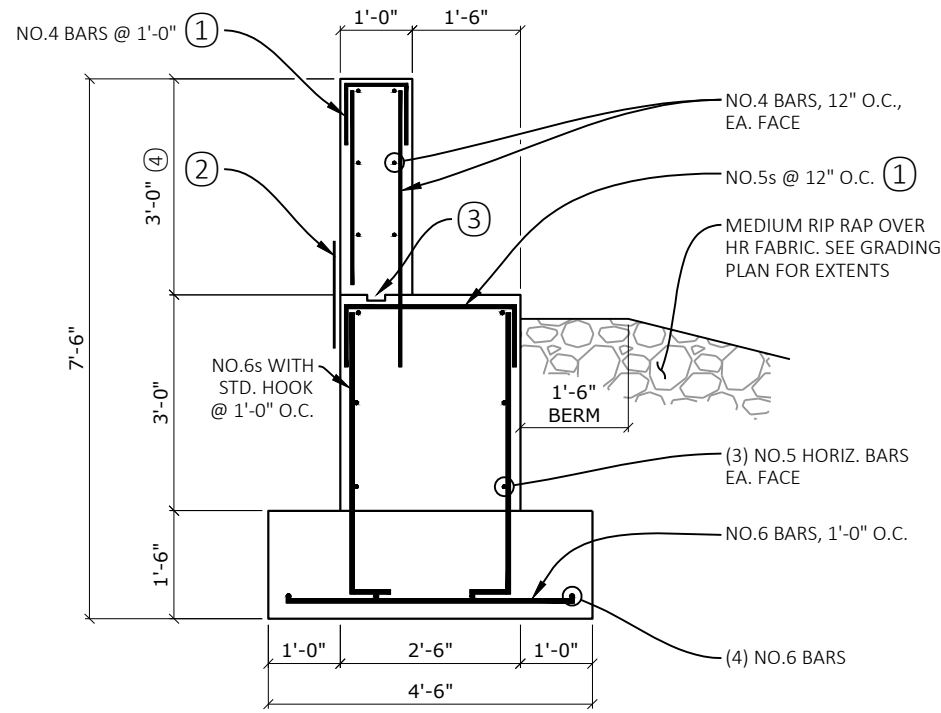
- 1) TIMBER PRESERVATIVE TREATMENT SHALL BE IN ACCORDANCE WITH CURRENT AASHTO SPECIFICATIONS. ALL TIMBER SHALL BE COPPER NAPHTHENATE TREATED.
- 2) SUPER STRUCTURE BEAMS SHALL BE OF A SPECIES AND GRADE CAPABLE OF SAFELY SUPPORTING LOADING INDICATED FOR THE BRIDGE GEOMETRY SHOWN
- 3) DECK PLANK TO BE DOUG-FIR NO.1, S1S1E
- 4) ALL TIMBER IS ROUGH UNLESS NOTED OTHERWISE
- 5) CONCRETE COMPRESSIVE STRENGTH = 3500 PSI @ 28 DAYS
PROVIDE AIR-ENTRAINMENT EQUAL TO 6% BY VOLUME
- 6) ALL HARDWARE TO MEET ASTM A307-97 GALVANIZED TO ASTM F2329 (A153). ALL HIGH STRENGTH HARDWARE TO MEET ASTM A449 GALVANIZED TO ASTM F2329 (A153). ALL STRUCTURAL STEEL TO MEET ASTM A36, GALVANIZED TO ASTM A123

DESIGN DATA

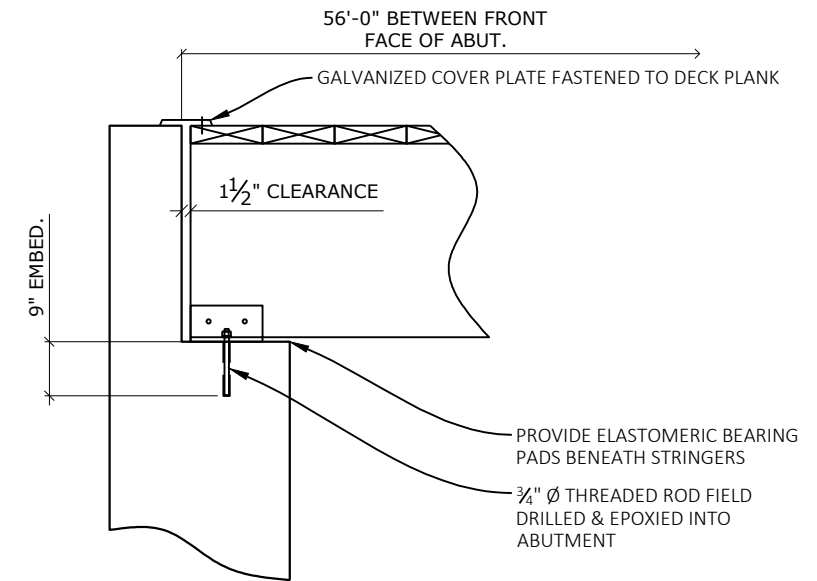
- 1) DESIGN OF THE SUPERSTRUCTURE COMPLIES WITH AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS 8TH EDITION.
- 2) DESIGN LOADS:
 - LIVE LOAD
 - A) A UNIFORM LIVE LOAD OF 90 PSF APPLIED TO THE ENTIRE DECK SURFACE; OR
 - B) 10,000 LB. VEHICLE. (H5)
 - C) RAILING: HORIZONTAL APPLIED LOAD OF 200LBS AT TOP OF RAIL

SUBMITTALS

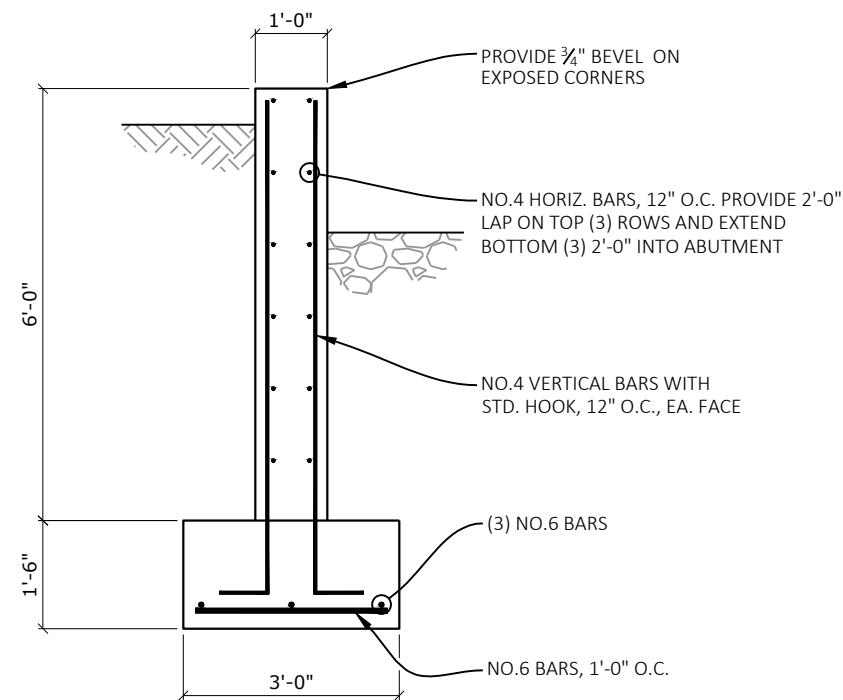
PROVIDE DETAILED DESIGN PLANS AND CALCULATIONS, PREPARED BY AN ENGINEER LICENSED IN WISCONSIN, FOR APPROVAL



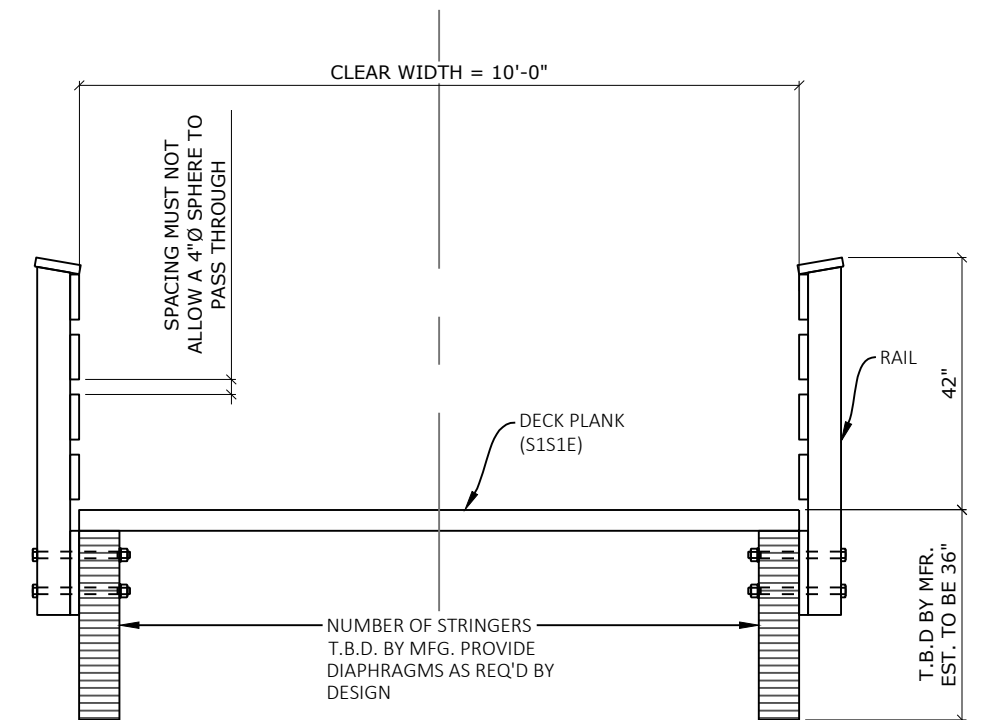
1 ABUTMENT SECTION
 SCALE (22 X 34): 3/4" = 1'-0"
 SCALE (11 X 17): 3/8" = 1'-0"



3 BEARING DETAIL
 SCALE (22 X 34): 3/4" = 1'-0"
 SCALE (11 X 17): 3/8" = 1'-0"



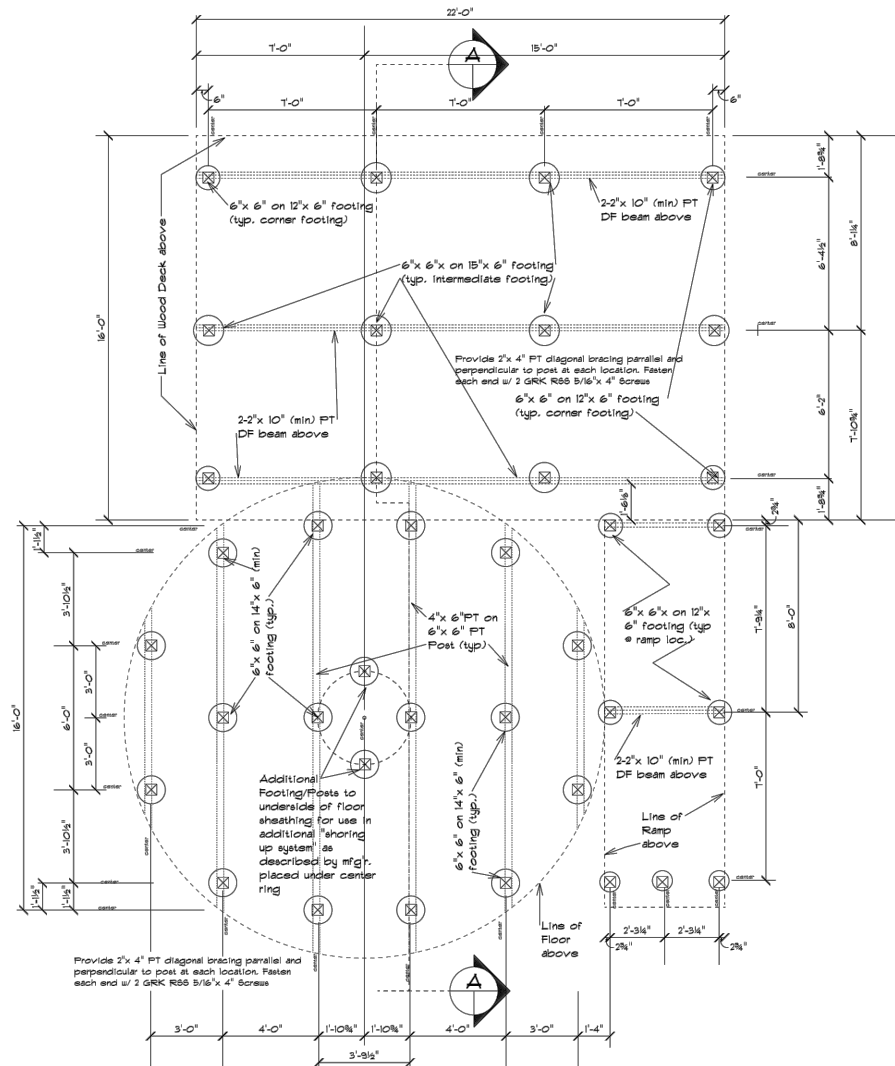
2 WING WALL SECTION
 SCALE (22 X 34): 3/4" = 1'-0"
 SCALE (11 X 17): 3/8" = 1'-0"



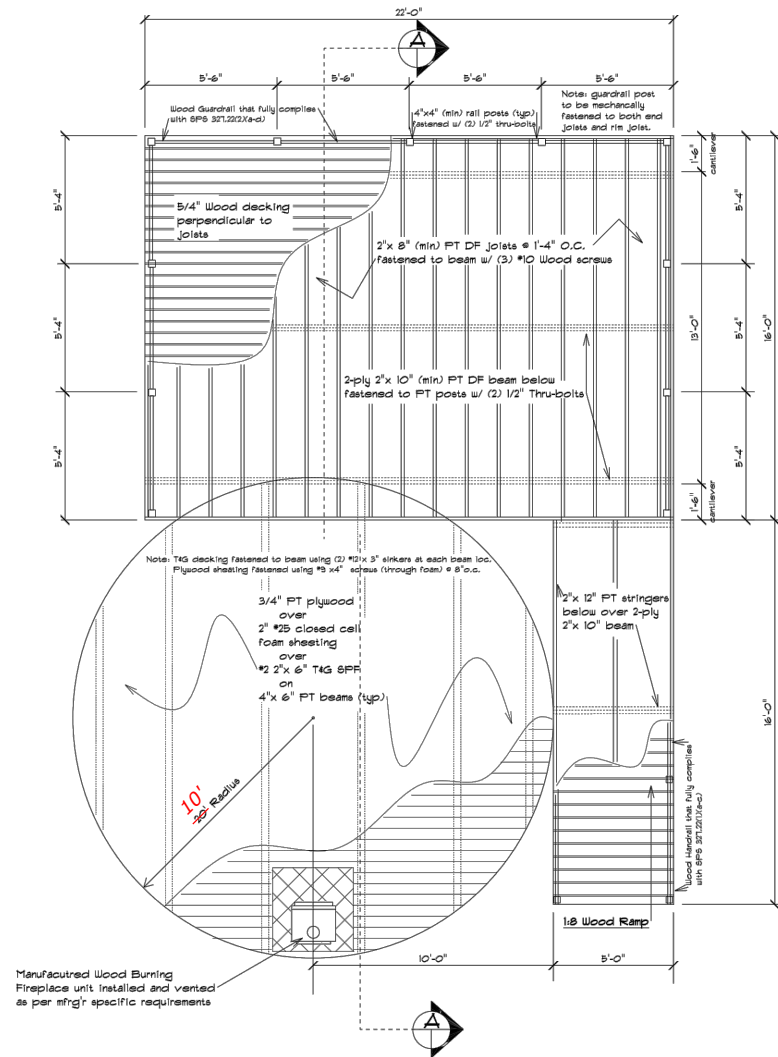
4 SECTION THRU DECK
 SCALE (22 X 34): 3/4" = 1'-0"
 SCALE (11 X 17): 3/8" = 1'-0"

PLOT DATE: Oct 24, 2023 - 03:24pm

| | | | | | | | |
|-----|----|-----------------------------|-----------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------|------------------|--------------------------|
| | | CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. | | 2600 COLLEGE DRIVE, P.O. BOX 230 RICE LAKE, WISCONSIN 54868-0230 TELEPHONE (715) 234-7008 FAX (715) 234-1025 | CITY OF WASHBURN | THOMPSON'S WEST END PARK |
| NO. | BY | DATE | REVISIONS | | CITY OF WASHBURN, BAYFIELD COUNTY | BRIDGE DETAILS | SHEET |



Footing and Post Design and Layout



Floor and Deck Framing Design and Layout

Note: All construction components and material and assemblies to fully comply with Wisconsin Administrative Code SPS 321 and related appendixes, tables and standards.

COURTESY OF:

| | | |
|-----------------------|----------------------------------|-----------------------|
| 20' Yurt Camping Unit | Bayfield Co. Forestry & Parks | |
| | DRAWN BY: WRE | PAGE: Post Foundation |
| | SCALE: 1/2" = 1'-0" | SCALE: 1/8" = 1'-0" |
| | DATE: 7-14-18 | Floor Framing |

| | | | |
|-----|----|------|-----------|
| NO. | BY | DATE | REVISIONS |
| | | | |

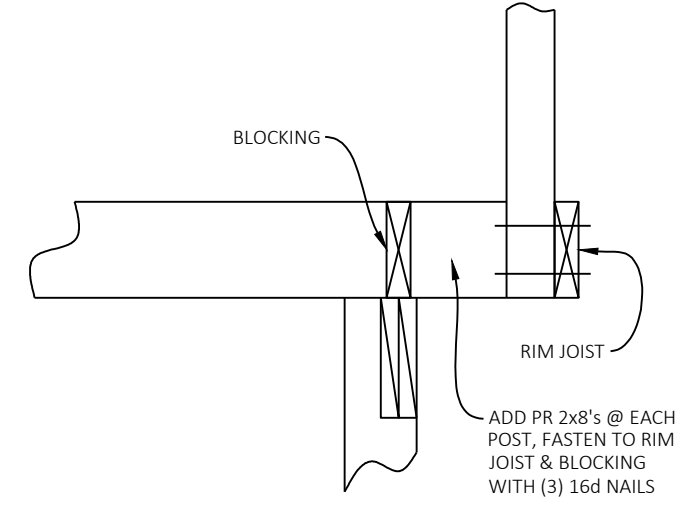
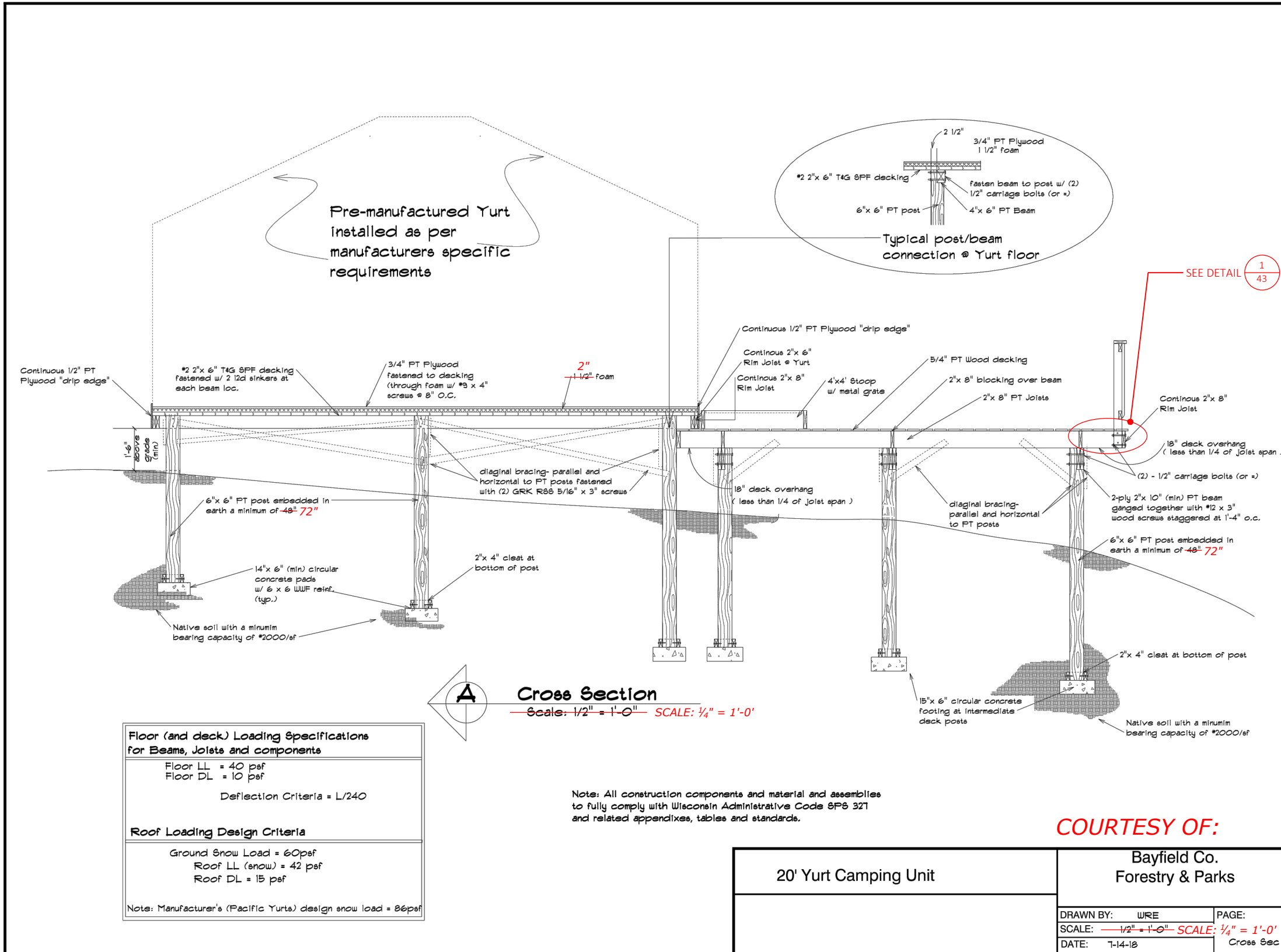
| | |
|-----------------------------|--------------------------------------------|
| CEC PROJECT NO. 23290077 | PROJECT MANAGER NICOLE HODKIEWICZ, P.E. |
| DRAWN BY NJG | CHECKED BY NKH |
| ISSUE DATE 10/24/2023 | APPROVED BY NKH |

COOPER ENGINEERING
2600 COLLEGE DRIVE, P.O. BOX 230
RICE LAKE, WISCONSIN 54868-0230
TELEPHONE (715) 234-7008
FAX (715) 234-1025

CITY OF WASHBURN
CITY OF WASHBURN, BAYFIELD COUNTY

THOMPSON'S WEST END PARK
YURT POST FOUNDATION & FLOOR FRAMING

SHEET 42



1 YURT OVERHANG DETAIL
 SCALE (22 X 34): 1 1/2" = 1'-0"
 SCALE (11 X 17): 3/4" = 1'-0"

| | |
|---------------------------------------------------------------------------------|-------------------------|
| Floor (and deck) Loading Specifications for Beams, Joists and components | |
| Floor LL = 40 psf | Floor DL = 10 psf |
| Deflection Criteria = L/240 | |
| Roof Loading Design Criteria | |
| Ground Snow Load = 60psf | Roof LL (snow) = 42 psf |
| | Roof DL = 15 psf |
| Note: Manufacturer's (Pacific Yurts) design snow load = 86psf | |

A Cross Section
 Scale: 1/2" = 1'-0" SCALE: 1/4" = 1'-0'

Note: All construction components and material and assemblies to fully comply with Wisconsin Administrative Code SPS 321 and related appendixes, tables and standards.

COURTESY OF:

| | | |
|-----------------------|-----------------------------------------|-----------------|
| 20' Yurt Camping Unit | Bayfield Co. Forestry & Parks | |
| | DRAWN BY: WRE | PAGE: Cross Sec |
| | SCALE: 1/2" = 1'-0" SCALE: 1/4" = 1'-0' | |
| | DATE: 7-14-18 | |

8

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: ^{SK} Scott J. Kluver, Administrator
Re: General Fund Budgets, Tax Levy, Library Exemption, and Loan Planning
Date: October 31, 2023

First, there is a public hearing on the proposed 2023 Tax Levy for the 2024 budget. This is an opportunity for the public to comment on budget provisions and express their thoughts on the proposed tax amount. This year, the levy is proposed to increase by \$2,349 which is 0.18 percent. At this time, I am not able to calculate the mill rate as I have not received the manufacturing assessment from the state. Any desired reduction to the levy amount would require reductions in either the capital or operating budgets. The Council still has the ability to make any last-minute changes to the budget if it so chooses. Once the levy is set, no additional changes can be made that would adjust the levy amount. We will be using that amount to prepare the tax bills for distribution in December. I recommend approval of the attached levy resolution.

For your reference, you will find the published operating and capital budgets based on the last meeting enclosed. Do note that I have included the capital project listing as well. The items highlighted in blue are included in the 2024 Capital budget, and the items highlighted in tan are proposed to be borrowed for (as many as can be afforded) and will be future debt service. Recently, the Personnel/Finance Committee met to consider the items to be borrowed for. During that discussion, the Committee ranked the items in priority, with the understanding that some of the items would have other, at least partial, funding sources to assist in their financing. At this time, we do not know exactly how much the City would be able to borrow without increasing the tax rate, or what the final price tag on some of these items would be. What is most important at this meeting is to lock in the items for the regular 2024 Capital budget. Once that is set, consideration of capital items to be borrowed for should occur.

Regarding the items to be borrowed, the key to this is the Bayfield Street Project. The project budget has now been set at \$4.8 million. This includes the engineering, contractor, WisDOT, and contingency expenses. It does not include any expenses related to programs for service lateral replacement. As was previously stated, the City was awarded a \$1,000,000 CDBG grant for this project. Now, I am pleased to state that the City received approval from the Safe Drinking Water Program from the Wis DNR. This program will provide a low interest loan for all water eligible expenses, and provide for up to 50 percent principal forgiveness which would be an anticipated grant of up to \$1,012,231.58. The last component we are waiting for is the application to the Clean Water Fund which would be the mirror program for sewer

eligible expenses. We will likely not hear on that until January, but once we do and assuming the news is positive, we should proceed with the borrowing process. If successful, we will need to borrow a little under a \$1 million for the General Fund portion of Phase 1. It will be important to be ready so we are able to move without delay.

You will note that after the Bayfield Street Project, the next recommended priority is a new fire truck. While we do not yet have final details on a fire truck at this time, know that before the City commits to purchasing a fire truck, it will be necessary to provide notice to the three adjacent towns to allow them to comment on the discussion. If the Council decides to keep the fire truck as a priority, it may be possible to do that for the December Council meeting. You will note the other priorities on the list include the Thompson's West End Park Campground Expansion Project and other projects including Public Works Equipment. It should be noted that if our borrowing is for more than 10 years, separate financing for equipment may be necessary as we should not pay a 20-year loan for any item that does not have that life expectancy. The Council should determine if they agree that this would be the next priority along with the other prioritized items on the list.

Finally, included for your approval is a resolution for being exempted from the County Library Tax. This is an annual resolution that must be adopted by communities that fund their own libraries, so they do not have to pay County property tax for that service. The County does contribute an amount each year to help fund our Library from the taxes received from towns and communities without a library. That amount is included in the budget. I recommend approval of this resolution.

Please do not hesitate to contact me if you have any questions on any of these budget matters.

CITY OF WASHBURN
2023 (2024 Municipal Budget) Tax Levy Hearing

NOTICE IS HEREBY GIVEN that on Monday, November 13, 2023, at 5:30 PM In the Council Chambers of the Washburn City Hall, 119 Washington Avenue, Washburn, Wisconsin, a public hearing will be held on the 2023 tax levy for the City of Washburn. The 2024 budget is available for inspection at the Washburn City Hall during normal business hours (Tuesday-Friday 10:00 am - 4:30 pm). The following is a summary of the proposed 2024 budget under discussion. Action on establishing the 2023 tax levy will likely occur following the public hearing. A copy of the budget will also be posted on the the City of Washburn website at <http://www.cityofwashburn.org/finance.html> .

| <u>GENERAL FUND</u> | <u>2023 Budget</u> | <u>2023 Year End Estimated</u> | <u>2024 Budget</u> | <u>Percentage Change</u> |
|----------------------------------|------------------------|------------------------------------|------------------------|------------------------------|
| REVENUES | | | | |
| Gen Property Taxes | \$ 685,000 | \$ 685,000 | \$ 692,100 | 1.0% |
| Other Taxes | \$ 112,280 | \$ 112,280 | \$ 112,280 | 0.0% |
| Intergovernmental Revenues | \$ 890,840 | \$ 890,840 | \$ 1,008,598 | 13.2% |
| Licenses & Permits | \$ 35,450 | \$ 35,450 | \$ 38,250 | 7.9% |
| Fines, Forfeitures & Penalties | \$ 7,750 | \$ 7,750 | \$ 7,750 | 0.0% |
| Public Charges for Services | \$ 584,600 | \$ 584,600 | \$ 614,600 | 5.1% |
| Intergovernmental Charges | \$ 204,580 | \$ 204,580 | \$ 212,574 | 3.9% |
| Miscellaneous | \$ 8,700 | \$ 8,700 | \$ 27,500 | 216.1% |
| Transfers from Other Funds | \$ 45,000 | \$ 45,000 | \$ 5,000 | -88.9% |
| G.O. REVENUES | \$ 2,574,200 | \$ 2,574,200 | \$ 2,718,652 | 5.6% |
| Fund Balance Applied | <u>\$ 247,104</u> | <u>\$ 247,104</u> | <u>\$ 264,963</u> | 7.2% |
| TOTAL REVENUES | \$ 2,821,304 | \$ 2,821,304 | \$ 2,983,615 | 5.8% |
| EXPENDITURES | | | | |
| General Government | \$ 482,573 | \$ 482,573 | \$ 463,962 | -3.9% |
| Public Safety | \$ 1,050,301 | \$ 1,050,301 | \$ 1,153,232 | 9.8% |
| Public Works | \$ 632,496 | \$ 632,496 | \$ 676,174 | 6.9% |
| Health & Human Services | \$ 39,134 | \$ 39,134 | \$ 42,157 | 7.7% |
| Culture, Education & Recreation | \$ 485,197 | \$ 485,197 | \$ 511,411 | 5.4% |
| Conservation & Development | \$ 21,603 | \$ 21,603 | \$ 25,679 | 18.9% |
| Miscellaneous | \$ 110,000 | \$ 110,000 | \$ 111,000 | 0.9% |
| G.O. EXPENDITURES | \$ 2,821,304 | \$ 2,821,304 | \$ 2,983,615 | 5.8% |
| SUMMARY ITEMS: | | | | |
| General Fund Property Taxes | \$ 685,000 | | \$ 692,100 | 1.0% |
| Capital Projects Taxes | \$ 293,975 | | \$ 289,410 | -1.6% |
| Debt Service Taxes | <u>\$ 315,277</u> | | <u>\$ 315,091</u> | -0.1% |
| Total Property Tax Amount | \$ 1,294,252 | | \$ 1,296,601 | 0.18% |

General Fund Balance December 31, 2022 = \$1,569,406
 Projected General Fund Balance December 31, 2023 = \$1,322,302
 Projected General Fund Balance December 31, 2024 = \$1,057,339

Scott J. Kluver
 City Administrator/Clerk

Publication: 10/17/2023 0:00
 Block Ad: Daily Press

**COMMON COUNCIL FOR THE CITY
OF
WASHBURN, WISCONSIN**

Resolution No. 23-016

**RESOLUTION ADOPTING THE
2023 MUNICIPAL TAX LEVY**

WHEREAS, the proposed 2024 Budget requires funding from the levying of taxes on real and personal property within the corporate limits of the City of Washburn, Bayfield County, Wisconsin,

BE IT RESOLVED, that there is hereby levied a tax of \$1,296,601

| | |
|-------------------------------|-----------|
| General Fund | \$692,100 |
| Debt Service Fund | \$315,091 |
| Capital Improvement | \$289,410 |

| | |
|---------------|--------------------|
| TOTAL: | \$1,296,601 |
|---------------|--------------------|

BE IT FURTHER RESOLVED, that the Clerk of the City of Washburn is hereby authorized and directed to spread said tax upon the current tax roll of the City of Washburn and to collect the same at the proper time, as set by law.

Dated this 13th day of November, 2023

Mary D. Motiff, Mayor

STATE OF WISCONSIN)
)
COUNTY OF BAYFIELD)

I hereby certify that the foregoing revised resolution is a true, correct and complete copy of Resolution #23-016 duly and regularly passed by the Common Council for the City of Washburn on the 13th day of November, 2023, and that said resolution has not been repealed or amended, and is now in full force and effect.

Scott J. Kluver, City Clerk

**COMMON COUNCIL FOR THE CITY
OF
WASHBURN, WISCONSIN**

Resolution No. #23-017

COUNTY LIBRARY LEVY EXEMPTION RESOLUTION

WHEREAS, Section 43.64(2)(b), Wisconsin Statutes, permits municipalities levying a tax for the operation of a public library to exempt its jurisdiction from the County library levy upon written application to the County if the municipal library expenditure is higher than the corresponding County public library levy; and,

WHEREAS, such an exemption requires a written application to Bayfield County; and,

WHEREAS, the City of Washburn continues to fund its municipal library at a higher level than Bayfield County’s contributions to the operation of the Washburn Public Library.

NOW THEREFORE BE IT RESOLVED, that the Common Council for the City of Washburn, Bayfield County, Wisconsin, in accordance with the intent of the above referenced Wisconsin Statute, hereby enacts the provisions of Section 43.64(2)(b) and exempts itself from the Bayfield County library levy for the year 2023 tax levy payable in 2024; and,

BE IT FURTHER RESOLVED, that this Resolution consists of the City’s written application for the library tax exemption and that the Clerk of the City of Washburn is hereby instructed to communicate this Resolution and application for an exemption of the Bayfield County library levy to Bayfield County.

Dated this 13th day of November, 2023.

Mary D. Motiff, Mayor

STATE OF WISCONSIN)
)
COUNTY OF BAYFIELD)

I hereby certify that the foregoing resolution is a true, correct and complete copy of a Resolution #23-017 duly and regularly passed by the Common Council for the City of Washburn on the 13th day of November, 2023, and that said resolution has not been repealed or amended, and is now in full force and effect.

Scott J. Kluver, City Clerk

Committee Recommended

9/27/2023

3:45 PM

Proposed Budget Overview - Detail

Page: 1

ACCT

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|-----------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 100-00-41110-000-000 | GENERAL PROPERTY TAXES | 479,443.56 | 0.00 | 685,000.00 | 692,100.00 | 1.04 |
| 100-00-41150-000-000 | MANAGED FOREST LAND | 252.96 | 0.00 | 250.00 | 250.00 | 0.00 |
| 100-00-41210-000-000 | ROOM TAX | 100,306.45 | 0.00 | 95,000.00 | 95,000.00 | 0.00 |
| 100-00-41310-000-000 | TAXES FROM MUNICIPAL UTILITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-41320-000-000 | TAXES FROM HOUSING AUTHORITY | 17,002.29 | 0.00 | 17,000.00 | 17,000.00 | 0.00 |
| 100-00-41800-000-000 | INTEREST & PENALTIES ON TAXES | 26.19 | 0.00 | 30.00 | 30.00 | 0.00 |
| 100-00-41901-000-000 | OMITTED TAXES | 201.35 | 0.00 | 0.00 | 0.00 | 0.00 |
| TAXES | | 597,232.80 | 0.00 | 797,280.00 | 804,380.00 | 0.89 |
| 100-00-43300-000-000 | ARPA LOCAL RECOVERY FUND AID | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43410-000-000 | SHARED REVENUES | 615,729.89 | 0.00 | 626,762.00 | 752,114.00 | 20.00 |
| 100-00-43411-000-000 | PERSONAL PROPERTY TAX AID | 3,202.45 | 0.00 | 3,202.00 | 3,202.00 | 0.00 |
| 100-00-43412-000-000 | EXPENDITURE RESTRAINT | 32,414.83 | 0.00 | 31,792.00 | 0.00 | -100.00 |
| 100-00-43413-000-000 | BUSINESS COMPUTER CREDIT | 491.56 | 0.00 | 492.00 | 0.00 | -100.00 |
| 100-00-43414-000-000 | STATE MEDICAL TRANSPORT REIMB | 13,436.41 | 0.00 | 5,500.00 | 0.00 | -100.00 |
| 100-00-43415-000-000 | CARES ACT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43420-000-000 | FIRE INSURANCE | 6,404.01 | 0.00 | 11,500.00 | 16,000.00 | 39.13 |
| 100-00-43421-000-000 | FIRE DEPARTMENT RECOVERIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43422-000-000 | POLICE DEPARTMENT RECOVERIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43430-000-000 | LAW ENFORCEMENT AIDS | 800.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-43431-000-000 | PD COUNTER ACT FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43520-000-000 | PUBLIC SAFETY GRANTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43521-000-000 | STATE AID RECYCLING GRANT | 15,438.47 | 0.00 | 15,400.00 | 15,400.00 | 0.00 |
| 100-00-43523-000-000 | STATE GRANTS -FIRE | 3,291.05 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43524-000-000 | PEFCA TANK REMOVAL GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43525-000-000 | MARINA REPAY - COAL DOCK | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43526-000-000 | STATE GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43527-000-000 | URBAN FORESTRY GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43530-000-000 | HIGHWAY AIDS | 140,473.07 | 0.00 | 134,410.00 | 132,610.00 | -1.34 |
| 100-00-43535-000-000 | SAFETY GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43536-000-000 | FEMA DISASTER REIMBURSEMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43537-000-000 | FEMA GRANT - FIRE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43540-000-000 | STATE AID GRANT CDBG | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43610-000-000 | OTHER PAYMENTS FOR MUN SERVICE | 364.38 | 0.00 | 296.00 | 364.00 | 22.97 |
| 100-00-43611-000-000 | WHEDA PAINT & FIX UP GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43612-000-000 | VIDEO SERVICE PROVIDER AID | 5,069.81 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-43620-000-000 | LIBRARY GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-43621-000-000 | LIBRARY - CO. GRANT | 50,054.00 | 0.00 | 53,319.00 | 62,525.00 | 17.27 |
| 100-00-43622-000-000 | COMMUNITY GRANT | 5,000.00 | 0.00 | 0.00 | 20,000.00 | 999.99 |
| 100-00-43632-000-000 | LIBRARY-CROSS COUNTY GRANT | 2,837.77 | 0.00 | 2,167.00 | 383.00 | -82.33 |
| 100-00-43650-000-000 | MFL -STATE AID | 7.76 | 0.00 | 0.00 | 0.00 | 0.00 |
| INTERGOVERNMENTAL REVENUES | | 895,015.46 | 0.00 | 890,840.00 | 1,008,598.00 | 13.22 |
| 100-00-44110-000-000 | LIQUOR LICENSES | 5,398.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-44121-000-000 | OPERATOR LICENSES | 1,820.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-44122-000-000 | CIGARETTE LICENSES | 150.00 | 0.00 | 150.00 | 150.00 | 0.00 |
| 100-00-44125-000-000 | SUNDRY LICENSES | 3,233.62 | 0.00 | 700.00 | 1,000.00 | 42.86 |
| 100-00-44200-000-000 | CABLE FRANCHISE FEE | 21,771.23 | 0.00 | 20,000.00 | 20,000.00 | 0.00 |
| 100-00-44301-000-000 | BUILDING PERMITS | 6,219.30 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-44400-000-000 | ZONING PERMITS | 13,216.78 | 0.00 | 2,500.00 | 5,000.00 | 100.00 |
| 100-00-44420-000-000 | VACATING FEES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-44421-000-000 | LEASE AGREEMENT | 100.00 | 0.00 | 100.00 | 100.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|-------------------------------------------|--------------------------------|----------------------------|-------------------------------|----------------|----------------------------|-----------------------|
| LICENSES & PERMITS | | 51,908.93 | 0.00 | 35,450.00 | 38,250.00 | 7.90 |
| 100-00-45110-000-000 | COURT PENALTIES AND COSTS | 6,774.00 | 0.00 | 7,000.00 | 7,000.00 | 0.00 |
| 100-00-45130-000-000 | PARKING VIOLATIONS | 2,870.00 | 0.00 | 750.00 | 750.00 | 0.00 |
| 100-00-45131-000-000 | MUNICIPAL ORDINANCE VIOLATIONS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-45191-000-000 | OTHER LAW/ORDINANCE VIOLATIONS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| FINES, FORFEITURES & PENALTIES | | 9,644.00 | 0.00 | 7,750.00 | 7,750.00 | 0.00 |
| 100-00-46192-000-000 | MAPS & PLATS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46193-000-000 | COPY SERVICE | 60.75 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-46194-000-000 | LOAN FEE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46230-000-000 | AMBULANCE FEES | 104,833.34 | 0.00 | 150,000.00 | 150,000.00 | 0.00 |
| 100-00-46430-000-000 | SOLID WASTE DISPOSAL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46431-000-000 | SOLID WASTE DISP-CUSTOMER | 141,565.40 | 0.00 | 140,000.00 | 145,000.00 | 3.57 |
| 100-00-46432-000-000 | SOLID WASTE DISPOSAL - BAGS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46433-000-000 | FEES CHARGED/CITY WIDE CLEANUP | 6,101.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-46540-000-000 | CEMETERY | 6,450.00 | 0.00 | 7,000.00 | 7,000.00 | 0.00 |
| 100-00-46541-000-000 | MISC CEMETERY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46542-000-000 | CEMETERY LOTS | 6,000.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-46550-000-000 | DOG LICENSE FEES | 246.00 | 0.00 | 400.00 | 400.00 | 0.00 |
| 100-00-46720-000-000 | PARK FEES - WEST END | 147,815.00 | 0.00 | 140,000.00 | 155,000.00 | 10.71 |
| 100-00-46721-000-000 | CAMP FEES - MEMORIAL | 125,372.00 | 0.00 | 120,000.00 | 130,000.00 | 8.33 |
| 100-00-46722-000-000 | SHOWERS | 5,574.56 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-46723-000-000 | OTHER PARK FEES | 2,011.00 | 0.00 | 700.00 | 700.00 | 0.00 |
| 100-00-46724-000-000 | SEASONAL SECURITY DEPOSIT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46725-000-000 | BOAT LAUNCH FEES | 6,033.00 | 0.00 | 7,000.00 | 7,000.00 | 0.00 |
| 100-00-46726-000-000 | FIRE WOOD SALES | 6,250.00 | 0.00 | 6,000.00 | 6,000.00 | 0.00 |
| 100-00-46743-000-000 | RECREATION PROGRAM PROCEEDS | 465.00 | 0.00 | 300.00 | 300.00 | 0.00 |
| 100-00-46744-000-000 | RECREATION-TENNIS PARTNERSHIP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46745-000-000 | Y.C. CONCESSIONS | 2,121.61 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-46790-000-000 | SIDEWALK REPAIRS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46901-000-000 | EQUIPMENT RENTAL | 190.55 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46902-000-000 | MATERIAL SALES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-46903-000-000 | LABOR FOR PRIVATE WORK | 179.15 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLIC CHARGES FOR SERVICES | | 561,268.36 | 0.00 | 584,600.00 | 614,600.00 | 5.13 |
| 100-00-47321-000-000 | FIRE CONTRACTS | 65,055.12 | 0.00 | 62,025.00 | 64,692.00 | 4.30 |
| 100-00-47322-000-000 | AMBULANCE CONTRACTS | 113,120.80 | 0.00 | 123,867.00 | 129,194.00 | 4.30 |
| 100-00-47323-000-000 | TOWNSHIP SHARE P & I | 18,347.77 | 0.00 | 18,348.00 | 18,348.00 | 0.00 |
| 100-00-47324-000-000 | LAW SVC - OTHER LOCAL GOVTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-47341-000-000 | LANDFILL LONG-TERM MNTNCE | 575.00 | 0.00 | 340.00 | 340.00 | 0.00 |
| INTERGOVT CHARGES FOR SERVICES | | 197,098.69 | 0.00 | 204,580.00 | 212,574.00 | 3.91 |
| 100-00-48100-000-000 | INTEREST ON INVESTMENTS | 3,459.74 | 0.00 | 1,200.00 | 20,000.00 | 999.99 |
| 100-00-48111-000-000 | INTEREST ON LATE PAYMENTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48112-000-000 | INTEREST FROM WWSU | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48115-000-000 | HARBOR INTEREST REPAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48200-000-000 | RENT | 50.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48300-000-000 | PROPERTY SALES | 7,580.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48303-000-000 | SALE OF CITY EQT | 2,525.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-48400-000-000 | INSURANCE RECOVERIES | 0.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-48401-000-000 | INSURANCE AUDIT ADJUSTMENTS | 8,849.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|----------------------------------|--------------------------------|----------------------------|-------------------------------|---------------------|----------------------------|-----------------------|
| 100-00-48402-000-000 | INSURANCE RECOVERIES OTHER | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48403-000-000 | DAMAGED PROPERTY RECOVERIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48500-000-000 | DONATIONS | 200.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-48501-000-000 | FIRE DEPT. DONATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48502-000-000 | DONATIONS - Non Gov. GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48503-000-000 | DONATIONS-H.P.C | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48504-000-000 | LIBRARY - DONATIONS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48505-000-000 | AMBULANCE DONATIONS | 2,500.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48600-000-000 | MISCELLANEOUS REVENUES | 12,260.59 | 0.00 | 3,500.00 | 3,500.00 | 0.00 |
| 100-00-48601-000-000 | MISC.-LIBRARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48605-000-000 | MISC. ZONING | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-48901-000-000 | GARNISHMENT REVENUES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| OTHER FINANCING SOURCES | | 37,424.33 | 0.00 | 8,700.00 | 27,500.00 | 216.09 |
| 100-00-49100-000-000 | PROCEEDS FROM LONG TERM DEBT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49101-000-000 | TRAN. FROM DEBT SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49102-000-000 | TRANS. FROM CAPITAL PROJECTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49210-000-000 | TRANSFER FROM GENERAL FUND | 0.00 | 0.00 | 247,104.00 | 264,963.00 | 7.23 |
| 100-00-49211-000-000 | TRANSFER FROM ATHLETIC FIELD | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49221-000-000 | TRANSFER FROM MARINA OPERATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49222-000-000 | TRANSFER FROM ECONOMIC DEVEL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49223-000-000 | TRANSFER FROM TAX INCREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49224-000-000 | TRANSFER FROM CEM PERP CARE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49225-000-000 | TRANSFER FROM PARK OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49226-000-000 | TRANSFER FROM ACT 102 | 0.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-49227-000-000 | TRANSFER FROM REFUSE FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49228-000-000 | TRANS. FROM PD CRIME PREVENTIO | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49229-000-000 | TRANSFER FROM COMMUNITY DEV. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49230-000-000 | TRANSFER FROM DEBT SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49231-000-000 | TRANSFER FROM LEGION PARK | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49241-000-000 | TRANSFER FROM WATERFRONT DEV | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49242-000-000 | TRANSFER FROM PUBLIC FAC. FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49243-000-000 | TRANSFER FROM SKATE BOARD FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49244-000-000 | TRANSFER FROM WWSU | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49245-000-000 | TRANSFER FROM BOAT LAUNCH | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49246-000-000 | TRANSFER FROM CIVIC CENTER | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49247-000-000 | TRANSFER FROM STORMWATER | 0.00 | 0.00 | 40,000.00 | 0.00 | -100.00 |
| 100-00-49300-551-323 | F/C BAL. LIBRARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49400-000-000 | SALES OF GENERAL FIXED ASSETS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-49450-000-000 | TRANSFER FROM FUND 450 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| TRANSFER FROM OTHER FUNDS | | 0.00 | 0.00 | 292,104.00 | 269,963.00 | -7.58 |
| Total Revenues | | 2,349,592.57 | 0.00 | 2,821,304.00 | 2,983,615.00 | 5.75 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|--------------------------------|--------------------------------|----------------------------|-------------------------------|------------------|----------------------------|-----------------------|
| 100-00-51101-000-000 | COUNCIL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51101-111-000 | COUNCIL PER DIEM | 8,405.00 | 0.00 | 13,650.00 | 13,650.00 | 0.00 |
| 100-00-51101-151-000 | COUNCIL FICA | 643.00 | 0.00 | 1,044.00 | 1,044.00 | 0.00 |
| 100-00-51101-152-000 | COUNCIL RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51101-158-000 | COUNCIL WORKMENS COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51101-299-000 | COUNCIL CONTINUING EDUCATION | 272.44 | 0.00 | 750.00 | 750.00 | 0.00 |
| 100-00-51101-311-000 | COUNCIL SUPPLIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| COUNCIL | | 9,320.44 | 0.00 | 15,444.00 | 15,444.00 | 0.00 |
| 100-00-51102-000-000 | MAYOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51102-110-000 | MAYOR SALARY | 9,288.09 | 0.00 | 9,474.00 | 9,663.00 | 1.99 |
| 100-00-51102-151-000 | MAYOR FICA | 710.58 | 0.00 | 725.00 | 739.00 | 1.93 |
| 100-00-51102-152-000 | MAYOR RETIREMENT | 603.49 | 0.00 | 644.00 | 667.00 | 3.57 |
| 100-00-51102-155-000 | MAYOR LIFE INSURANCE | 0.00 | 0.00 | 8.00 | 8.00 | 0.00 |
| 100-00-51102-158-000 | MAYOR WORKMENS COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51102-297-000 | MAYOR ENTERTAINMENT | 134.24 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-51102-299-000 | MAYOR CONTINUING EDUCATION | 1,551.35 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-51102-311-000 | MAYOR OFFICE SUPPLIES/EQUIP. | 125.00 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-51102-312-000 | MAYOR PROJECTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| MAYOR | | 12,412.75 | 0.00 | 14,551.00 | 14,777.00 | 1.55 |
| 100-00-51103-000-000 | PUBLICATION FEES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51103-322-000 | PUB. FEES NEWS PAPER ADV. | 5,171.28 | 0.00 | 12,000.00 | 10,000.00 | -16.67 |
| 100-00-51103-323-000 | PUBL. FEES NEWSLETTER | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLICATION FEES | | 5,171.28 | 0.00 | 12,000.00 | 10,000.00 | -16.67 |
| 100-00-51301-000-000 | ATTORNEY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51301-210-000 | ATTORNEY PROF. SERVICE | 29,355.82 | 0.00 | 31,000.00 | 31,000.00 | 0.00 |
| ATTORNEY | | 29,355.82 | 0.00 | 31,000.00 | 31,000.00 | 0.00 |
| 100-00-51302-000-000 | LEGAL CONTINGENCY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51302-210-000 | LEGAL CONTINGENCY PROF. SERVIC | 1,540.00 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| LEGAL CONTINGENCY | | 1,540.00 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| 100-00-51303-000-000 | MUNICIPAL CODE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51303-210-000 | MUNICIPAL CODE PROF. SERVICES | 492.25 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| MUNICIPAL CODE | | 492.25 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| 100-00-51304-000-000 | PROFESSIONAL CONSULTANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51304-210-000 | PROF. CONSULTANT SERVICES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PROFESSIONAL CONSULTANT | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51410-000-000 | CITY ADMINISTRATOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51410-110-000 | CITY ADMINISTRATOR SALARY | 61,526.51 | 0.00 | 67,357.00 | 69,378.00 | 3.00 |
| 100-00-51410-112-000 | CITY ADMINISTRATOR MILEAGE | 679.25 | 0.00 | 1,380.00 | 1,380.00 | 0.00 |
| 100-00-51410-113-000 | CITY ADMINISTRATOR-LONGEVITY | 209.25 | 0.00 | 223.00 | 236.00 | 5.83 |
| 100-00-51410-151-000 | CITY ADMINISTRATOR FICA | 4,602.50 | 0.00 | 5,170.00 | 5,325.00 | 3.00 |
| 100-00-51410-152-000 | CITY ADMINISTRATOR RETIREMENT | 3,979.01 | 0.00 | 4,595.00 | 4,803.00 | 4.53 |
| 100-00-51410-154-000 | CITY ADMINISTRATOR HEALTH INS. | 6,502.97 | 0.00 | 6,968.00 | 8,091.00 | 16.12 |
| 100-00-51410-155-000 | CITY ADMINISTRATOR LIFE INS. | 17.52 | 0.00 | 18.00 | 18.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 100-00-51410-158-000 | CITY ADMIN. WORKMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51410-159-000 | CITY ADMINISTRATOR ICI | 0.00 | 0.00 | 169.00 | 176.00 | 4.14 |
| 100-00-51410-294-000 | CITY ADMIN. COMPUTER SUPP/SERV | 371.94 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-51410-297-000 | CITY ADM. ENTERTAINMENT | 0.00 | 0.00 | 300.00 | 300.00 | 0.00 |
| 100-00-51410-299-000 | CITY ADMIN. CONTINUING EDUC | 1,066.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-51410-311-000 | CITY ADMIN OFFICE SUPPLIES | 0.00 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-51410-321-000 | CITY ADMIN PUBLICATIONS DUES | 545.13 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-51410-323-000 | CITY ADMIN INTERN | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51410-324-000 | CITY ADMIN-SOLICITATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51410-820-000 | CITY ADMIN MOVING EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| CITY ADMINISTRATOR | | 79,500.08 | 0.00 | 89,880.00 | 93,407.00 | 3.92 |
| 100-00-51420-000-000 | CLERK | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51420-110-000 | CLERK SALARY(2) | 84,026.14 | 0.00 | 89,988.00 | 92,688.00 | 3.00 |
| 100-00-51420-111-000 | CLERK PER DIEM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51420-112-000 | CLERK MILEAGE | 0.00 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-51420-113-000 | CLERK LONGEVITY | 355.47 | 0.00 | 355.00 | 370.00 | 4.23 |
| 100-00-51420-151-000 | CLERK FICA | 6,141.76 | 0.00 | 6,911.00 | 7,119.00 | 3.01 |
| 100-00-51420-152-000 | CLERK RETIREMENT | 5,370.58 | 0.00 | 6,143.00 | 6,421.00 | 4.53 |
| 100-00-51420-154-000 | CLERK HEALTH INSURANCE | 22,959.74 | 0.00 | 24,058.00 | 27,968.00 | 16.25 |
| 100-00-51420-155-000 | CLERK LIFE INSURANCE | 64.56 | 0.00 | 65.00 | 65.00 | 0.00 |
| 100-00-51420-158-000 | CLERK WORKMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51420-159-000 | CLERK ICI | 0.00 | 0.00 | 226.00 | 235.00 | 3.98 |
| GENERAL & ADMIN. SALARY | | 118,918.25 | 0.00 | 129,246.00 | 136,366.00 | 5.51 |
| 100-00-51422-000-000 | ADMINISTRATIVE ASSISTANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51422-110-000 | ADMIN. ASSISTANT SALARY | 3,898.09 | 0.00 | 4,329.00 | 4,338.00 | 0.21 |
| 100-00-51422-111-000 | ADMIN. ASSISTANT PER DIEM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51422-112-000 | ADMIN ASSISTANT MILEAGE | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-51422-113-000 | ADMIN. ASSISTANT LONGEVITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51422-151-000 | ADMIN. ASSISTANT FICA | 481.66 | 0.00 | 331.00 | 342.00 | 3.32 |
| 100-00-51422-152-000 | ADMIN. ASSISTANT RETIREMENT | 251.90 | 0.00 | 294.00 | 308.00 | 4.76 |
| 100-00-51422-154-000 | ADMIN. ASSISTANT HEALTH INS | 2,417.00 | 0.00 | 360.00 | 360.00 | 0.00 |
| 100-00-51422-155-000 | ADMIN. ASSISTANT LIFE INS. | 3.45 | 0.00 | 1.00 | 4.00 | 300.00 |
| 100-00-51422-157-000 | ADMIN. ASSISTANT UNEMPLOYMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51422-158-000 | ADMIN. ASSISTANT WORKMENS COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51422-159-000 | ADMIN. ASSISTANT ICI | 0.00 | 0.00 | 11.00 | 11.00 | 0.00 |
| ADMINISTRATIVE ASSISTANT | | 7,052.10 | 0.00 | 5,826.00 | 5,863.00 | 0.64 |
| 100-00-51440-000-000 | ELECTIONS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-110-000 | ELECTIONS SALARIES | 4,416.00 | 0.00 | 2,400.00 | 5,000.00 | 108.33 |
| 100-00-51440-112-000 | ELECTIONS MILEAGE | 0.00 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-51440-116-000 | ELECTIONS INTER DEPT. LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-151-000 | ELECTIONS FICA | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-152-000 | ELECTIONS RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-154-000 | ELECTIONS HEALTH INS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-155-000 | ELECTIONS LIFE INS. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-158-000 | ELECTIONS WORKMENS COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-159-000 | ELECTIONS ICI | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51440-299-000 | ELECTIONS TRAINING | 408.00 | 0.00 | 300.00 | 300.00 | 0.00 |
| 100-00-51440-311-000 | ELECTION SUPPLIES | 1,193.61 | 0.00 | 2,100.00 | 2,100.00 | 0.00 |
| 100-00-51440-321-000 | ELECTION PUBLICATION DUES | 711.68 | 0.00 | 500.00 | 500.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|---------------------------------|--------------------------------|----------------------------|-------------------------------|------------------|----------------------------|-----------------------|
| 100-00-51440-322-000 | ELECTIONS NEWSPAPER ADV. | 1,030.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-51440-342-000 | ELECTIONS EQT. REPAIRS & MAINT | 0.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-51440-810-000 | ELECTION OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| ELECTIONS | | 7,759.29 | 0.00 | 8,500.00 | 11,100.00 | 30.59 |
| 100-00-51450-000-000 | OFFICE DEPARTMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51450-191-000 | OFFICE DEPART. PERSONNEL TRAIN | 2,432.44 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 100-00-51450-210-000 | OFFICE DEPART PROF. SERVICE | 173.98 | 0.00 | 4,650.00 | 4,650.00 | 0.00 |
| 100-00-51450-294-000 | OFFICE COMPUTER SUPP/SERVICE | 835.33 | 0.00 | 2,500.00 | 8,500.00 | 240.00 |
| 100-00-51450-295-000 | OFFICE COPY MACHINE MAINT. | 1,904.73 | 0.00 | 3,500.00 | 3,500.00 | 0.00 |
| 100-00-51450-311-000 | OFFICE DEPART. SUPPLIES | 1,727.61 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 100-00-51450-312-000 | OFFICE DEPARTMENT POSTAGE | 5,304.47 | 0.00 | 6,000.00 | 6,000.00 | 0.00 |
| 100-00-51450-313-000 | OFFICE COPY MACHINE SUPPLIES | 856.16 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-51450-321-000 | OFFICE DEPART PUBLICATION DUES | 2,065.82 | 0.00 | 2,000.00 | 2,250.00 | 12.50 |
| 100-00-51450-810-000 | OFFICE DEPART CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51450-820-000 | OFFICE DEPART CAPITAL IMPROV | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| OFFICE DEPARTMENT | | 15,300.54 | 0.00 | 27,650.00 | 33,900.00 | 22.60 |
| 100-00-51451-000-000 | COMPUTER CONTRACT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51451-210-000 | COMPUTER CONTRACT/SERVICES | 3,635.50 | 0.00 | 9,300.00 | 10,000.00 | 7.53 |
| COMPUTER | | 3,635.50 | 0.00 | 9,300.00 | 10,000.00 | 7.53 |
| 100-00-51510-000-000 | AUDIT/ACCOUNTING | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51510-210-000 | AUDIT/ACCOUNTING PROF. SERVICE | 20,000.00 | 0.00 | 21,000.00 | 21,500.00 | 2.38 |
| AUDIT/ACCOUNTING | | 20,000.00 | 0.00 | 21,000.00 | 21,500.00 | 2.38 |
| 100-00-51530-000-000 | ASSESSMENT OF PROPERTY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51530-210-000 | ASSESS. OF PROPERTY PROF. SERV | 13,261.37 | 0.00 | 0.00 | 14,500.00 | 999.99 |
| ASSESSMENT OF PROPERTY | | 13,261.37 | 0.00 | 0.00 | 14,500.00 | 999.99 |
| 100-00-51531-000-000 | REASSESSMENT OF PROPERTY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51531-210-000 | REASSESS. OF PROP. PROF. SERV | 0.00 | 0.00 | 53,450.00 | 0.00 | -100.00 |
| REASSESSMENT OF PROPERTY | | 0.00 | 0.00 | 53,450.00 | 0.00 | -100.00 |
| 100-00-51601-000-000 | CITY HALL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-110-000 | CITY HALL SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-116-000 | CITY HALL SUMMER YOUTH LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-151-000 | CITY HALL FICA | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-152-000 | CITY HALL RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-158-000 | CITY HALL WORMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-194-000 | CITY HALL EMPLOYEE INCENTIVES | 194.53 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-51601-221-000 | CITY HALL TELEPHONE | 7,692.52 | 0.00 | 7,000.00 | 8,000.00 | 14.29 |
| 100-00-51601-222-000 | CITY HALL ELECTRICITY/HEAT | 8,143.69 | 0.00 | 9,000.00 | 9,000.00 | 0.00 |
| 100-00-51601-223-000 | CITY HALL WATER & SEWER | 1,818.37 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-51601-224-000 | CITY HALL STORM WATER | 226.80 | 0.00 | 250.00 | 250.00 | 0.00 |
| 100-00-51601-341-000 | CITY HALL OPERATING SUPPLIES | 2,184.03 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| 100-00-51601-342-000 | CITY HALL EQT. REPAIRS & MAINT | 685.00 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-51601-350-000 | CITY HALL BLDGS. MAINT.-REPAIR | 9,183.41 | 0.00 | 3,000.00 | 4,000.00 | 33.33 |
| 100-00-51601-810-000 | CITY HALL CAPTIAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51601-820-000 | CITY HALL CAPITAL IMPROVEMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|---------------------------------------|-------------------------------|----------------------------|-------------------------------|----------------|----------------------------|-----------------------|
| CITY HALL | | 30,128.35 | 0.00 | 25,450.00 | 27,450.00 | 7.86 |
| 100-00-51602-000-000 | CUSTODIAN | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51602-110-000 | CUSTODIAN SALARY | 18,380.07 | 0.00 | 10,701.00 | 11,022.00 | 3.00 |
| 100-00-51602-113-000 | CUSTODIAN LOGEVITY | 69.30 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51602-151-000 | CUSTODIAN FICA | 1,410.42 | 0.00 | 819.00 | 843.00 | 2.93 |
| 100-00-51602-152-000 | CUSTODIAN RETIREMENT | 1,199.49 | 0.00 | 728.00 | 760.00 | 4.40 |
| 100-00-51602-154-000 | CUSTODIAN HEALTH INSURANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51602-155-000 | CUSTODIAN LIFE INSURANCE | 3.38 | 0.00 | 1.00 | 2.00 | 100.00 |
| 100-00-51602-158-000 | CUSTODIAN WORKMENS COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51602-159-000 | CUSTODIAN ICI | 0.00 | 0.00 | 27.00 | 28.00 | 3.70 |
| CUSTODIAN | | 21,062.66 | 0.00 | 12,276.00 | 12,655.00 | 3.09 |
| 100-00-51910-000-000 | TAX REFUND/ADJUSTMENTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| TAX REFUND/ADJUSTMENTS | | 0.00 | 0.00 | 0.00 | 0.00 | 3.09 |
| 100-00-51912-000-000 | ILLEGAL TAX CHARGEBACK | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| ILLEGAL TAX CHARGEBACK | | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-51913-000-000 | USDA SPEC. ASSESS. CITY PROP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| SPEC. ASSESS. ON CITY PROPERTY | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51930-000-000 | PROPERTY & LIABILITY INS | 117.50 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| 100-00-51930-210-000 | INSURANCE CONSULTANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| INSURANCE | | 117.50 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| 100-00-51931-152-000 | RETIREMENT SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-51931-157-000 | FRINGE BENEFITS UNEMPLOYMENT | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-51931-158-000 | FRINGE BENEFITS WORKMENS COMP | 0.00 | 0.00 | 1,500.00 | 500.00 | -66.67 |
| 100-00-51931-159-000 | FRINGE FLEX BENEFIT PLAN | 1,412.03 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| FRINGE BENEFITS | | 1,412.03 | 0.00 | 4,000.00 | 3,000.00 | -25.00 |
| GENERAL GOVERNMENT | | 376,440.21 | 0.00 | 482,573.00 | 463,962.00 | -3.86 |
| 100-00-52101-000-000 | POLICE DEPARTMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-110-000 | PD CHIEF SALARY | 74,883.68 | 0.00 | 74,286.00 | 82,264.00 | 10.74 |
| 100-00-52101-111-000 | POLICE PER DIEM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-112-000 | POLICE MILEAGE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-113-000 | POLICE DEPARTMENT LONGEVITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-114-000 | POLICE DEPARTMENT SEVERANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-115-000 | PD ASSISTANT CHIEF SALARY | 63,448.50 | 0.00 | 64,521.00 | 71,450.00 | 10.74 |
| 100-00-52101-120-000 | POLICE OFFICER BASE SALARY | 179,611.08 | 0.00 | 178,381.00 | 197,539.00 | 10.74 |
| 100-00-52101-121-000 | POLICE PART TIME OFFICERS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-123-000 | POLICE DEPART LONGEVITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-124-000 | POLICE DEPARTMENT SHIFT | 836.49 | 0.00 | 1,000.00 | 1,500.00 | 50.00 |
| 100-00-52101-125-000 | POLICE DEPARTMENT OTHER PAY | 327.00 | 0.00 | 3,004.00 | 2,000.00 | -33.42 |
| 100-00-52101-126-000 | POLICE DEPART SPECIAL EVENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-128-000 | POLICE DEPARTMENT PART TIME | 0.00 | 0.00 | 7,500.00 | 10,000.00 | 33.33 |
| 100-00-52101-151-000 | POLICE DEPARTMENT FICA | 24,203.86 | 0.00 | 25,260.00 | 27,904.00 | 10.47 |
| 100-00-52101-152-000 | POLICE DEPARTMENT RETIREMENT | 38,172.57 | 0.00 | 42,265.00 | 50,705.00 | 19.97 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|----------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 100-00-52101-154-000 | POLICE DEPARTMENT HEALTH INS | 59,599.58 | 0.00 | 62,572.00 | 71,624.00 | 14.47 |
| 100-00-52101-155-000 | POLICE DEPARTMENT LIFE INS | 80.36 | 0.00 | 83.00 | 83.00 | 0.00 |
| 100-00-52101-157-000 | POLICE DEPARTMENT UNEMPLOYMENT | 0.00 | 0.00 | 600.00 | 600.00 | 0.00 |
| 100-00-52101-158-000 | POLICE DEPARTMENT WORKMENS COM | 9,000.00 | 0.00 | 9,000.00 | 5,000.00 | -44.44 |
| 100-00-52101-159-000 | POLICE DEPARTMENT ICI | 0.00 | 0.00 | 800.00 | 886.00 | 10.75 |
| 100-00-52101-160-000 | PD LIABILITY INSURANCE | 7,600.00 | 0.00 | 7,600.00 | 7,600.00 | 0.00 |
| 100-00-52101-191-000 | POLICE PERSONNEL TRAINING | 2,717.01 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-52101-192-000 | POLICE DEPARTMENT UNIFORMS | 1,725.44 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 100-00-52101-221-000 | POLICE DEPARTMENT TELEPHONE | 5,398.72 | 0.00 | 5,000.00 | 6,000.00 | 20.00 |
| 100-00-52101-291-000 | POLICE RADIO MAINTENANCE | 287.50 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-52101-292-000 | POLICE DEPARTMENT RADAR | 120.00 | 0.00 | 360.00 | 360.00 | 0.00 |
| 100-00-52101-299-000 | PD CONTINUING EDUCATION | 946.70 | 0.00 | 1,000.00 | 1,500.00 | 50.00 |
| 100-00-52101-311-000 | POLICE OFFICE SUPPLIES | 1,006.73 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-52101-312-000 | POLICE DEPARTMENT POSTAGE | 58.05 | 0.00 | 150.00 | 150.00 | 0.00 |
| 100-00-52101-321-000 | POLICE PUBLICATION DUES | 150.00 | 0.00 | 100.00 | 150.00 | 50.00 |
| 100-00-52101-331-000 | POLICE GAS & OIL VEHICLES | 12,219.94 | 0.00 | 14,000.00 | 14,000.00 | 0.00 |
| 100-00-52101-332-000 | POLICE VEHICAL REPAIR & MAINT | 2,428.73 | 0.00 | 4,500.00 | 4,500.00 | 0.00 |
| 100-00-52101-341-000 | POLICE DEPART OPERATING SUPP | 12,069.08 | 0.00 | 8,000.00 | 8,000.00 | 0.00 |
| 100-00-52101-342-000 | POLICE EQT. REPAIRS & MAINT | 940.56 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-52101-344-000 | POLICE DEPART INVESTIGATIONS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-810-000 | POLICE DEPART CAPTIAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-820-000 | POLICE DEPART CAPITAL IMPROV | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52101-830-000 | POLICE DEPT GRANT EXPENSES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| POLICE DEPARTMENT | | 497,831.58 | 0.00 | 523,982.00 | 577,815.00 | 10.27 |
| 100-00-52102-000-000 | LICENSE INVESTIGATION FEE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| LICENSE INVESTIGATION FEE | | 0.00 | 0.00 | 0.00 | 0.00 | 10.27 |
| 100-00-52103-000-000 | PD COUNTERACT FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PD COUNTERACT FUND | | 0.00 | 0.00 | 0.00 | 0.00 | 10.27 |
| 100-00-52201-000-000 | FIRE DEPARTMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52201-110-000 | FIRE DEPARTMENT SALARY | 6,500.00 | 0.00 | 6,500.00 | 6,500.00 | 0.00 |
| 100-00-52201-115-000 | FD ASSISTANT CHIEF'S SALARY(2) | 3,500.00 | 0.00 | 3,500.00 | 3,500.00 | 0.00 |
| 100-00-52201-122-000 | FIRE DEPARTMENT ATTENDANT FEES | 18,612.00 | 0.00 | 20,000.00 | 21,000.00 | 5.00 |
| 100-00-52201-151-000 | FIRE DEPARTMENT FICA | 1,566.81 | 0.00 | 2,356.00 | 2,563.00 | 8.79 |
| 100-00-52201-152-000 | FIRE DEPARTMENT RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52201-156-000 | FIRE DEPART LENGTH OF SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52201-157-000 | FIRE DEPARTMENT UNEMPLOYMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52201-158-000 | FIRE DEPARTMENT WORKMENS COMP | 3,000.00 | 0.00 | 3,000.00 | 2,000.00 | -33.33 |
| 100-00-52201-160-000 | FD LIABILITY INSURANCE | 12,800.00 | 0.00 | 12,800.00 | 12,800.00 | 0.00 |
| 100-00-52201-191-000 | FIRE DEPART PERSONNEL TRAINING | 480.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-52201-192-000 | FIRE DEPART INCENTIVE PAY | 2,042.47 | 0.00 | 2,100.00 | 2,100.00 | 0.00 |
| 100-00-52201-193-000 | FIRE DEPARTMENT INSPECTION | 2,500.00 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| 100-00-52201-221-000 | FIRE DEPARTMENT TELEPHONE | 1,266.82 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-52201-222-000 | FIRE DEPART ELECTRICITY/HEAT | 5,138.44 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-52201-223-000 | FIRE DEPARTMENT WATER & SEWER | 852.31 | 0.00 | 800.00 | 800.00 | 0.00 |
| 100-00-52201-224-000 | FIRE DEPARTMENT STORM WATER | 418.68 | 0.00 | 419.00 | 419.00 | 0.00 |
| 100-00-52201-291-000 | FIRE DEPART RADIO MAIN/SAFTEY | 1,994.64 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-52201-294-000 | FIRE DEPART COMPUTER SUPP/SERV | 1,415.88 | 0.00 | 1,000.00 | 1,500.00 | 50.00 |
| 100-00-52201-321-000 | FIRE DEPART PUBLICATION DUES | 0.00 | 0.00 | 400.00 | 800.00 | 100.00 |
| 100-00-52201-331-000 | FIRE DEPART GAS & OIL VEHICLES | 2,926.56 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 100-00-52201-332-000 | FIRE DEPART VEH REPAIR & MAINT | 11,811.60 | 0.00 | 5,000.00 | 7,000.00 | 40.00 |
| 100-00-52201-341-000 | FIRE DEPART OPERATING SUPPLIES | 7,113.18 | 0.00 | 5,000.00 | 7,000.00 | 40.00 |
| 100-00-52201-352-000 | FIRE DEPARTMENT 2% EXPENSES | 12,121.52 | 0.00 | 11,500.00 | 11,500.00 | 0.00 |
| 100-00-52201-810-000 | FIRE DEPART CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52201-820-000 | FIRE DEPARTMENT CAPITAL IMPROV | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52201-830-000 | FIRE DEPARTMENT GRANT EXPENSES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| FIRE | | 96,060.91 | 0.00 | 89,875.00 | 94,982.00 | 5.68 |
| 100-00-52301-000-000 | MUNICIPAL AMBULANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52301-110-000 | MUNICIPAL AMBULANCE SALARY | 20,680.93 | 0.00 | 22,500.00 | 17,000.00 | -24.44 |
| 100-00-52301-113-000 | AMBULANCE LONGEVITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52301-121-000 | CUSTODIAN/DAY ATTEND/ADMIN. | 5,481.21 | 0.00 | 98,829.00 | 149,655.00 | 51.43 |
| 100-00-52301-122-000 | AMBULANCE ATTENDANT FEES | 70,995.92 | 0.00 | 114,450.00 | 75,000.00 | -34.47 |
| 100-00-52301-123-000 | AMBULANCE RUN REPORT | 3,980.00 | 0.00 | 5,500.00 | 5,500.00 | 0.00 |
| 100-00-52301-151-000 | AMBULANCE FICA | 7,525.11 | 0.00 | 18,917.00 | 18,907.00 | -0.05 |
| 100-00-52301-152-000 | AMBULANCE RETIREMENT | 362.06 | 0.00 | 6,720.00 | 10,326.00 | 53.66 |
| 100-00-52301-154-000 | AMBULANCE HEALTH INSURANCE | 868.10 | 0.00 | 46,361.00 | 80,425.00 | 73.48 |
| 100-00-52301-155-000 | AMBULANCE LIFE INSURANCE | 1.56 | 0.00 | 50.00 | 74.00 | 48.00 |
| 100-00-52301-156-000 | AMBULANCE LENGTH OF SERVICE | 6,141.88 | 0.00 | 9,000.00 | 9,000.00 | 0.00 |
| 100-00-52301-157-000 | AMBULANCE UNEMPLOYMENT COMP | 0.00 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-52301-158-000 | AMBULANCE WORKMENS COMP | 434.25 | 0.00 | 9,000.00 | 5,000.00 | -44.44 |
| 100-00-52301-159-000 | AMBULANCE ICI | 0.00 | 0.00 | 247.00 | 378.00 | 53.04 |
| 100-00-52301-160-000 | AMB. LIABILITY INSURANCE | 1,565.16 | 0.00 | 7,700.00 | 7,700.00 | 0.00 |
| 100-00-52301-191-000 | AMBULANCE PERSONNEL TRAINING | 6,676.12 | 0.00 | 17,000.00 | 17,000.00 | 0.00 |
| 100-00-52301-192-000 | AMBULANCE INCENTIVE PAY | 5,964.14 | 0.00 | 6,000.00 | 7,000.00 | 16.67 |
| 100-00-52301-194-000 | AMB RETENTION/RECOGNITION | 0.00 | 0.00 | 1,300.00 | 1,300.00 | 0.00 |
| 100-00-52301-210-000 | AMB BILLING CONTRACT SERVICE | 11,027.99 | 0.00 | 14,000.00 | 14,000.00 | 0.00 |
| 100-00-52301-221-000 | AMBULANCE TELEPHONE | 2,473.74 | 0.00 | 2,200.00 | 2,500.00 | 13.64 |
| 100-00-52301-222-000 | AMBULANCE ELECTRICITY/HEAT | 4,395.20 | 0.00 | 5,500.00 | 6,000.00 | 9.09 |
| 100-00-52301-223-000 | AMBULANCE WATER & SEWER | 689.69 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-52301-224-000 | AMBULANCE STORM WATER | 418.68 | 0.00 | 420.00 | 420.00 | 0.00 |
| 100-00-52301-291-000 | AMBULANCE RADIO MAINTENANCE | 3,454.75 | 0.00 | 2,800.00 | 3,300.00 | 17.86 |
| 100-00-52301-311-000 | AMBULANCE OFFICE SUPPLIES | 533.02 | 0.00 | 1,150.00 | 1,150.00 | 0.00 |
| 100-00-52301-312-000 | AMBULANCE POSTAGE | 0.00 | 0.00 | 100.00 | 100.00 | 0.00 |
| 100-00-52301-321-000 | AMBULANCE INTERNET | 1,449.63 | 0.00 | 1,700.00 | 1,700.00 | 0.00 |
| 100-00-52301-323-000 | AMBULANCE PUBLICATION DUES | 3,387.02 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-52301-331-000 | AMBULANCE GAS & OIL VEHICLES | 4,724.43 | 0.00 | 5,500.00 | 6,500.00 | 18.18 |
| 100-00-52301-332-000 | AMBULANCE VEH REPAIR & MAINT | 1,179.46 | 0.00 | 4,500.00 | 5,500.00 | 22.22 |
| 100-00-52301-341-000 | AMBULANCE OPERATING SUPPLIES | 10,328.29 | 0.00 | 15,000.00 | 15,000.00 | 0.00 |
| 100-00-52301-342-000 | AMB. EQUIP. REPAIRS & MAINT. | 8,902.61 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 100-00-52301-350-000 | AMBULANCE BLDG. REPAIR & MAINT | 1,899.40 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-52301-351-000 | AMBULANCE RESCUE EQUIP. | 501.48 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-52301-352-000 | AMBULANCE ACT 102 PURCHASES | 0.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-52301-810-000 | AMBULANCE CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52301-820-000 | AMBULANCE CAPITAL IMPROV | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52301-830-000 | MUNICIPAL AMBULANCE GRANT EXP | 4,664.66 | 0.00 | 0.00 | 0.00 | 0.00 |
| AMBULANCE DONATION EXPENSES | | 190,706.49 | 0.00 | 436,444.00 | 480,435.00 | 10.08 |
| 100-00-52410-000-000 | BUILDING INSPECTOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-52410-210-000 | BLDG INSPECTOR PROF. SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| BUILDING INSPECTOR | | 0.00 | 0.00 | 0.00 | 0.00 | 10.08 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
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| PUBLIC SAFETY | | 784,598.98 | 0.00 | 1,050,301.00 | 1,153,232.00 | 9.80 |
| 100-00-53101-000-000 | STREET DEPARTMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53101-110-000 | STREET DEPARTMENT SALARY | 26,750.94 | 0.00 | 52,188.00 | 53,422.00 | 2.36 |
| 100-00-53101-111-000 | STREET DEPART PER DIEM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53101-113-000 | STREET DEPART LONGEVITY | 378.75 | 0.00 | 388.00 | 89.00 | -77.06 |
| 100-00-53101-151-000 | STREET DEPARTMENT FICA | 14,458.95 | 0.00 | 14,500.00 | 15,773.00 | 8.78 |
| 100-00-53101-152-000 | STREET DEPART RETIREMENT | 10,627.68 | 0.00 | 11,116.00 | 11,620.00 | 4.53 |
| 100-00-53101-154-000 | STREET DEPARTMENT HEALTH INS | 29,511.80 | 0.00 | 43,320.00 | 64,450.00 | 48.78 |
| 100-00-53101-155-000 | STREET DEPARTMENT LIFE INS | 74.55 | 0.00 | 90.00 | 90.00 | 0.00 |
| 100-00-53101-157-000 | STREET DEPARTMENT UNEMPL. COMP | 0.00 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-53101-158-000 | STREET DEPART WORKMENS COMP | 0.00 | 0.00 | 13,000.00 | 6,000.00 | -53.85 |
| 100-00-53101-159-000 | STREET DEPARTMENT ICI | 0.00 | 0.00 | 409.00 | 424.00 | 3.67 |
| 100-00-53101-160-000 | STREET DEPT. LIABILITY INS. | 12,850.00 | 0.00 | 14,600.00 | 14,600.00 | 0.00 |
| 100-00-53101-191-000 | STREET DEP PERSONNEL TRAINING | 1,333.24 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 100-00-53101-192-000 | STREET TRAINING SERVICE | 106.05 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-53101-194-000 | STREET DEPT EMPLOYEE INCENTIVE | 0.00 | 0.00 | 600.00 | 600.00 | 0.00 |
| 100-00-53101-322-000 | STREET PUBLICATION FEES | 0.00 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-53101-820-000 | STREET DEPART CAPITAL IMPROV | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53101-830-000 | LRIP - 3RD AVENUE EAST | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | STREET DEPARMENT | 96,091.96 | 0.00 | 158,911.00 | 175,768.00 | 10.61 |
| 100-00-53201-000-000 | ENGINEERING SERVICES | 0.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| | ENGINEERING SERVICES | 0.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-53202-810-000 | STREET & ALLEYS CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | STREET & ALLEYS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53230-000-000 | GARAGE & MACHINE SHED | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53230-221-000 | GARAGE TELEPHONE | 3,736.45 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-53230-222-000 | GARAGE ELECTRICITY/HEAT | 8,636.72 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| 100-00-53230-223-000 | GARAGE WATER & SEWER | 3,531.34 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| 100-00-53230-224-000 | GARAGE/MACHINE SHED STORMWATER | 1,116.52 | 0.00 | 1,535.00 | 1,535.00 | 0.00 |
| 100-00-53230-311-000 | GARAGE OFFICE SUPPLIES | 1,565.13 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-53230-341-000 | GARAGE OPERATING SUPPLIES | 12,123.09 | 0.00 | 8,500.00 | 12,000.00 | 41.18 |
| 100-00-53230-342-000 | GARAGE EQT. REPAIRS & MAIN | 1,848.40 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 100-00-53230-350-000 | GARAGE BLDG. REPAIR & MAINT | 7,706.33 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-53230-810-000 | GARAGE CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | GARAGE & MACHINE SHED | 40,263.98 | 0.00 | 38,035.00 | 41,535.00 | 9.20 |
| 100-00-53270-000-000 | WEED LEAVES & BRUSH | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53270-110-000 | WEED LEAVES & BRUSH SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53270-121-000 | WEED LEAVES & BRUSH SEASONAL | 2,645.88 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-53270-345-000 | WEED-BRUSH EQUIP. RENTAL | 225.00 | 0.00 | 1,400.00 | 1,400.00 | 0.00 |
| | WEED LEAVES & BRUSH | 2,870.88 | 0.00 | 6,400.00 | 6,400.00 | 0.00 |
| 100-00-53271-000-000 | TREE CONTROL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53271-110-000 | TREE CONTROL SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53271-121-000 | TREE CONTROL SEASONAL STAFF | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-53271-210-000 | TREE CONTROL CONTRACT SERVICES | 3,350.00 | 0.00 | 3,800.00 | 6,000.00 | 57.89 |
| 100-00-53271-345-000 | TREE CONTROL MISC. EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
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| 100-00-53271-810-000 | TREE CONTROL CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | TREE CONTROL | 3,350.00 | 0.00 | 4,300.00 | 6,500.00 | 51.16 |
| 100-00-53272-000-000 | GRASS CUTTING | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53272-110-000 | GRASS CUTTING SALARY | 2,976.04 | 0.00 | 3,262.00 | 3,339.00 | 2.36 |
| 100-00-53272-121-000 | GRASS CUTTING SEASONAL SUBS | 13,877.13 | 0.00 | 14,000.00 | 16,000.00 | 14.29 |
| | GRASS CUTTING | 16,853.17 | 0.00 | 17,262.00 | 19,339.00 | 12.03 |
| 100-00-53301-000-000 | REPAIRS OF STREETS & ALLEYS | 31,090.25 | 0.00 | 30,000.00 | 30,000.00 | 0.00 |
| | REPAIRS OF STREETS & ALLEYS | 31,090.25 | 0.00 | 30,000.00 | 30,000.00 | 0.00 |
| 100-00-53302-000-000 | REPAIR OF STR & ALLEYS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53302-110-000 | REPAIR OF STR & ALLEYS - LABOR | 70,050.99 | 0.00 | 40,772.00 | 41,736.00 | 2.36 |
| 100-00-53302-121-000 | REPAIR OF STREETS/SEASON STAFF | 2,084.25 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| | REPAIR OF STR & ALLEYS - LABOR | 72,135.24 | 0.00 | 42,272.00 | 43,236.00 | 2.28 |
| 100-00-53305-000-000 | SNOW & ICE REMOVAL | 4,220.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53305-110-000 | SNOW & ICE REMOVAL-LABOR | 37,856.25 | 0.00 | 24,463.00 | 25,041.00 | 2.36 |
| 100-00-53305-299-000 | SNOW & ICE REMOVAL CONTINGENCY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53305-450-000 | SNOW & ICE REMOVAL MATERIALS | 10,929.47 | 0.00 | 11,400.00 | 11,400.00 | 0.00 |
| | SNOW & ICE REMOVAL | 53,005.72 | 0.00 | 35,863.00 | 36,441.00 | 1.61 |
| 100-00-53306-000-000 | BLACKTOP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53306-110-000 | BLACKTOP SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53306-121-000 | BLACKTOP / SEASONAL STAFF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53306-450-000 | BLACKTOP MATRERIALS | 560.00 | 0.00 | 5,500.00 | 5,500.00 | 0.00 |
| | BLACKTOP | 560.00 | 0.00 | 5,500.00 | 5,500.00 | 0.00 |
| 100-00-53307-000-000 | ST. SIGN & MARKINGS MATERIALS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53307-110-000 | STREET SIGNS & MARKINGS SALARY | 1,334.68 | 0.00 | 3,262.00 | 3,339.00 | 2.36 |
| 100-00-53307-121-000 | STREET SIGNS SEASONAL LABOR | 1,966.50 | 0.00 | 2,200.00 | 2,200.00 | 0.00 |
| 100-00-53307-810-000 | STREET SIGNS & MARKINGS | 5,594.46 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| | STREET SIGNS & MARKINGS | 8,895.64 | 0.00 | 10,462.00 | 10,539.00 | 0.74 |
| 100-00-53308-000-000 | STREET MACHINERY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53308-110-000 | STREET MACHINERY SALARY | 31,033.11 | 0.00 | 35,879.00 | 36,727.00 | 2.36 |
| 100-00-53308-121-000 | STREET MACHINERY/SEASON STAFF | 366.25 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53308-331-000 | STREET MACHINERY GAS & OIL | 42,565.55 | 0.00 | 25,000.00 | 30,000.00 | 20.00 |
| 100-00-53308-342-000 | ST. MACHINE EQT REPAIR/MAINT. | 34,991.06 | 0.00 | 23,000.00 | 27,000.00 | 17.39 |
| 100-00-53308-343-000 | ST MACHINERY EQUIP. LEASE PAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53308-810-000 | ST. MACHINERY CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53308-820-000 | ST. MACHINERY CAPTIAL IMPROV. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | STREET MACHINERY | 108,955.97 | 0.00 | 83,879.00 | 93,727.00 | 11.74 |
| 100-00-53309-000-000 | PRIVATE WORK | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53309-110-000 | PRIVATE WORK SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53309-450-000 | PRIVATE WORK MATERIALS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | PRIVATE WORK | 0.00 | 0.00 | 0.00 | 0.00 | 11.74 |

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| 100-00-53310-000-000 | UNCLASSIFIED LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53310-110-000 | UNCLASSIFIED LABOR SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | UNCLASSIFIED | 0.00 | 0.00 | 0.00 | 0.00 | 11.74 |
| 100-00-53311-000-000 | D&A TESTING | 737.66 | 0.00 | 600.00 | 600.00 | 0.00 |
| | D&A TESTING | 737.66 | 0.00 | 600.00 | 600.00 | 0.00 |
| 100-00-53420-000-000 | STREET LIGHTING | 38,248.60 | 0.00 | 40,000.00 | 40,000.00 | 0.00 |
| | STREET LIGHTING | 38,248.60 | 0.00 | 40,000.00 | 40,000.00 | 0.00 |
| 100-00-53421-000-000 | TRAFFIC CONTROL | 513.50 | 0.00 | 750.00 | 750.00 | 0.00 |
| | TRAFFIC CONTROL | 513.50 | 0.00 | 750.00 | 750.00 | 0.00 |
| 100-00-53430-000-000 | SIDEWALK REPAIRS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53430-110-000 | SIDEWALKS SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53430-121-000 | SIDEWALKS SEASONAL STAFF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | SIDEWALKS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53431-000-000 | CURB & GUTTER | 0.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-53431-110-000 | CURB & GUTTER SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53431-121-000 | CURB & GUTTER SEASONAL STAFF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | CURB & GUTTER | 0.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-53445-000-000 | FEMA COST INCURRED | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | FEMA COST INCURRED | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53540-000-000 | DOCKS & HARBORS COMMISSION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53540-152-000 | DOCKS & HARBORS COMMISSION | 332.17 | 0.00 | 400.00 | 400.00 | 0.00 |
| 100-00-53540-820-000 | DOCKS/HARBORS COMM CAPITAL IMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | DOCKS & HARBOR | 332.17 | 0.00 | 400.00 | 400.00 | 0.00 |
| 100-00-53630-000-000 | MUNICIPAL LANDFILL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53630-110-000 | MUNICIPAL LANDFILL SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53630-121-000 | MUNICIPAL LANDFILL-SEASONAL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53630-349-000 | LANDFILL LONG TERM MAINT AGREE | 2,500.00 | 0.00 | 2,400.00 | 2,400.00 | 0.00 |
| | MUNICIPAL LANDFILL | 2,500.00 | 0.00 | 2,400.00 | 2,400.00 | 0.00 |
| 100-00-53631-000-000 | SOLID WASTE CONTRACTOR COSTS | 130,859.40 | 0.00 | 132,500.00 | 140,000.00 | 5.66 |
| 100-00-53631-110-000 | LITTER CONTROL | 818.62 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-53631-121-000 | LITTER CONTROL-SEASONAL | 520.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-53631-342-000 | SOLID WASTE SUPPLIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | SOLID WASTE | 132,198.02 | 0.00 | 134,000.00 | 141,500.00 | 5.60 |
| 100-00-53632-000-000 | CITY COMMERCIAL COSTS | 3,078.10 | 0.00 | 3,200.00 | 3,200.00 | 0.00 |
| 100-00-53632-110-000 | ANNUAL CLEANUP BASE SALARY | 1,312.29 | 0.00 | 3,262.00 | 3,339.00 | 2.36 |
| 100-00-53632-121-000 | ANNUAL CLEANUP SEASONAL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-53632-810-000 | CITY ANNUAL CLEANUP | 6,014.79 | 0.00 | 8,000.00 | 8,000.00 | 0.00 |

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| CITY COMMERCIAL COSTS | | 10,405.18 | 0.00 | 14,462.00 | 14,539.00 | 0.53 |
| PUBLIC WORKS | | 619,007.94 | 0.00 | 632,496.00 | 676,174.00 | 6.91 |
| 100-00-54510-000-000 | HOUSING AUTHORITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54510-111-000 | HOUSING AUTHORITY PER DIEM | 1,225.00 | 0.00 | 2,000.00 | 3,375.00 | 68.75 |
| 100-00-54510-151-000 | HOUSING AUTHORITY FICA | 93.59 | 0.00 | 153.00 | 258.00 | 68.63 |
| HOUSING AUTHORITY | | 1,318.59 | 0.00 | 2,153.00 | 3,633.00 | 68.74 |
| 100-00-54910-000-000 | CEMETERY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-110-000 | CEMETERY SALARY | 12,954.12 | 0.00 | 22,025.00 | 22,658.00 | 2.87 |
| 100-00-54910-113-000 | CEMETERY LONGEVITY | 75.75 | 0.00 | 78.00 | 18.00 | -76.92 |
| 100-00-54910-116-000 | CEMETERY INTER DEPT. LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-121-000 | CEMETERY SEASONAL SALARY | 760.50 | 0.00 | 3,600.00 | 3,600.00 | 0.00 |
| 100-00-54910-151-000 | CEMETERY FICA | 1,019.66 | 0.00 | 1,966.00 | 2,010.00 | 2.24 |
| 100-00-54910-152-000 | CEMETERY RETIREMENT | 847.68 | 0.00 | 1,503.00 | 1,565.00 | 4.13 |
| 100-00-54910-154-000 | CEMETERY HEALTH INS | 4,547.75 | 0.00 | 4,625.00 | 5,374.00 | 16.19 |
| 100-00-54910-155-000 | CEMETERY LIFE INS | 17.13 | 0.00 | 17.00 | 17.00 | 0.00 |
| 100-00-54910-158-000 | CEMETERY WORKMENS COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-159-000 | CEMETERY ICI | 0.00 | 0.00 | 55.00 | 57.00 | 3.64 |
| 100-00-54910-160-000 | CEMETERY LIABILITY INS. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-221-000 | CEMETERY TELEPHONE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-222-000 | CEMETERY ELECTRIC/HEAT | 282.59 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-54910-223-000 | CEMETERY FIRE PROTECTION | 222.48 | 0.00 | 112.00 | 225.00 | 100.89 |
| 100-00-54910-331-000 | CEMETERY GAS & OIL VEHICLES | 228.07 | 0.00 | 450.00 | 450.00 | 0.00 |
| 100-00-54910-332-000 | CEMETERY VEH. REPAIR & MAINT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-341-000 | CEMETERY OPERATING SUPPLIES | 1,804.51 | 0.00 | 1,250.00 | 1,250.00 | 0.00 |
| 100-00-54910-342-000 | CEMETERY EQT. REPAIRS & MAINT | 0.00 | 0.00 | 800.00 | 800.00 | 0.00 |
| 100-00-54910-390-000 | CEMETERY DIGGING | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-810-000 | CEMETERY CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-54910-820-000 | CEMETERY CAPITAL IMPROVMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| CEMETERY | | 22,760.24 | 0.00 | 36,981.00 | 38,524.00 | 4.17 |
| HEALTH AND HUMAN SERVICES | | 24,078.83 | 0.00 | 39,134.00 | 42,157.00 | 7.72 |
| 100-00-55110-000-000 | LIBRARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55110-110-000 | LIBRARY DIRECTOR SALARY | 49,267.48 | 0.00 | 54,695.00 | 54,961.00 | 0.49 |
| 100-00-55110-111-000 | LIBRARY PER DIEM | 0.00 | 0.00 | 240.00 | 240.00 | 0.00 |
| 100-00-55110-112-000 | LIBRARY MILEAGE | 0.00 | 0.00 | 250.00 | 250.00 | 0.00 |
| 100-00-55110-113-000 | LIBRARY LONGEVITY | 409.20 | 0.00 | 332.00 | 351.00 | 5.72 |
| 100-00-55110-116-000 | LIBRARY INTER DEPT. LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55110-120-000 | LIBRARY ASSISTANT WAGES | 54,561.92 | 0.00 | 48,000.00 | 49,440.00 | 3.00 |
| 100-00-55110-121-000 | LIBRARY SEASONAL SUBS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55110-127-000 | LIBRARY CUSTODIAL SERVICES | 4,515.15 | 0.00 | 1,338.00 | 2,675.00 | 99.93 |
| 100-00-55110-132-000 | LIBRARY LTE | 5,619.96 | 0.00 | 9,343.00 | 9,717.00 | 4.00 |
| 100-00-55110-133-000 | LIBRARY PAGES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55110-140-000 | LIBRARY ADMIN. SERVICES | 3,128.06 | 0.00 | 3,387.00 | 3,489.00 | 3.01 |
| 100-00-55110-151-000 | LIBRARY FICA EXPENSE | 9,110.13 | 0.00 | 9,067.00 | 9,228.00 | 1.78 |
| 100-00-55110-152-000 | LIBRARY RETIREMENT | 6,350.09 | 0.00 | 7,067.00 | 7,293.00 | 3.20 |
| 100-00-55110-154-000 | LIBRARY HEALTH INS | 4,993.63 | 0.00 | 3,661.00 | 3,847.00 | 5.08 |
| 100-00-55110-155-000 | LIBRARY LIFE INS | 58.23 | 0.00 | 48.00 | 48.00 | 0.00 |

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| 100-00-55110-157-000 | LIBRARY UNEMPLOYMENT COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55110-158-000 | LIBRARY WORKMENS COMP. | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-55110-159-000 | LIBRARY ICI | 0.00 | 0.00 | 260.00 | 267.00 | 2.69 |
| 100-00-55110-191-000 | LIBRARY PERSONNEL TRAINING | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-55110-194-000 | LIBRARY EMPLOYEE INCENTIVES | 0.00 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-55110-224-000 | LIBRARY ALL UTILITIES | 10,469.96 | 0.00 | 10,000.00 | 10,200.00 | 2.00 |
| 100-00-55110-225-000 | LIBRARY STORM WATER | 279.12 | 0.00 | 279.00 | 279.00 | 0.00 |
| 100-00-55110-295-000 | LIBRARY COPY MACHINE MAINT | 1,271.23 | 0.00 | 1,648.00 | 1,648.00 | 0.00 |
| 100-00-55110-310-000 | LIBRARY PROGRAM SUPPLIES | 543.38 | 0.00 | 800.00 | 800.00 | 0.00 |
| 100-00-55110-311-000 | LIBRARY OFFICE SUPPLIES | 971.47 | 0.00 | 2,050.00 | 2,050.00 | 0.00 |
| 100-00-55110-312-000 | LIBRARY POSTAGE | 163.20 | 0.00 | 900.00 | 900.00 | 0.00 |
| 100-00-55110-321-000 | LIBRARY PRINTED MATERIALS | 20,193.40 | 0.00 | 19,950.00 | 19,950.00 | 0.00 |
| 100-00-55110-323-000 | LIBRARY INTERNET ACCESS | 11,338.70 | 0.00 | 11,565.00 | 11,565.00 | 0.00 |
| 100-00-55110-324-000 | INTER LIBRARY DELIVERY | 0.00 | 0.00 | 600.00 | 600.00 | 0.00 |
| 100-00-55110-341-000 | LIBRARY BLDG. MAIT. & SUPPLIES | 2,211.08 | 0.00 | 2,050.00 | 2,050.00 | 0.00 |
| 100-00-55110-350-000 | LIBRARY OFFICE EQUIPMENT | 674.35 | 0.00 | 1,230.00 | 1,230.00 | 0.00 |
| 100-00-55110-351-000 | LIBRARY REPAIRS & MAINT | 2,791.00 | 0.00 | 2,050.00 | 2,050.00 | 0.00 |
| 100-00-55110-511-000 | LIBRARY INSURANCE | 2,000.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-55110-810-000 | LIBRARY CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55110-820-000 | LIBRARY CAPITAL IMPROVEMENTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| LIBRARY | | 190,920.74 | 0.00 | 194,010.00 | 198,328.00 | 2.23 |
| 100-00-55200-000-000 | PARKS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-110-000 | PARKS SALARY | 20,140.79 | 0.00 | 32,399.00 | 33,426.00 | 3.17 |
| 100-00-55200-111-000 | PARKS PER DIEM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-113-000 | PARKS LONGEVITY | 51.68 | 0.00 | 53.00 | 18.00 | -66.04 |
| 100-00-55200-114-000 | PARKS AMDIN. SALARY | 35,219.39 | 0.00 | 37,770.00 | 38,903.00 | 3.00 |
| 100-00-55200-115-000 | PARKS OTHER PAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-116-000 | PARKS INTER DEPT LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-117-000 | PARKS SKATING RINK | 721.78 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-55200-118-000 | PARKS ATTENDANT | 9,949.50 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| 100-00-55200-119-000 | PARKS BOAT LAUNCH ATTENDENT | 0.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-55200-120-000 | LAUNCH REPAIR/MAIT. LABOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-121-000 | PARKS SEASONAL SUBS | 9,650.25 | 0.00 | 17,730.00 | 18,920.00 | 6.71 |
| 100-00-55200-151-000 | PARKS FICA | 5,611.29 | 0.00 | 7,794.00 | 8,129.00 | 4.30 |
| 100-00-55200-152-000 | PARKS RETIREMENT | 3,968.28 | 0.00 | 4,775.00 | 4,995.00 | 4.61 |
| 100-00-55200-154-000 | PARKS HEALTH INSURANCE | 8,479.87 | 0.00 | 14,544.00 | 18,468.00 | 26.98 |
| 100-00-55200-155-000 | PARKS LIFE INSURANCE | 31.22 | 0.00 | 39.00 | 39.00 | 0.00 |
| 100-00-55200-157-000 | PARKS UNEMPLOYMENT COMP | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-158-000 | PARKS WORKMENS COMP. | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-55200-159-000 | PARKS ICI | 0.00 | 0.00 | 176.00 | 183.00 | 3.98 |
| 100-00-55200-160-000 | PARKS LIABILITY INSURANCE | 0.00 | 0.00 | 3,500.00 | 3,500.00 | 0.00 |
| 100-00-55200-210-000 | PARKS CONTRACTED SERVICES | 22,715.74 | 0.00 | 13,000.00 | 20,000.00 | 53.85 |
| 100-00-55200-221-000 | PARKS TELEPHONE | 628.47 | 0.00 | 600.00 | 600.00 | 0.00 |
| 100-00-55200-222-000 | PARKS ELECTRIC/HEAT | 30,141.90 | 0.00 | 26,000.00 | 28,000.00 | 7.69 |
| 100-00-55200-223-000 | PARKS WATER & SEWER | 6,514.69 | 0.00 | 9,000.00 | 9,000.00 | 0.00 |
| 100-00-55200-224-000 | VFW/DOG POUND UTILITIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-297-000 | PARKS ENTERTAINMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-298-000 | PARKS GARBAGE | 14,519.46 | 0.00 | 8,000.00 | 10,000.00 | 25.00 |
| 100-00-55200-321-000 | PARKS PUBLICATION DUES | 1,335.00 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 100-00-55200-322-000 | PARKS NEWSPAPER ADV. | 0.00 | 0.00 | 200.00 | 200.00 | 0.00 |
| 100-00-55200-323-000 | PARK CABLE TV | 8,858.30 | 0.00 | 10,000.00 | 10,000.00 | 0.00 |
| 100-00-55200-331-000 | PARKS GAS & OIL VEHICLES | 0.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|----------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 100-00-55200-332-000 | PARKS VEH. REPAIR & MAINT. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-341-000 | PARKS OPERATING SUPPLIES | 16,129.12 | 0.00 | 15,000.00 | 15,000.00 | 0.00 |
| 100-00-55200-342-000 | PARKS EQT. REPAIRS & MAINT. | 1,708.73 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-55200-343-000 | LAUNCH MAIT/REPAIRS | 554.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-55200-350-000 | PARKS BLDG. REPAIR & MAINT. | 5,716.19 | 0.00 | 7,000.00 | 7,000.00 | 0.00 |
| 100-00-55200-351-000 | PARKS GROUND REPAIR & MAINT. | 13,841.31 | 0.00 | 17,000.00 | 17,000.00 | 0.00 |
| 100-00-55200-352-000 | SKATING RINK BLDG./GROUNDS | 1,283.05 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-55200-353-000 | LEGION PARK | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-55200-591-000 | PARKS SALES TAX | 15,584.08 | 0.00 | 14,000.00 | 16,000.00 | 14.29 |
| 100-00-55200-592-000 | PARKS LICENSES | 671.00 | 0.00 | 671.00 | 690.00 | 2.83 |
| 100-00-55200-593-000 | PARKS CREDIT CARD FEES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-810-000 | PARKS CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-820-000 | MEMORIAL PARK BLDG RENOVATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-830-000 | PARKS ATHLETIC FIELD | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55200-831-000 | PARKS WALKING TRAIL EXPENSES | 13.08 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| PARK | | 234,038.17 | 0.00 | 270,251.00 | 291,071.00 | 7.70 |
| 100-00-55201-000-000 | RECREATION DEPARTMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55201-129-000 | ICE RINK PART TIME AIDES | 7,862.51 | 0.00 | 7,000.00 | 8,000.00 | 14.29 |
| 100-00-55201-151-000 | RECREATION FICA | 810.54 | 0.00 | 536.00 | 612.00 | 14.18 |
| 100-00-55201-152-000 | RECREATION RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55201-155-000 | RECREATION LIFE INSURANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55201-157-000 | RECREATION UNEMPLOYMENT COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55201-158-000 | RECREATION WORKMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55201-210-000 | RECREATION PROFESIONAL SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55201-321-000 | REC. DEPT. HOCKEY PROGRAM | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-55201-324-000 | REC. DEPT. GOLF PROGRAM | 0.00 | 0.00 | 400.00 | 400.00 | 0.00 |
| 100-00-55201-340-000 | REC TENNIS/PICKEL BALL PROGRAM | 2,055.00 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-55201-341-000 | RECREATION OPERATING SUPPLIES | 1,406.80 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 100-00-55201-342-000 | REC. DEPT. REPAIRS/MAINTENANCE | 3,000.84 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| RECREATION PROGRAMS | | 15,135.69 | 0.00 | 16,936.00 | 18,012.00 | 6.35 |
| 100-00-55300-000-000 | CELEBRATIONS | 3,109.00 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-55300-110-000 | CELEBRATIONS BASE SALARIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-113-000 | CELEBRATIONS LONGEVITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-121-000 | CELEBRATIONS/SEASONAL STAFF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-151-000 | CELEBRATIONS FICA | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-152-000 | CELEBRATIONS RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-154-000 | CELEBRATIONS HEALTH INSURANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-155-000 | CELEBRATIONS LIFE INSURANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-158-000 | CELEBRATIONS WORKMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55300-159-000 | CELEBRATIONS ICI | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| CELEBRATIONS | | 3,109.00 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 100-00-55301-000-000 | HOMECOMING | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-55301-110-000 | HOMECOMING/SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55301-113-000 | HOMECOMING/LONGEVITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55301-121-000 | HOMECOMING / SEASONAL STAFF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55301-151-000 | HOMECOMING/FICA EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-55301-152-000 | HOMECOMING/RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| HOMECOMING | | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|-----------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| CULTURE, RECREATION & EDUCAT | | 443,203.60 | 0.00 | 485,197.00 | 511,411.00 | 5.40 |
| 100-00-56110-000-000 | URBAN FORESTRY INITIATIVE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56110-110-000 | URBAN FORESTRY/SALARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56110-121-000 | URBAN FORESTRY PT STAFF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56110-151-000 | URBAN FORESTRY FICA | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56110-152-000 | URBAN FORESTRY/RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56110-341-000 | URBAN FOREST SUPPLIES/EXPENSES | 3,902.01 | 0.00 | 5,000.00 | 8,000.00 | 60.00 |
| URBAN FORESTRY INITIATIVE | | 3,902.01 | 0.00 | 5,000.00 | 8,000.00 | 60.00 |
| 100-00-56300-000-000 | PUBLIC ACCESS TELEVISION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56300-321-000 | PUBLIC ACCESS TV/MEMBERSHIPS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56300-810-000 | PUBLIC ACCESS TV / WCAT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLIC ACCESS TELEVISION | | 0.00 | 0.00 | 0.00 | 0.00 | 60.00 |
| 100-00-56301-000-000 | PLANNING COMMISSION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56301-110-000 | PLANNING COMMISSION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56301-111-000 | PLANNING PER DIEM | 1,425.00 | 0.00 | 1,500.00 | 2,500.00 | 66.67 |
| 100-00-56301-151-000 | PLANNING FICA | 108.94 | 0.00 | 115.00 | 191.00 | 66.09 |
| 100-00-56301-152-000 | PLANNING COMMISSION RETIREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56301-158-000 | PLANNING WORKMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PLANNING COMMISSION | | 1,533.94 | 0.00 | 1,615.00 | 2,691.00 | 66.63 |
| 100-00-56302-000-000 | PLANNING SERVICE | 400.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-56302-810-000 | COMP. PLAN OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PLANNING | | 400.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-56303-000-000 | ECONOMIC DEVELOPMENT | 600.00 | 0.00 | 800.00 | 800.00 | 0.00 |
| 100-00-56303-110-000 | ECON. DEV/MAIN ST FLOWER LABOR | 5,080.00 | 0.00 | 4,750.00 | 4,750.00 | 0.00 |
| 100-00-56303-121-000 | SEASONAL LABOR FLOWERS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56303-151-000 | FICA EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56303-152-000 | DEVELOPMENT OF CITY PROPERTY | 2,610.00 | 0.00 | 5,000.00 | 5,000.00 | 0.00 |
| 100-00-56303-153-000 | VACANT LAND FIRE PROTECTION | 556.20 | 0.00 | 750.00 | 750.00 | 0.00 |
| 100-00-56303-154-000 | ECO. DEV. CHEQ. INITIATIVE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56303-350-000 | NEIGHBORHOOD FIX-UP PROJECT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56303-810-000 | CAPITAL OUTLAY/WELCOME SIGN | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| ARPA RECOVERY FUND EXPENSES | | 8,846.20 | 0.00 | 11,300.00 | 11,300.00 | 0.00 |
| 100-00-56400-000-000 | HISTORIC PRESERVATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56400-151-000 | HISTORIC PRES. / FICA EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56400-293-000 | HISTORIC PROGRAM EXPENSES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56400-294-000 | HISTORIC PRESERVATION SUPPLIES | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-56400-810-000 | HISTORIC PRESERVATION OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| HISTORIC PRESERVATION PROJECT | | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 100-00-56401-000-000 | ZONING BOARD OF APPEAL | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-56401-111-000 | ZONING BOARD PER DIEM | 0.00 | 0.00 | 500.00 | 500.00 | 0.00 |
| 100-00-56401-151-000 | ZONING BOARD FICA | 0.00 | 0.00 | 38.00 | 38.00 | 0.00 |
| 100-00-56401-158-000 | ZONING BOARD WORKMENS COMP. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56401-810-000 | CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|---------------------------------------|--------------------------------|----------------------------|-------------------------------|----------------|----------------------------|-----------------------|
| ZONING BOARD OF APPEAL | | 0.00 | 0.00 | 1,038.00 | 1,038.00 | 0.00 |
| 100-00-56402-000-000 | ZONING ADMINISTRATOR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56402-210-000 | ZONING ADMIN. PROF. SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56402-294-000 | ZONING ADMIN COMPUTER SUPP/SER | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56402-299-000 | ZONING ADMIN. CONTINUING ED | 0.00 | 0.00 | 350.00 | 350.00 | 0.00 |
| 100-00-56402-311-000 | ZONING ADMIN OFFICE SUPPLIES | 71.26 | 0.00 | 300.00 | 300.00 | 0.00 |
| 100-00-56402-810-000 | CODE ENFORCEMENT OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-56402-820-000 | CODE ENDFORCEMENT REMEDIES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| ZONING ADMINISTRATOR | | 71.26 | 0.00 | 650.00 | 650.00 | 0.00 |
| CONSERVATION & DEVELOPMENT | | 14,753.41 | 0.00 | 21,603.00 | 25,679.00 | 18.87 |
| 100-00-57321-000-000 | BART | 13,850.00 | 0.00 | 14,850.00 | 14,850.00 | 0.00 |
| 100-00-57321-351-000 | BART BUS STOP MAINTENANCE | 600.00 | 0.00 | 1,000.00 | 2,000.00 | 100.00 |
| 100-00-57321-810-000 | BART CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| BART | | 14,450.00 | 0.00 | 15,850.00 | 16,850.00 | 6.31 |
| 100-00-57520-000-000 | SENIOR VAN | 3,950.00 | 0.00 | 4,950.00 | 4,950.00 | 0.00 |
| 100-00-57520-810-000 | SENIOR VAN CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| SENIOR VAN | | 3,950.00 | 0.00 | 4,950.00 | 4,950.00 | 0.00 |
| 100-00-57652-000-000 | PURCHASE OF PROPERTY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PURCHASE OF PROPERTY | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PROJECTS | | 18,400.00 | 0.00 | 20,800.00 | 21,800.00 | 4.81 |
| 100-00-58100-000-000 | PRINCIPAL ON DEBT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| SHORT TERM DEBT | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-58200-000-000 | INTEREST ON DEBT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| INTEREST ON DEBT | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-58201-000-000 | INTEREST ON SHORT TERM LOANS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| INTEREST ON SHORT TERM LOANS | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-58202-000-000 | PAYING AGENT CHARGES | 3,000.00 | 0.00 | 3,600.00 | 3,600.00 | 0.00 |
| PAYING AGENT CHARGES | | 3,000.00 | 0.00 | 3,600.00 | 3,600.00 | 0.00 |
| LOAN/LEASE PAYMENT | | 3,000.00 | 0.00 | 3,600.00 | 3,600.00 | 0.00 |
| 100-00-59103-000-000 | MAPS & PLATS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| MAPS & PLATS | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-59104-000-000 | SALE OF CITY PROPERTY EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| SALE OF CITY PROPERTY EXPENSE | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Fund: 100 - GENERAL FUND

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|----------------------|---------------------------------------|----------------------------|-------------------------------|---------------------|----------------------------|-----------------------|
| 100-00-59105-000-000 | BANK SERVICE CHARGES | 126.76 | 0.00 | 100.00 | 100.00 | 0.00 |
| | BANK SERVICE CHARGES | 126.76 | 0.00 | 100.00 | 100.00 | 0.00 |
| 100-00-59109-000-000 | ROOM TAX TO CHAMBER | 90,384.55 | 0.00 | 85,500.00 | 85,500.00 | 0.00 |
| | ROOM TAX TO CHAMBER | 90,384.55 | 0.00 | 85,500.00 | 85,500.00 | 0.00 |
| 100-00-59110-000-000 | AMBULANCE A/R WRITE OFF | 2,291.85 | 0.00 | 0.00 | 0.00 | 0.00 |
| | BAD DEBT WRITE OFF | 2,291.85 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-59119-000-000 | UNCLASSIFIED | 227.12 | 0.00 | 0.00 | 0.00 | 0.00 |
| | MISC. EXPENSE | 227.12 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-59235-000-000 | TRANSFER TO ECONOMIC DEV. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | TRANSFER TO ECONOMIC DEV. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-59264-000-000 | TRANSFER TO CAPITAL EQUIP FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | TRANSFER TO CAPITAL EQUIP FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 100-00-59265-000-000 | TRANSFER TO BAYFIELD ST FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | TRANSFER TO BAYFIELD ST FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| | GASB 75 EXPENSE | 93,030.28 | 0.00 | 85,600.00 | 85,600.00 | 0.00 |
| | Total Expenses | 2,376,513.25 | 0.00 | 2,821,304.00 | 2,983,615.00 | 5.75 |
| | Net Totals | -26,920.68 | 0.00 | 0.00 | 0.00 | |

Fund: 410 - CAPITAL IMPROVEMENT

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 410-00-41110-000-000 | GENERAL PROPERTY TAXES | 295,900.00 | 0.00 | 293,975.00 | 289,410.00 | -1.55 |
| TAXES | | 295,900.00 | 0.00 | 293,975.00 | 289,410.00 | -1.55 |
| 410-00-43536-000-000 | LRIP MONEY | 0.00 | 0.00 | 12,865.00 | 0.00 | -100.00 |
| 410-00-43537-000-000 | GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-43538-000-000 | VOTING EQUIPMENT REIMBURSEMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-43539-000-000 | GREAT LAKES RESTORATION GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-43540-000-000 | LIBRARY COUNTY GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-43541-000-000 | LIBRARY BREMER GRANT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-43542-000-000 | GRANT FUNDS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| INTERGOVERNMENTAL REVENUES | | 0.00 | 0.00 | 12,865.00 | 0.00 | -100.00 |
| 410-00-46371-000-000 | FEES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLIC CHARGES FOR SERVICES | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-48100-000-000 | INTEREST ON INVESTMENTS | 689.08 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-48200-000-000 | RENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-48303-000-000 | SALE OF CITY EQUIPMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-48400-000-000 | INSURANCE RECOVERIES | 0.00 | 0.00 | 0.00 | 66,000.00 | 999.99 |
| 410-00-48500-000-000 | DONATIONS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-48600-000-000 | MISCELLANEOUS REVENUES | 0.00 | 0.00 | 20,000.00 | 0.00 | -100.00 |
| OTHER FINANCING SOURCES | | 689.08 | 0.00 | 20,000.00 | 66,000.00 | 230.00 |
| 410-00-49100-000-000 | PROCEEDS FROM LONG TERM DEBT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49101-000-000 | 2003 CAPITAL PROJECT PROCEEDS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49102-000-000 | PROCEEDS FROM CITY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49210-000-000 | TRANSFER FROM GENERAL FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49223-000-000 | TRANSFER FROM TAX INCREMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49224-000-000 | TRANSFER FROM CEM DEVELOPMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49225-000-000 | TRANSFER FROM PARK OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49242-000-000 | TRANSFER FROM PUBLIC FAC. FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49243-000-000 | TRANSFER FROM SKATE PARK | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49244-000-000 | TRANSFER FROM PD CRIME PREV. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49245-000-000 | TRANSFER FROM SMART GROWTH | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49246-000-000 | TRANSFER FROM LIBRARY ACCT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49300-000-000 | TRANSFER FROM DEBT SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-49301-000-000 | FUND/CASH BAL. APPLIED | 0.00 | 0.00 | 45,000.00 | 19,000.00 | -57.78 |
| 410-00-49510-000-000 | TRANSFER FROM CEM DEVELOPMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| TRANSFER FROM OTHER FUNDS | | 0.00 | 0.00 | 45,000.00 | 19,000.00 | -57.78 |
| Total Revenues | | 296,589.08 | 0.00 | 371,840.00 | 374,410.00 | 0.69 |

Fund: 410 - CAPITAL IMPROVEMENT

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|-----------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 410-00-51440-810-000 | ELECTIONS OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-51450-810-000 | OFFICE CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-51450-820-000 | OFFICE DEP. CAPITAL PROJECT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-51601-000-000 | CITY HALL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-51601-810-000 | CITY HALL | 25,250.00 | 0.00 | 110,000.00 | 0.00 | -100.00 |
| 410-00-51601-820-000 | CITY HALL CAPITAL PROJECT | 0.00 | 0.00 | 0.00 | 25,000.00 | 999.99 |
| GENERAL GOVERNMENT | | 25,250.00 | 0.00 | 110,000.00 | 25,000.00 | -77.27 |
| 410-00-52101-810-000 | POLICE DEP. CAPITAL OUTLAY | 899.00 | 0.00 | 0.00 | 3,000.00 | 999.99 |
| 410-00-52201-810-000 | FIRE DEP. CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-52201-820-000 | FIRE DEP. CAPITAL PROJECT | 0.00 | 0.00 | 0.00 | 40,000.00 | 999.99 |
| 410-00-52301-351-000 | AMBULANCE RESCUE EQUIPMENT | 3,701.94 | 0.00 | 5,000.00 | 0.00 | -100.00 |
| 410-00-52301-810-000 | AMBULANCE CAPITAL OUTLAY | 0.00 | 0.00 | 20,000.00 | 49,500.00 | 147.50 |
| PUBLIC SAFETY | | 4,600.94 | 0.00 | 25,000.00 | 92,500.00 | 270.00 |
| 410-00-53202-810-000 | STREET & ALLEYS CAPITAL OUTLAY | 75,102.67 | 0.00 | 60,365.00 | 93,910.00 | 55.57 |
| 410-00-53202-820-000 | STREET & ALLEYS CRACK FILLING | 0.00 | 0.00 | 47,500.00 | 20,000.00 | -57.89 |
| 410-00-53203-810-000 | BAYFIELD STREET PROJECT | 72,174.88 | 0.00 | 0.00 | 25,000.00 | 999.99 |
| 410-00-53230-810-000 | GARAGE/MACHINE SHED CAPITAL | 0.00 | 0.00 | 0.00 | 100,000.00 | 999.99 |
| 410-00-53271-810-000 | TREE CONTROL CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-53307-810-000 | STREET SIGNS & MARKINGS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-53308-810-000 | ST. MACHINERY CAPITAL OUTLAY | 43,724.50 | 0.00 | 18,000.00 | 0.00 | -100.00 |
| 410-00-53440-820-000 | PW GARAGE CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-53610-810-000 | TREATMENT PLANT UPGRADE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLIC WORKS | | 191,002.05 | 0.00 | 125,865.00 | 238,910.00 | 89.81 |
| 410-00-54910-820-000 | CEMETERY CAPITAL PROJECT | 7,700.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| HEALTH AND HUMAN SERVICES | | 7,700.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-55110-810-000 | LIBRARY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-55110-820-000 | LIBRARY ROOF PROJECT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-55200-810-000 | PARKS CAPITAL OUTLAY | 19,308.40 | 0.00 | 45,975.00 | 18,000.00 | -60.85 |
| 410-00-55200-820-000 | BEACH RESTORATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| CULTURE, RECREATION & EDUCAT | | 19,308.40 | 0.00 | 45,975.00 | 18,000.00 | -60.85 |
| 410-00-56300-810-000 | PUBLIC ACCESS TELEVISION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-56302-810-000 | COMPREHENSIVE PLAN | 15,395.20 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-56303-810-000 | CAPITAL OUTLAY WELCOME SIGN | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-56400-810-000 | HISTORIC PRESERVATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-56401-810-000 | CONSER/DEV. CAPITAL OUTLAY | 0.00 | 0.00 | 65,000.00 | 0.00 | -100.00 |
| CONSERVATION & DEVELOPMENT | | 15,395.20 | 0.00 | 65,000.00 | 0.00 | -100.00 |
| 410-00-57321-810-000 | BART | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-57520-810-000 | SENIOR VAN | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-57630-810-000 | ATHLETIC FIELD CAPITAL OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-57650-000-000 | CAPITAL IMPROV. EQUIP. LEASE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-57651-000-000 | CAPITAL OUTLAY/FRONTEND LOADER | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-57651-820-000 | CAPITAL OUTLAY WASHINGTON AVE. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PROJECTS | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Fund: 410 - CAPITAL IMPROVEMENT

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|------------------------|--------------------------------|----------------------------|-------------------------------|----------------|----------------------------|-----------------------|
| 410-00-59119-000-000 | UNCLASSIFIED | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59210-000-000 | TRANSFER TO GENERAL FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59211-000-000 | TRANSFER TO STORM WATER UTILIT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59220-000-000 | TRANSFER TO WATER & SEWER FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59221-000-000 | TRANSFER TO HARBOR COMMISSION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59230-000-000 | TRANSFER TO DEBT SERVICE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59291-000-000 | TRANSFER TO LIBRARY ACCOUNT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 410-00-59410-000-000 | TRANSFERE TO PARK OUTLAY | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| GASB 75 EXPENSE | | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Total Expenses | | 263,256.59 | 0.00 | 371,840.00 | 374,410.00 | 0.69 |
| Net Totals | | 33,332.49 | 0.00 | 0.00 | 0.00 | -100.00 |

October 23, 2023

CITY OF WASHBURN

PERSONAL & FINANCE COMMITTEE MEETING

10:00AM

Washburn City Hall

Present City Council Members:

Mary McGrath, Tracey Snyder, Tom Neimes

Municipal Personnel:

Mayor Mary D. Motiff, City Administrator Scott J. Kluver,
Assistant City Administrator Tony Janisch, Fire Chief Mark
Guenther, Director of Public Works Gerry Schuette

Absent:

none

Call to Order - Meeting called to order at 10:02 AM by McGrath. Roll call attendance depicted three (3) of three (3) members of the Finance & Personnel Committee in attendance. Also present were municipal personnel Mayor Motiff, City Administrator Kluver, Asst. City Administrator Janisch, Fire Chief Guenther & Public Works Director Schuette

Approval of the September 19, 2023 Meeting Minutes - A motion was made by Neimes to approve the minutes of September 19, 2023, second by Synder. Motion carried unanimously.

Discussion & Recommendation on proposed 2024 Capital Budgets & Proposed Items for a Borrowing

– Kluver began discussion by walking through the costs for Phase 1 of the Bayfield Street Project. He noted the total proposed cost of \$4.8 million. This cost includes utility work by the City, engineering costs, shared costs from WisDOT, and a contingency. He continued that the City has received a \$1 million CDBG grant and is still waiting to hear about two low interest loans through the WisDNR, the Clean Water Fund & Safe Drinking Water. If all requested grants and loans come in, the City would need to cover \$926,000 in costs for the Bayfield Street Project. If so, this would open up the ability to borrow for other capital items not identified for funding in 2024. Kluver concluded by noting that the City could borrow up to \$3 million without the need to raise taxes.

The Committee began discussion of the “wish list” for capital items. Fire Chief Guenther shared the proposed costs for a new fire truck, which was discussed at the past meeting. Guenther’s preference is with Pierce Manufacturing, with a HDRP body and price range at \$960,000. He continued that it would take four years to build and deliver the fire truck, and the actual cost wouldn’t be known for three years. Guenther added that Custom Fire Manufacturing has a 18–24-month delivery timeframe and would cost around \$1 million, but that the price would be locked in at the time of order. Kluver added that the Towns would need to be contacted and included in the discussion of purchasing a new fire truck and they would cover 45% of the costs. Snyder commented and the Committee agreed that a fire truck should be a priority for the borrowing.

The Committee next discussed West End Campground Expansion. Kluver commented that engineering plans & costs for campground expansion will be on the November Council agenda. He added that the petition for a referendum for commercial development may also be on the November agenda, but that he has not received the formal request from that group. He continued that if Council chooses not to approve the proposed ordinance, a referendum for such would be at the April election.

Next, the Committee began discussion of the Public Works capital needs. Public Works Director Schuette identified three pieces of equipment that are aging and in need of serious repair, but preferable replacement. Schuette prioritized this equipment with a tractor first, which is a multi-use piece of equipment, next a dump truck, and third a payload. Schuette continued that replacement with good-quality used equipment could be possible. Costs would range from \$45,000 to \$120,000 depending on the type of equipment. Schuette added a desire to construct a shelter at the artesian flowing well at West End Park, to help prevent the area from getting too icy during winter months.

Discussion continued on other Park needs including asphalt resurfacing of the West End campground road, new playground equipment & T-dock also at West End Park, additional parking at the West End boat ramp, shelters at Jackie's Field & Hillside Park, and restrooms at Wikdahl Park & Jackie's Field. Other capital items mentioned were tennis court expansion and resurfacing, and a bike park. Discussion concluded with City Hall needs for paint, carpet & tile work, and code codification, to help bring the City Ordinances up to date.

The Committee next created a top-ten priority capital list for borrowing. 1. Bayfield Street Project, 2. Fire Truck, 3. Tractor & Dump Truck, 4. West End Campground Expansion, 5. West End Park Playground, 6. West End Campground Road Resurfacing, 7. Code Codification, 8. Boat Ramp Parking, 9. Tennis Courts Resurfacing, 10. T-Dock.

Snyder moved to include in Capital Planning the 10 Priority Items discussed for a Potential Borrowing and other funding opportunities; seconded by McGrath. Motion carried unanimously.

Adjourn – Moved by Snyder to adjourn the meeting at 12:04 PM, second by Neimes. Motion carried unanimously.

Tony Janisch
Assistant City Administrator

2024 City of Washburn Budget Capital Planning - Draft October 31, 2023

| <u>Department</u> | <u>Project</u> | <u>Estimated Cost</u> | <u>Other Potential Funding Offset</u> | <u>Final Est. City Cost</u> | <u>2024 Regular Capital Budget</u> | <u>2024 Borrowing</u> | <u>Comments</u> |
|---------------------|--------------------------------------------|-----------------------|---------------------------------------|-----------------------------|------------------------------------|-----------------------|---------------------------------------------------------------------------------------------------------------------------------------------|
| Ambulance | | | | | | | |
| | Windows | 24,500 | | 24,500 | 24,500 | | |
| | Rain Gutters | 5,000 | | 5,000 | 5,000 | | |
| | Asphalt Repair | 20,000 | | 20,000 | 20,000 | | |
| Fire | | | | | | | |
| | Air Pack Match | 7,100 | | 7,100 | 0 | | Requested to Go to Friends |
| | Asphalt Extension | 20,000 | | 20,000 | 20,000 | | |
| | Concrete Replacement - Draft Septembe | 20,000 | | 20,000 | 20,000 | | |
| | (2) Fire Truck | 1,100,000 | | 1,100,000 | | 1,100,000 | Town Contribution, but City carries loan |
| Police | | | | | | | |
| | Cage for Garage | 3,000 | | 3,000 | 3,000 | | |
| Library | | | | | | | |
| | Ceiling, Lights, Carpet | 100000 | 21,000 | 79,000 | | | Money from insurance deposited into Capital Fund; Unknown if the Library Board wants to proceed in 2024 |
| City Hall | | | | | | | |
| | Tuckpoint/Brick Repair | 25,000 | | 25,000 | 25,000 | | |
| | Paint/Carpet | 50,000 | | 50,000 | | | |
| | (7) Code Codification | 50,000 | | 50,000 | | 50,000 | |
| Public Works | | | | | | | |
| | 8th Ave W Between 4th and 5th Resurfa | 28,000 | | 28,000 | 28,000 | | |
| | W Pine (100 Feet W of N. Washington | 12,000 | | 12,000 | 12,000 | | |
| | Road Base Secondary Streets (Oak, Forti | 53,910 | | 53,910 | 53,910 | | |
| | Crack- Chip Sealing E Bayfield St. Parking | 20,000 | | 20,000 | 20,000 | | |
| | (3) Tractor Backhoe | 120,000 | | 120,000 | | 120,000 | May need to be on separate 10-year loan |
| | Payloader | 85,000 | | 85,000 | | | |
| | (3) Dump Truck | 45,000 | | 45,000 | | 45,000 | May need to be on separate 10-year loan |
| | Lawn Mower | 18,000 | | 18,000 | 18,000 | | |
| | (1) Bayfield Street Project (DOT Costs) | 1,025,000 | | 1,025,000 | 25,000 | 1,000,000 | |
| | Sidewalks | | | 0 | | | |
| | DPW Storage Building | 100,000 | 85,000 | 15,000 | 15,000 | | \$19,000 already deposited in Capital from Insurance. Insurance will pay out more, once constructed - less foundation at different location |
| Parks | | | | | | | |
| | (4) West End Park Expansion | 1,000,000 | | 1,000,000 | | 1,000,000 | |
| | (6) West End Asphalt Resurfacing | 150,000 | | 150,000 | | 150,000 | |
| | (5) Playground Equipment West End | 125,000 | 75,000 | 50,000 | | 50,000 | Plan to do in 2025; Offset is fundraising Goal |
| | Shelters at Jackies Field/Hillside | 28,000 | | 28,000 | | | |
| | Shelter for Flowing Well | 4,500 | | 4,500 | | | Park Designated Fund? |
| | (8) Parking Area at Boat Ramp (prep) | 8,500 | | 8,500 | | | Part of 2024 LRIP Submission for 2025 work - this work would need to be done in advance. Park Designated Fund? |
| | (10) T-Dock Replacement | 50000 | 25,000 | 25,000 | | 25,000 | Apply 50% Match to DNR RBF Plan for 2025 |
| | Restrooms - Wikdahl/Jackies Field | | | | | | |
| | (9) Tennis Court Resurfacing | 263,000 | | 263,000 | | 263,000 | |
| Totals | | 4,560,510 | | 4,354,510 | 289,410 | 3803000 | |

| | | | | | | | | | | |
|-------------------------------------------------------------------|----------------------------------------|------|-----|-------------|-----------------|-----------------|-----------------|---------------|---------------|-----------------|
| 118 E-1 | Adjust Existing Casting | Each | 1 | \$ 500.00 | \$ 500.00 | \$ - | \$ - | \$ 500.00 | \$ - | |
| 119 E-2 | 8" Sanitary Sewer PVC | L.F. | 498 | \$ 61.00 | \$ 30,378.00 | \$ - | \$ - | \$ 30,378.00 | \$ - | |
| 120 E-3 | Connect to Existing Sanitary | Each | 1 | \$ 750.00 | \$ 750.00 | \$ - | \$ - | \$ 750.00 | \$ - | |
| 121 E-4 | Sanitary Manhole 4 Ft | V.F. | 4.9 | \$ 575.00 | \$ 2,817.50 | \$ - | \$ - | \$ 2,817.50 | \$ - | |
| 122 E-5 | Casting Type J-S | Each | 1 | \$ 800.00 | \$ 800.00 | \$ - | \$ - | \$ 800.00 | \$ - | |
| 123 E-6 | 6" Wye | Each | 9 | \$ 275.00 | \$ 2,475.00 | \$ - | \$ - | \$ 2,475.00 | \$ - | |
| 124 E-7 | 6" Sanitary Lateral PVC | L.F. | 110 | \$ 40.00 | \$ 4,400.00 | \$ - | \$ - | \$ 4,400.00 | \$ - | |
| 125 E-8 | Tracer Wire Access Box | Each | 9 | \$ 125.00 | \$ 1,125.00 | \$ - | \$ - | \$ 1,125.00 | \$ - | |
| 126 E-9 | Sanitary Sewer Televising | L.F. | 498 | \$ 4.50 | \$ 2,241.00 | \$ - | \$ - | \$ 2,241.00 | \$ - | |
| 127 E-10 | Trackout Control | L.S. | 1 | \$ 950.00 | \$ 950.00 | \$ - | \$ - | \$ 950.00 | \$ - | |
| 128 E-11 | Roadway Patch | S.Y. | 70 | \$ 45.00 | \$ 3,150.00 | \$ - | \$ - | \$ 3,150.00 | \$ - | |
| 129 E-12 | Roadway Earthwork | C.Y. | 290 | \$ 18.50 | \$ 5,365.00 | \$ - | \$ - | \$ 5,365.00 | \$ - | |
| 130 E-13 | Geotextile Stabilization Fabric | S.Y. | 660 | \$ 2.00 | \$ 1,320.00 | \$ - | \$ - | \$ 1,320.00 | \$ - | |
| 131 E-14 | Base Course | C.Y. | 290 | \$ 32.00 | \$ 9,280.00 | \$ - | \$ - | \$ 9,280.00 | \$ - | |
| 132 E-15 | 2" Asphaltic Concrete Driveway Pa | S.Y. | 10 | \$ 40.00 | \$ 400.00 | \$ - | \$ - | \$ 400.00 | \$ - | |
| | Subtotal for Schedule E - Alley | | | \$ | \$ 65,951.50 | \$ - | \$ - | \$ 65,951.50 | \$ - | |
| Schedule F - Omaha Street | | | | | | | | | | |
| 133 F-1 | 6" Water Main PVC | L.F. | 594 | \$ 54.40 | \$ 32,313.60 | \$ - | \$ 32,313.60 | \$ - | \$ - | |
| 134 F-2 | 8" Water Main PVC | L.F. | 8 | \$ 224.00 | \$ 1,792.00 | \$ - | \$ 1,792.00 | \$ - | \$ - | |
| 135 F-3 | 6" Valve and Box | Each | 1 | \$ 2,300.00 | \$ 2,300.00 | \$ - | \$ 2,300.00 | \$ - | \$ - | |
| 136 F-4 | Connect to Existing Water Main | Each | 3 | \$ 1,200.00 | \$ 3,600.00 | \$ - | \$ 3,600.00 | \$ - | \$ - | |
| 137 F-5 | Connect to Existing Water Main 6"x | Each | 1 | \$ 2,500.00 | \$ 2,500.00 | \$ - | \$ 2,500.00 | \$ - | \$ - | |
| 138 F-6 | 1" Water Service | L.F. | 46 | \$ 45.00 | \$ 2,070.00 | \$ - | \$ 2,070.00 | \$ - | \$ - | |
| 139 F-7 | 1" Corp Stop, Curb Stop, and Box | Each | 2 | \$ 1,300.00 | \$ 2,600.00 | \$ - | \$ 2,600.00 | \$ - | \$ - | |
| 140 F-8 | 12" Culvert PE | L.F. | 40 | \$ 38.75 | \$ 1,550.00 | \$ - | \$ 1,550.00 | \$ - | \$ - | |
| 141 F-9 | 12" Apron Endwall Metal | Each | 4 | \$ 650.00 | \$ 2,600.00 | \$ - | \$ 2,600.00 | \$ - | \$ - | |
| 142 F-10 | Silt Fence | L.F. | 40 | \$ 4.00 | \$ 160.00 | \$ - | \$ 160.00 | \$ - | \$ - | |
| 143 F-11 | Trackout Control | L.S. | 1 | \$ 900.00 | \$ 900.00 | \$ - | \$ 900.00 | \$ - | \$ - | |
| 144 F-12 | Roadway Patch | S.Y. | 110 | \$ 42.50 | \$ 4,675.00 | \$ - | \$ 4,675.00 | \$ - | \$ - | |
| 145 F-13 | Clearing and Grubbing | L.S. | 1 | \$ 2,500.00 | \$ 2,500.00 | \$ - | \$ 2,500.00 | \$ - | \$ - | |
| 146 F-14 | Base Course Driveway | C.Y. | 20 | \$ 42.00 | \$ 840.00 | \$ - | \$ 840.00 | \$ - | \$ - | |
| 147 F-15 | Turf Replacement | L.S. | 1 | \$ 5,000.00 | \$ 5,000.00 | \$ - | \$ 5,000.00 | \$ - | \$ - | |
| 148 F-16 | Erosion Mat | S.Y. | 140 | \$ 3.00 | \$ 420.00 | \$ - | \$ 420.00 | \$ - | \$ - | |
| 149 F-17 | Pavement Saw Cutting | L.F. | 60 | \$ 4.00 | \$ 240.00 | \$ - | \$ 240.00 | \$ - | \$ - | |
| | Subtotal for Schedule F - Omaha Street | | | \$ | \$ 66,060.60 | \$ - | \$ 66,060.60 | \$ - | \$ - | |
| Total Base Construction Bid Amount (Line Items 1 thru 149) | | | | | \$ 2,874,019.70 | \$ 1,872,309.50 | \$ 1,718,877.35 | \$ 870,346.25 | \$ 295,753.60 | \$ 275,883.90 |
| Engineering Design | | | | | \$ 236,300.00 | \$ 134,600.00 | \$ 141,324.96 | \$ 71,559.29 | \$ 24,316.67 | \$ 22,682.99 |
| Engineering Construction | | | | | \$ 291,000.00 | \$ 189,574.92 | \$ 174,039.62 | \$ 88,124.23 | \$ 29,945.62 | \$ 27,933.77 |
| Engineering CDBG | | | | | \$ 31,000.00 | \$ 31,000.00 | \$ - | \$ - | \$ - | \$ - |
| Engineering SDWLP & CWFLP | | | | | \$ 34,200.00 | \$ - | \$ 17,100.00 | \$ 17,100.00 | \$ - | \$ - |
| Subtotal Engineering | | | | | \$ 592,500.00 | \$ 355,174.92 | \$ 332,464.58 | \$ 176,783.52 | \$ 54,262.29 | \$ 50,616.76 |
| DOT Costs | | | | | | | | | | |
| Parking Lanes | | | | | \$ 408,441.05 | \$ - | \$ 306,330.79 | \$ 102,110.26 | \$ - | \$ - |
| Lighting | | | | | \$ 389,109.64 | \$ - | \$ - | \$ 389,109.64 | \$ - | \$ - |
| Concrete Terraces | | | | | \$ 101,527.50 | \$ - | \$ - | \$ 101,527.50 | \$ - | \$ - |
| Engineering and Contingencies | | | | | \$ 80,890.47 | \$ - | \$ 27,560.72 | \$ 9,186.91 | \$ 44,142.84 | \$ - |
| Subtotal DOT | | | | | \$ 979,968.66 | \$ - | \$ 333,891.51 | \$ 111,297.17 | \$ 534,779.98 | \$ - |
| Contingency | | | | | \$ 400,000 | \$ 260,584 | \$ 239,229.72 | \$ 121,132.96 | \$ 41,162.36 | \$ 38,396.94 |
| Available Grant | | | | | \$ - | \$ 1,000,000.00 | \$ - | \$ - | \$ - | \$ - |
| Noneligible (Other Grant) | | | | | \$ - | \$ - | \$ 600,000.00 | \$ 400,000.00 | \$ - | \$ - |
| Potential Grant (50% SDW 45 CWF Eligible Remaining) | | | | | \$ - | \$ - | \$ 1,012,231.58 | \$ 345,718.23 | \$ - | \$ - |
| Subtotal Grant | | | | | \$ - | \$ 1,000,000.00 | \$ 1,012,231.58 | \$ 345,718.23 | \$ - | \$ 2,357,949.81 |
| Subtotal Project Cost | | | | | \$ 4,846,488.36 | \$ 1,488,068.51 | \$ 1,612,231.58 | \$ 933,841.67 | \$ 925,958.23 | \$ 364,897.60 |
| Total Potential Grant | | | | | \$ 2,357,949.81 | \$ - | \$ - | \$ - | \$ - | \$ - |
| Total Net City Cost | | | | | \$ 2,488,538.55 | \$ - | \$ - | \$ - | \$ - | \$ - |
| DNR Loan Principal | | | | | | | \$ 1,012,231.58 | \$ 533,841.67 | \$ - | \$ - |
| General Fund | | | | | \$ 942,465.30 | \$ - | \$ - | \$ - | \$ - | \$ - |

9

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: Scott J. Kluver, Administrator
Re: Council/Committee Per-Diem
Date: October 11, 2023

In the proposed budget, it is proposed that the Council per-diem increase from the current \$80 per meeting to \$125 per meeting. In addition, the Plan Commission, Zoning Board of Appeals, Housing Authority, and Personnel/Finance Committee per-diems would increase from the current \$25 per meeting to \$75 per meeting. There are two reasons for this, and the first is that the per-diems have not been adjusted since 2009 after the current meeting structure was adopted in 2008. They have been looked at several times over the years, but no action has occurred. The current policy on the Mayor's salary was adopted in 2016 which provides a two percent increase per year. The second reason is that the committee per-diems have fallen out of step with the County Housing Authority. It is essentially the same board with some members receiving \$75 and others \$25.

The proposed 2024 budget reflects the proposed change, and know that for that all of the Council members, the new rate would not go into effect until after the expiration of your current term. As the notice for the next election will be coming out at the end of November, I would like to have this formally addressed now. With that, I recommend that the new per-diem rates of \$125 and \$75 be approved.

10

CITY OF WASHBURN
119 Washington Avenue
P.O. Box 638
Washburn, WI 54891



715-373-6160
715-373-6161
FAX 715-373-6148

To: Honorable Mayor and City Council Members
From: Scott J. Kluver, ^{SK}City Administrator
Re: 2024 Water and Sewer Utility Budgets
Date: October 25, 2023

Attached you will find the respective proposed 2024 budgets for the Water and Sewer Utilities.

Water Utility:

Overall, revenues for the water utility are up, largely because of the rate increase going into effect this summer. Consumption of water decreased to 36.9 million gallons for the last four complete quarters compared to 37.3 million gallons from October 1, 2021 to September 30, 2022 period. Commercial customers are the category that decreased, while all other classes remained stable. Revenue figures provided in the budget are based on actual billings for the past four quarters. Overall, the Water Utility is still performing well and is meeting its expenses, but there is not a lot of leftover money for capital improvements with the debt the utility is carrying.

As for expenses, wages include a proposed three percent increase for 2024, along with the anticipated benefit changes. Most of the other adjustments are related to Stormwater rate increase and Worker's Compensation decreases. The other expenses for the utility are expected to be stable, and the debt load at the beginning of the year will be \$2.92 million. Know that the debt load and stress on both utilities will be increased as a result of the Bayfield Street Project, and rate increases are likely to result in the future.

Even though current revenue does not bring in enough revenue to cover all of the depreciation expenses, the Utility has adequate cash for expenses. Please know that the overall cash in the fund balance is minimal as the Water Utility had been meeting the cash needs of the Sewer Utility for decades.

It is my intention to apply for an inflationary increase with the PSC in March of 2024 if the City is eligible to do so, unless I am directed otherwise. This would help keep the utility from losing ground from its relatively good position. In addition, it will reduce the administrative expenses and regulatory costs of applying for rate increases with the Public Service Commission (PSC) in the future. Not keeping up with inflationary costs also tends to shock utility customers as larger rate increases are needed when rates are required to be increased. If the City is eligible for that increase, I will inform the Council of the timeframe for implementation. I will also inform you if the PSC will require a larger than inflation increase because of our project.

Water Utility Revenues:

Forfeited Discounts (first line) - Late fees on hydrant rental

Water/Unmetered Sales – When water is purchased from City via hydrant/tanker

Private Fire Protection Systems – Fees charged to buildings with sprinkler systems.

Forfeited Discounts (second line) – Late fees on water usage

Other Revenues – Includes charges to DuPont for maintenance and operating costs

Residential Sales – Revenue from meters classified as residential – reflects past four quarters.

Commercial Sales – Revenue from meters classified as commercial – reflects past four quarters.

Industrial Sales – Revenue from meters classified as industrial – reflects past four quarters.

Multifamily Resident - Revenue from residential complexes with three or more units and served by a single water meter.

Public Authority Sales – Revenue from meters for government/public entities – reflects past four quarters.

Public Safety/Public Fire Protection – Revenue generated from Public Fire Protection Fee – reflects past four quarters. In 2015, a state statute required us to consolidate certain properties if owned by the same person and the properties were connected. Therefore, instead of receiving multiple fees for multiple properties, we receive one fee for multiple properties.

Other Income - Turn-on fees and connection charges

Interest on Investments – Interest on savings

Water Utility Expenses:

Water Depreciation Expense – This line item is not used for actual depreciation in the budget. It is being used for capital items that are not being paid for with capital dollars because we don't have a line item for that expense and don't want create another line item. Capital requests are explained below.

Water Amortization - Is the principal payment that the water utility is making on water debt, except for the special assessment debts, or revenues, which have historically not been included in the budget.

Water Taxes - Is the FICA amount for the wages plus, the amount of tax the utility pays the General Fund. The tax amount was reduced from \$27,484 to \$0 in 2010 by resolution in order to reduce the expenses for the Water Utility. The amount that should rightfully be paid to the General Fund is well over \$100,000. The \$27,484 amount was last adjusted back in 1994. Only the FICA expense remains in this line item.

Water Transportation – Includes fuel for vehicles, vehicle repairs and maintenance, and mileage expenses.

Water Salaries - Includes the amount of time of the DPW staff allocated to utilities divided by two (50 percent water, 50 percent sewer). General and administrative salaries includes the amounts for the DPW director (25%), Administrator (10%), Assistant Administrator (10%), Treasurer (5%), and Administrative Assistant (65%) allocated to the utilities. All salaries include a requested three percent (3%) wage increase for 2024.

Water Outside Services - Includes testing fees, consultants, and training.

Water Employee Pension and Benefits - Includes the health, retirement, and other benefits allocated to the utilities for all employees.

Regulatory Commission - Pays for Public Service Commission fees, permits, and licensing requirements.

L-T Interest Expense - Is the amount of interest the Water Utility will pay on the debt (except for special assessment debt).

Sewer Utility:

For 2024, the Sewer Utility is projected to meet its operational expenses for the sixth year in a row. Overall, the utility continues to perform far better than it has in prior years. Nonetheless, the Sewer Utility is far from covering all of its own capital expenses and paying back the other funds money that is owed. Staff have gone about as far as they can with making efficiencies, debt has been refinanced as best as possible, so we are left with modest rate increases to not scare off potential new development, which is the best way to increase revenue. In order to pay for needed capital expenses, Sewer will need to borrow money from Water. As such, I am recommending that \$24,247 be borrowed from Water to accomplish that.

Once again, I am recommending that we increase the service fee (meter charge) of the sewer utility by three percent (3%) again. This would translate to a roughly one and a half percent (1.5%) increase of the overall sewer charge for the average household. The rate would change from \$84.16 to \$86.68 for a standard residential meter. The service charge (meter charge) is intended to cover the cost of debt. Our service charge revenue does not meet our payments, so I am recommending the fix fee increase as opposed to a volume rate increase. I do not wish to make our rates excessive, as I am concerned that continued higher rates will simply drive down consumption and backfire on increasing revenue. If approved, this rate would go into effect December 16, 2023. In addition, there will be additional stress on the budget with new debt that will be needed for the Bayfield Street Project, so I believe this is necessary to keep the utility from going into the red again.

For expenses, wages include a proposed three percent (3%) wage increase for all staff. Costs for Stormwater have increased, but Worker's Comp insurance has decreased. At the beginning of the year, the Sewer Utility will have a debt load of about \$3.52 million. Again, this will increase because of the Bayfield Street Project.

Capital Projects

While there is little money for capital projects this year, this is what is recommended for approval:

Water:

SCADA Computer/Software (\$7,000) – I believe you all have had a tour of the treatment plant and have seen the computer program that monitors everything. That program is starting to freeze and fail as it is eight years old and needs to be replaced. This is priority #1. A matching amount is in the Sewer Utility.

Sewer:

SCADA Computer/Software (\$7,000) – I believe you all have had a tour of the treatment plant and have seen the computer program that monitors everything. That program is starting to freeze and fail as it is eight years old and needs to be replaced. This is priority #1. A matching amount is in the Water Utility.

Replace Influent Pump at Plant (\$24,400) – An important component of the inflow at the treatment plant. Priority #2.

Fix Discharge Line into Lake Superior (\$20,000) – This pipe was repaired a few years ago, but ice continues to cause damage. DNR approvals were sought this year to shorten the pipe, essentially cut off the damaged portion. Staff are working on getting final estimates for this work. Priority #3.

With these three priority items, the total expense is \$58,400. Between the two utilities there is \$62,459 estimated to be available. I propose the balance be used for additional repairs and upkeep at the plant. The utilities are not able to tap reserve funds and purchase additional equipment or repairs without a more significant rate increase.

Attached you will find the list of all of the capital requests for the utilities for this year and note the ones that will not be addressed due to inadequate dollars. You will also see the comments from staff. They are doing a good job with what they have, which I believe is the case for everyone with the City. We have all taken on more and are stretched to the limit.

Please let me know if you have any questions regarding this budget. I recommend tentative approval of the budgets with the authorization to proceed with the PSC application for a rate increase in water if eligible. In addition, a motion should be made on the sewer rate increase.

Draft #2

10/25/2023

11:13 AM

Proposed Budget Overview - Detail

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ACCT

Fund: 620 - WATER UTILITY

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|---------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 620-00-46414-000-470 | WATER SERVICE FORFIETED DISC. | 556.25 | 0.00 | 500.00 | 500.00 | 0.00 |
| 620-00-46450-000-460 | WATER/UNMETERED SALES | 471.20 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 620-00-46450-000-461 | WATER/METERED SALES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-46450-000-462 | WATER/PRIVATE FIRE PROTECTION | 1,513.20 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 620-00-46450-000-470 | WATER/FORFIETED DISCOUNTS | 832.45 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 620-00-46450-000-474 | WATER/OTHER REVENUES | 1,078.91 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-46451-000-461 | RESIDENTIAL/METERED SALES | 222,437.22 | 0.00 | 225,283.00 | 232,639.00 | 3.27 |
| 620-00-46452-000-461 | COMMERCIAL/METERED SALES | 40,264.51 | 0.00 | 40,191.00 | 40,592.00 | 1.00 |
| 620-00-46453-000-461 | INDUSTRIAL/METERED SALES | 2,806.51 | 0.00 | 2,780.00 | 2,882.00 | 3.67 |
| 620-00-46454-000-461 | MULTIFAMILY RESIDENT/METERED | 5,885.91 | 0.00 | 6,203.00 | 6,397.00 | 3.13 |
| PUBLIC CHARGES FOR SERVICES | | 275,846.16 | 0.00 | 278,957.00 | 287,010.00 | 2.89 |
| 620-00-47310-000-464 | GEN. GOV./SALES TO PUBLIC AUTH | 38,476.39 | 0.00 | 38,534.00 | 39,957.00 | 3.69 |
| 620-00-47320-000-463 | PUBLIC SAFETY/PUBLIC FIRE PRO | 149,990.31 | 0.00 | 148,619.00 | 154,390.00 | 3.88 |
| 620-00-47320-000-471 | PUBLIC SAFETY/HYDRANT RENTAL | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-47330-000-461 | DUPONT WATER SALES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-47330-000-474 | DUPONT REIMBURSEMENTS | 2,577.60 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-47400-000-467 | LOCAL DEPART./INTERDEPARTMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-47400-000-634 | Water Other Income | 8,562.54 | 0.00 | 750.00 | 750.00 | 0.00 |
| INTERGOVT CHARGES FOR SERVICES | | 199,606.84 | 0.00 | 187,903.00 | 195,097.00 | 3.83 |
| 620-00-48000-000-000 | TRANSFER FROM TIF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-48100-000-419 | INTEREST ON INVESTMENTS | 1,324.30 | 0.00 | 300.00 | 5,000.00 | 999.99 |
| 620-00-48100-000-420 | INTEREST/CAPITILIZATION OF RD | 910.63 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-48100-000-421 | INTEREST ON INVESTMENTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-48100-002-419 | INTEREST ON INVESTMENTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| OTHER FINANCING SOURCES | | 2,234.93 | 0.00 | 300.00 | 5,000.00 | 999.99 |
| 620-00-49211-000-000 | TRANS FROM WATER FUND BAL | 0.00 | 0.00 | 6,468.00 | 0.00 | -100.00 |
| TRANSFER FROM OTHER FUNDS | | 0.00 | 0.00 | 6,468.00 | 0.00 | -100.00 |
| Total Revenues | | 477,687.93 | 0.00 | 473,628.00 | 487,107.00 | 2.85 |

Fund: 620 - WATER UTILITY

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|---------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 620-00-53700-000-403 | WATER DEPRECIATION EXPENSE | 186,437.24 | 0.00 | 26,200.00 | 31,247.00 | 19.26 |
| 620-00-53700-000-404 | WATER/AMORTIZATION | 0.00 | 0.00 | 111,542.00 | 116,822.00 | 4.73 |
| 620-00-53700-000-408 | TAXES FICA/MEDICARE | 6,676.02 | 0.00 | 7,845.00 | 8,071.00 | 2.88 |
| 620-00-53700-000-409 | PSC REMAINDER ASSES. | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-000-425 | WATER AMORTIZATION GRANTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-000-428 | WATER BOND DISCT. AMORIZAT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-000-429 | WATER AMORTIZ OF PREMIUM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-000-600 | WATER SALARIES | 59,403.26 | 0.00 | 74,573.00 | 76,768.00 | 2.94 |
| 620-00-53700-000-610 | WATER STORM WATER | 1,110.68 | 0.00 | 1,064.00 | 1,200.00 | 12.78 |
| 620-00-53700-000-620 | WATER FUEL OR POWER PURCHASE | 19,581.11 | 0.00 | 20,000.00 | 20,000.00 | 0.00 |
| 620-00-53700-000-630 | WATER CHEMICALS | 0.00 | 0.00 | 1,000.00 | 1,000.00 | 0.00 |
| 620-00-53700-000-640 | WATER SUPPLIES & EXPENSES | 4,769.52 | 0.00 | 8,000.00 | 8,000.00 | 0.00 |
| 620-00-53700-000-650 | WATER REPAIRS PLANT | 10,252.80 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 620-00-53700-000-660 | WATER TRANSPORTATION EXP. | 684.42 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 620-00-53700-000-680 | WATER GEN & ADMIN SALARIES | 25,879.61 | 0.00 | 27,828.00 | 28,682.00 | 3.07 |
| 620-00-53700-000-681 | WATER OFFICE SUPPLY & EXPENSE | 2,030.91 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| 620-00-53700-000-682 | WATER OUTSIDE SERVICES | 14,658.29 | 0.00 | 9,500.00 | 9,500.00 | 0.00 |
| 620-00-53700-000-683 | WATER ADMIN. PER DIEM | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-000-684 | WATER INSURANCE | 4,500.00 | 0.00 | 4,500.00 | 4,500.00 | 0.00 |
| 620-00-53700-000-686 | WATER EMPLOY. PENSION & BENEFI | 34,305.15 | 0.00 | 38,526.00 | 43,688.00 | 13.40 |
| 620-00-53700-000-687 | WORKMAN'S COMP | 0.00 | 0.00 | 3,500.00 | 2,000.00 | -42.86 |
| 620-00-53700-000-688 | WATER REGUL COMMISSION EXP. | 125.00 | 0.00 | 1,500.00 | 1,500.00 | 0.00 |
| 620-00-53700-000-689 | WATER MISC. GENERAL EXP. | 3,066.03 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 620-00-53700-000-690 | WATER BAD DEBTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-000-691 | WATER/OTHER EXPENSE | 611.63 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-53700-001-684 | WORK. COMP./WATER | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLIC WORKS | | 374,091.67 | 0.00 | 347,078.00 | 364,478.00 | 5.01 |
| 620-00-58200-000-427 | L-T INTEREST EXPENSE | 133,708.89 | 0.00 | 126,550.00 | 122,629.00 | -3.10 |
| 620-00-58200-000-428 | BON DISCT. AMORTIZAT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-58200-000-429 | INTEREST 2003 REVENUE BOND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-58200-000-431 | OTHER INTEREST EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| LOAN/LEASE PAYMENT | | 133,708.89 | 0.00 | 126,550.00 | 122,629.00 | -3.10 |
| 620-00-59000-000-000 | GASB 68 EXPENSE | -10,490.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 620-00-59000-000-001 | GASB 75 EXPENSE | 1,395.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| GASB 75 EXPENSE | | -9,095.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Total Expenses | | 498,705.56 | 0.00 | 473,628.00 | 487,107.00 | 2.85 |
| Net Totals | | -21,017.63 | 0.00 | 0.00 | 0.00 | -3.10 |

Fund: 720 - SEWER UTILITY

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|------------------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 720-00-46410-000-622 | SEWAGE - METERED RESIDENTIAL | 448,031.29 | 0.00 | 438,159.00 | 445,650.00 | 1.71 |
| 720-00-46410-000-635 | SEWAGE - RESIDENTIAL RECONNECT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-46411-000-622 | SEWAGE SERVICE - COMMERICAL | 72,006.28 | 0.00 | 73,092.00 | 71,522.00 | -2.15 |
| 720-00-46412-000-622 | SEWAGE SERVICE - INDUSTRIAL | 2,708.09 | 0.00 | 2,639.00 | 2,840.00 | 7.62 |
| 720-00-46413-000-622 | SEWAGE SERVICE - PUBLIC AUTHOR | 62,079.41 | 0.00 | 61,253.00 | 64,699.00 | 5.63 |
| 720-00-46414-000-470 | SEWAGE FORFIETED DISCOUNTS | 6,657.21 | 0.00 | 8,000.00 | 7,000.00 | -12.50 |
| 720-00-46414-000-474 | SEWAGE SERVICE OTHER REVENUE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-46414-000-622 | MULTI FAMILY HOUSING | 0.00 | 0.00 | 10,183.00 | 10,083.00 | -0.98 |
| 720-00-46414-000-636 | SEWER AMORTIZATION REVENUE | 7,990.82 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-46450-000-474 | SEWER MISC. OTHER REVENUES | 395.73 | 0.00 | 800.00 | 800.00 | 0.00 |
| PUBLIC CHARGES FOR SERVICES | | 599,868.83 | 0.00 | 594,126.00 | 602,594.00 | 1.43 |
| 720-00-48000-000-000 | TRANSFER FROM TIF | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-48000-000-635 | MISC. OPERATING REVENUE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-48100-000-419 | INTEREST ON INVESTMENTS | 1,610.77 | 0.00 | 500.00 | 2,000.00 | 300.00 |
| 720-00-48100-000-421 | INTEREST ON INVESTMENTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-48100-002-419 | INTEREST INCOME SEWER PROJECT | 1,013.40 | 0.00 | 0.00 | 0.00 | 0.00 |
| OTHER FINANCING SOURCES | | 2,624.17 | 0.00 | 500.00 | 2,000.00 | 300.00 |
| 720-00-49102-000-000 | TRANS FROM CAPITAL IMPROVEMENT | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-49210-000-000 | TRANSFER FROM GENERAL FUND | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-49211-000-000 | TRANS. FROM SEWER FUND BAL | 0.00 | 0.00 | 54,782.00 | 0.00 | -100.00 |
| TRANSFER FROM OTHER FUNDS | | 0.00 | 0.00 | 54,782.00 | 0.00 | -100.00 |
| Total Revenues | | 602,493.00 | 0.00 | 649,408.00 | 604,594.00 | -6.90 |

Fund: 720 - SEWER UTILITY

| Account Number | | 2022 Actual Year-End | 2023 Projected Year-End | 2023 Budget | 2024 Proposed Budget | % Change In Budget |
|---------------------------|--------------------------------|----------------------------|-------------------------------|-------------------|----------------------------|-----------------------|
| 720-00-53610-000-403 | SEWER DEPRECIATION EXPENSE | 266,360.80 | 0.00 | 90,000.00 | 31,212.00 | -65.32 |
| 720-00-53610-000-408 | TAXES FICA/MEDICARE | 6,317.41 | 0.00 | 7,845.00 | 8,071.00 | 2.88 |
| 720-00-53610-000-428 | SEWAGE BOND DISCT. AMORTIZATIO | 0.00 | 0.00 | 143,720.00 | 151,233.00 | 5.23 |
| 720-00-53610-000-429 | SEWER CLEANER AMORTIZATION | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-53610-000-610 | SEWAGE SERVICE STORM SEWER | 934.80 | 0.00 | 935.00 | 1,200.00 | 28.34 |
| 720-00-53610-000-820 | SEWAGE SUPERVISION & LABOR | 60,846.00 | 0.00 | 74,573.00 | 76,768.00 | 2.94 |
| 720-00-53610-000-821 | SEWAGE POWER & FUEL-PUMPING | 45,257.82 | 0.00 | 30,000.00 | 35,000.00 | 16.67 |
| 720-00-53610-000-823 | SEWAGE SERVICE ALUM | 12,567.96 | 0.00 | 12,000.00 | 12,000.00 | 0.00 |
| 720-00-53610-000-827 | SEWAGE OPERATING SUPP. & EXPEN | 8,612.59 | 0.00 | 15,000.00 | 15,000.00 | 0.00 |
| 720-00-53610-000-828 | SEWAGE TRANSPORTATION EXPENSE | 723.80 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 720-00-53610-000-831 | SEWAGE MAINTEN-COLLECT SYSTEM | 104.41 | 0.00 | 2,000.00 | 2,000.00 | 0.00 |
| 720-00-53610-000-832 | SEWAGE MAIN-COLLECTION & PUMP | 1,838.00 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 720-00-53610-000-833 | SEWAGE MAIN. TREAT&DISP. EQUIP | 17,760.03 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 720-00-53610-000-834 | SEWAGE MAIN. GENERAL PLANT | 453.84 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 720-00-53610-000-840 | SEWAGE BILLING, COLLECT, ACCT | 12,854.09 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-53610-000-843 | SEWAGE UNCOLLECTABLE ACCTS | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-53610-000-850 | SEWAGE GEN & ADMIN. SALARIES | 12,854.12 | 0.00 | 27,828.00 | 28,682.00 | 3.07 |
| 720-00-53610-000-851 | SEWAGE OFFICE SUPPLIES | 4,264.98 | 0.00 | 3,000.00 | 3,000.00 | 0.00 |
| 720-00-53610-000-852 | SEWAGE OUTSIDE SERVICES | 22,863.12 | 0.00 | 30,000.00 | 30,000.00 | 0.00 |
| 720-00-53610-000-853 | SEWAGE INSURANCE | 7,700.00 | 0.00 | 7,700.00 | 7,700.00 | 0.00 |
| 720-00-53610-000-854 | SEWAGE EMPLOYEE PENS.&BENEFITS | 34,424.33 | 0.00 | 38,526.00 | 43,688.00 | 13.40 |
| 720-00-53610-000-855 | SEWAGE REGUL. COMMISS. EXPENSE | 1,865.53 | 0.00 | 4,000.00 | 4,000.00 | 0.00 |
| 720-00-53610-000-856 | SEWAGE MISC. GENERAL EXPENSE | 2,319.60 | 0.00 | 2,500.00 | 2,500.00 | 0.00 |
| 720-00-53610-000-857 | SEWAGE OTHER EXPENSE | 8,263.32 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-53610-000-884 | SEWAGE SERVICE WORKMAN'S COMP. | 0.00 | 0.00 | 3,500.00 | 2,000.00 | -42.86 |
| 720-00-53610-001-853 | SEWAGE INSURANCE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| PUBLIC WORKS | | 529,186.55 | 0.00 | 505,127.00 | 466,054.00 | -7.74 |
| 720-00-58200-000-427 | LT INTEREST EXPENSE | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-58200-002-427 | L-T INTEREST & FISCAL CHARGES | 152,306.30 | 0.00 | 144,281.00 | 138,540.00 | -3.98 |
| 720-00-58200-002-428 | INTEREST AND FISCAL CHARGES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-58200-002-429 | INTEREST AND FISCAL CHARGES | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| LOAN/LEASE PAYMENT | | 152,306.30 | 0.00 | 144,281.00 | 138,540.00 | -3.98 |
| 720-00-59000-000-000 | GASB 68 EXPENSE | -11,386.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 720-00-59000-000-001 | GASB 75 EXPENSE | 1,515.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| GASB 75 EXPENSE | | -9,871.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Total Expenses | | 671,621.85 | 0.00 | 649,408.00 | 604,594.00 | -6.90 |
| Net Totals | | -69,128.85 | 0.00 | 0.00 | 0.00 | -3.98 |

2024 Utilities Budget and CIPs

Item: _____ Description: _____ Est. Cost:

Water:

New SCADA computer and software: Current computer and software is approaching 8 years old and starting to freeze up and fail. \$7000.00

Purchase UTV for utilities: With upcoming Bayfield Street project(s) and for use around plant and City a UTV would be greatly utilized. \$6000.00

Sewer:

New SCADA computer and software: (see description above) \$7000.00

Purchase UTV for utilities: (see description above) \$6000.00

Replace Influent Pump at plant: Remove and replace original VFD influent pump that has been rebuilt 5 years ago. Pump is showing signs of wear. \$24,400.00

Fix discharge line into Lake Superior: Working on DNR approval to cut and remove portion of Discharge line into Lake Superior. Ice keeps moving/destroying concrete collars Holding down 15-inch HDPE line. Engineering and DNR approval for changing the outfall location within the lake already completed. \$20,000(est)

Treatment Plant Equipment: Replace and purchase of plant equipment such as lab equipment, A/C and heater units, doors, windows, ect. \$6000.00

Other Items in progress:

Replace roof(s) at treatment plant: Shingles are approaching 25 years of service and are in Need of replacement soon. \$55,000

Scott Kluver

From: utilities@cityofwashburn.org
Sent: Wednesday, October 25, 2023 9:30 AM
To: 'Scott Kluver'
Cc: dpw@cityofwashburn.org
Subject: RE: Draft Water and Sewer Budget

Scott,

In the past we found it difficult to share equipment for the reason it always seems to be needed by more than one department when we need to use it. We would also like to retrofit a UTV with racks for shutoff rods and utility equipment for our purposes. With the upcoming project(s) we feel we will be spread thin and having another means of transportation will be highly beneficial and economical than running our ¾ ton to every call and issue when they arise. With that said, I would be Ok with using one of the current UTVs the city has but just figured with state pricing we could try to get into a new one with less hours and issues to give us many years of use.

As far as prioritizing my budget, You are correct with SCADA being top and I already gave the go ahead for Energenecs to order the upgrades seeing as they are 2 to 3 months out on some of the software and equipment. Next I feel the influent pump is a priority seeing as this is a critical piece of equipment at the plant then the outfall line and general plant equipment to make some upgrades and replacement of current equipment within the treatment plant.

In closing, I am trying to keep our budget reasonable but want everyone to be aware there is much to do here with very little to work with that's no fault of anyone here currently. I also believe we have taken on a lot in the utilities to keep cost down that we would normally contract out and we will keep doing so to try and offset these costs but it's going to be a long road!

Joel Weber

City of Washburn
Operator-in-Charge
Office: 715-373-6055
Cell: 715-292-4372
e-mail: utilities@cityofwashburn.org

From: Scott Kluver <washburnadmin@cityofwashburn.org>
Sent: Tuesday, October 24, 2023 3:36 PM
To: Gerald Schuette <dpw@cityofwashburn.org>; utilities@cityofwashburn.org
Subject: Draft Water and Sewer Budget

Gentlemen:

Attached is my first draft of the 2024 Water and Sewer budget. Assuming no adjustments to the regular operating budget, and assuming that all Bayfield Street Project expenses will be paid with borrowed dollars in 2024, there appears to be about \$31,000 available for capital purchases in each utility.

Looking that the submitted requests, I would say that the Scada computers should be priority at \$14,000. Next, the discharge line is in the works, and should be the second priority at \$20,000. What should be next? The influent pump and general plant equipment? Or UTV? As DPW just got a second UTV this year, the question is going to be asked – can you share? There will not be enough for everything, and it is going to be tighter for next year's budget with additional loans to pay.

Comments?

Scott J. Kluver
City of Washburn

From: xerox@cityofwashburn.org <xerox@cityofwashburn.org>
Sent: Tuesday, October 24, 2023 3:26 PM
To: washburnadmin@cityofwashburn.org
Subject: Message from KM_C368

11

Scott Kluver

From: Max Lindsey <mlindsey@ashlandlawyers.com>
Sent: Wednesday, November 1, 2023 9:17 AM
To: Scott Kluver
Subject: ATV/UTV Ordinance Update
Attachments: Ordinance 2023-008 - ATV-UTV Regulations.docx

Scott,

See attached proposed ATV/UTV ordinance update. After reviewing everything discussed by Council, I drafted this ordinance a little differently than normal because I found that most of the requested items were already addressed by other sections. Also, I recommend removing Section 10-4-3 (UTV Use Regulations) and just combining all regulations for ATVs and UTVs. Wisconsin Statutes Chapter 23.33 allows for these to be treated similarly for regulations, but § 23.33(1m) does specifically require the City to designate all ATV Routes as UTV routes if that is its desire, which is why I added subparagraph (b)(3) to the proposed ordinance, which was previously included as § 10-4-3(a).

As for the specific items requested by Council to be addressed:

1. **Speed limits.** Ordinance § 10-4-2(e) currently incorporates § 10-3-3, which sets a speed limit of 10 mph. If we want to set a different speed limit, I can add that in. Otherwise, no changes are necessary.
2. **Helmets.** Wis. Stats. § 23.33(3g), which is incorporated by Ordinance § 10-4-1, requires helmets for all operators or passengers under age 18. Since that is incorporated by reference, we don't need any changes to the ordinance to require helmets.
3. **Exhaust/noise regulations.** Similar to helmets, Wis. Stats. § 23.33(6) and (6m) require compliant exhaust systems with a muffler and set a maximum decibel level of 96 db. We could establish other standards, but I think that enforcement of different standards would be very difficult.

As for the question of opening all streets and/or establishing residential access, I included an optional provision for each of these. Wis. Stats. § 23.33(8)(b) explicitly allows the City to designate all roads "under its jurisdiction" as ATV routes. This would not include the State Highway or any County Highways since those are not under the City's jurisdiction.

There is not specific statutory authority to establish a residential access option for ATV's that is similar to what is authorized for Snowmobiles under Wis. Stats. § 350.18(3)(a), and I was unable to find any examples of other municipalities that have created a residential access option for ATVs. However, I also cannot find anything that would expressly prohibit incorporating the residential access options for ATVs. I included an optional provision in the ordinance for consideration that would adopt the residential access standards currently in place for Snowmobiles to also be applicable to ATV/UTVs.

Thanks,
Max

Max T. Lindsey
Anich, Wickman & Lindsey, S.C.
220 6th Ave. W.
P.O. Box 677
Ashland, WI 54806
Phone: (715) 682-9114
Fax: (715) 682-9504

My office email account has been updated. Please remove my prior email address, mlindsey@ncis.net, from your contacts and update it with my new address, mlindsey@ashlandlawyers.com

CITY OF WASHBURN
Ordinance No. 23-009

An ordinance adopted by the Common Council for the City of Washburn at its regular meeting of _____, 2022, for the purpose of amending the City's Zoning Code to update the regulation of ATV/UTVs contained in Title 10, Chapter 4, of the City's Ordinances. Additions are in *red italics*, deletions are in ~~strikeout~~.

1. Amend Title 10, Chapter 4, as follows:

Sec. 10-4-1 State All-Terrain Vehicle and Utility Terrain Vehicle Laws Adopted.

Sec. 10-4-2 ATV and UTV Use Regulations.

- (a) **Intent.** The intent of this Section is to establish routes within the City of Washburn whereby all-terrain vehicles and *utility terrain vehicles* may reach the trails and the all-terrain vehicle areas located outside of the City of Washburn. It is not the intent of this Section that streets or avenues established as routes be used for purposes other than leaving or entering the City.
- (b) **Routes Designated – Generally**
 - (1) All all-terrain vehicle routes within the City of Washburn shall be marked by uniform marking signs which conform with regulations of the Wisconsin Department of Transportation and Wisconsin Department of Natural Resources.
 - (2) All-terrain vehicles shall be allowed to operate on any roadway not ordinarily traveled.
 - (3) *Utility terrain vehicles may be operated on any City-designated all-terrain vehicle or utility terrain vehicle routes.*
- (c) **Stops Required at Intersections.** All all-terrain vehicles *and utility terrain vehicles* must stop at each and every intersection in the City of Washburn.
- (d) **Hours of Operation.** All-terrain vehicles and *utility terrain vehicles* shall not operate within the City of Washburn between the hours of 2:00 a.m. and 6:00 a.m.
- (e) **Yield to Traffic and Pedestrians.** All all-terrain vehicles *and utility terrain vehicles* shall yield to all vehicular traffic and pedestrian movement, and operators shall comply with the provisions of Section 10-3-3.
- (f) **Specific Routes Designated.** All-terrain vehicle *and utility terrain vehicle* (ATV/UTV) routes and trails are designated in Section 10-3-8.

OPTIONAL REPLACEMENT OF (f)

(f) ATV/UTV Routes Designated. Pursuant to Wis. Stats. § 23.33(8)(b), all roadways under the jurisdiction of the City of Washburn are designated as all-terrain vehicle/utility terrain vehicle routes.

- (g) **Designation of Destination Point.** A destination point has been established in the City of Washburn to the Washburn Coal Dock and West End Park for the purpose of fishing.
- (h) **Trail Use by Bicycles.** The use of bicycles is permitted on designated all-terrain vehicle routes and trails.

OPTIONAL ADDITION OF RESIDENTIAL ACCESS

- (i) **Residential Access.** The provisions of Section 10-3-12 are incorporated herein and apply to the operation of ATV/UTVs in the same manner as said Section 10-3-12 applies to the use of snowmobiles. The purpose of this Section is to provide a means of travel via the shortest route from a residence and/or lodging establishment to a designated ATV/UTV route.

- 2. Delete Sections 10-4-3 in its entirety.
- 3. Effective Date of Ordinance. This ordinance shall take effect upon passage and publication.

Attest:

Mary Motiff
Mayor

Scott J. Kluver
City Clerk

Adopted: _____

Published: _____